



NEENAH PLAN COMMISSION

Tuesday, July 28, 2026

4:00 P.M.

Hauser Room, City Administration Building

Virtual Meeting Option: This meeting is available virtually. To access the virtual meeting (Requires Microsoft Teams), please click on the link below:

Join:

<https://teams.microsoft.com/meet/219834385940830?p=A3z5L0mhzzJ5duU0WJ>

Meeting ID: 219 834 385 940 830

Passcode: 5RN2hM7q

-
1. Approval of Minutes: **June 23, 2026**
 2. Public Appearances (Ten minutes divided among those wishing to speak on topics pertinent to the Plan Commission)
 3. Public Hearings:
 - a. **Special Use Permit #2-26** – 896 S. Commercial Street – Auto Sales
 - b. **Zoning Code Text Amendment** – Sec. 26-3 – Definition of Family Day Care Homes
 4. Action Items:
 - a. **Special Use Permit #2-26** – 896 S. Commercial Street – Auto Sales
 - b. **Zoning Code Text Amendment** – Sec. 26-3 – Definition of Family Day Care Homes (Ord. No. 2026-12)
 - c. **Site Plan #1-24 (Revision)** – 1557 S. Commercial Street – Multi-Family
 5. Discussion Items:
 - a. Zoning and Sign Code Rewrite
 6. Announcements and future agenda items:
 - a. Next Meeting: August 11, 2026

NOTICE IS HEREBY GIVEN, pursuant to the requirements of Wis. Stats. Sec. 19.84, that a majority of the Neenah Common Council may be present at this meeting. Common Council members may be present to gather information about a subject over which they have decision-making responsibility. This constitutes a meeting of the Neenah Common Council and must be noticed as such. The Council will follow the same agenda as the committee but will not take any formal action at this meeting.

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Neenah will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance, or reasonable accommodation in participating in this meeting or event due to a disability as defined under the ADA, please call the Community Development Department Administrative Assistant at 920-886-6125 or the City's ADA Coordinator at (920) 886-6106 or e-mail attorney@NeenahWI.gov at least 48 hours prior to the scheduled meeting or event to request an accommodation.

MINUTES OF THE NEENAH PLAN COMMISSION
Tuesday, June 23, 2026
4:00 p.m.

Present:

Mayor Brian Borchardt, Chairperson	ABSENT	Gerry Kaiser, Director of Public Works	PRESENT	Alderson Mark Neuman	PRESENT
Frank Cuthbert, Vice Chairperson	PRESENT	Karen Genett	PRESENT	Kate Hancock- Cooke	ABSENT
Gerry Andrews	ABSENT				

Also Present:

Brad Schmidt, Deputy Director of Community Development	Kayla Kubat, Administrative Assistant of Community Development	Alderman William Pollnow Jr
Alderman Brian Defferding	Mitchell Bauer- Davel Engineering	Becky Heidke Kwiatkowski- 1390 Eagle Feather Trail Neenah

Minutes: MSC, Kaiser/Genett, the Plan Commission, to approve the May 26, 2026 meeting minutes. All voting aye. Motion passed.

Public Appearances: Vice Chairperson Cuthbert opened public appearances to topics not related to the agenda.

No one in attendance spoke. Vice Chairperson Cuthbert closed public appearances.

Public Hearings: None

Action Items:

a. Site Plan #04-26 – 150 N Green Bay Road – Building Expansion

Deputy Director Schmidt went over the request at 150 N Green Bay Rd. Bergstrom Automotive is requesting to expand on the northeast side of their building on the corner of North St and N Green Bay Rd. The expansion is roughly 3,400 square feet and it is intended to be used for their indoor showroom for vehicle sales. He showed where the building expansion would be on the site. There will also be modifications of the parking lot, with some being relocated south of the addition and the parking spaces along Green Bay Road will be changed to 90-degree parking. The landscaping will change to improve circulation around the building, but it will still exceed the minimum standards.

Alderson Neuman asked about the parking and what it will be used for. Deputy Director Schmidt stated it is for customer parking. In looking at the parking, it needs to ensure there is enough room for vehicles to maneuver around the site.

Vice Chairperson Cuthbert asked how it is determined how many parking stalls are needed. Deputy Director Schmidt stated the zoning code dictates minimum parking standards. The property has more than enough parking to meet customer and employee parking requirements.

Plan Commission Minutes

Jun 23, 2026

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Member Genett asked if there will still be an exit onto North St. Deputy Director Schmidt stated yes, on the northwest side of the property.

Vice Chairperson Cuthbert asked about the storm drain on the property. Director Kaiser stated the storm drain on the property is okay with the building addition.

MSC, Neuman/Kaiser, the Plan Commission, to approve the site plan for a building addition located at 150 N Green Bay Rd Drive subject to the Site Plan Review letter comments. All voting aye. Motion passed.

Discussion Items:

a. Zoning and Sign Code Re-Write

Deputy Director Schmidt went over the public workshop that took place on June 15th. The public survey is available now through July 15th. There will be upcoming plan commission and common council workshops happening in August in a joint meeting. He also went over the zoning code project webpage that is available.

Announcements and Future Agenda Items: Next meeting is scheduled for July 7, 2026

Adjournment: The Commission adjourned its meeting at 4:12 p.m. MSC Genett/Neuman. All voting Aye. Motion passed.

Respectfully Submitted,



Kayla Kubat
Administrative Assistant, Department of Community Development



DATE: July 28, 2026
TO: Mayor Borchardt and Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: Special Use Permit – 896 S. Commercial St – Auto Sales

Request

PitStop Repair Shop, LLC (Kaleb Wunderlich), has requested a special use permit to sell automobiles at property located at 896 S. Commercial Street.

Consideration

The subject site is currently used as an automotive repair business and is about 0.23 acres in size. The property includes a small building on the east side of the property and an off-street parking lot. The property was originally constructed as a gasoline service station and has primarily been used as an automotive repair business after the gas pumps were removed. The applicant wants to continue servicing and repairing automobiles but would also like to sell used vehicles. The property is zoned C-1, General Commercial District.

The C-1 zoning district requires this use to obtain a special use permit. Each zoning district includes a list of Permitted Uses or uses allowed by right and Special Uses or uses that possess special characteristics or uniqueness which require thorough review of their location and configuration relative to the surrounding neighborhood. Specifically, the City's Zoning Code requires that the Plan Commission consider the following findings when deciding on a Special Use:

1. The use shall be compatible with the adjacent land uses so that the existing uses will not be depreciated in value and there will be no deterrents to development of vacant land.
2. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
3. The use shall be reasonably related to the overall needs of the City and to existing land use patterns.
4. The use will not cause traffic hazards or congestion.
5. The use shall have adequate utilities, access roads, drainage, and other necessary facilities.

The Zoning Code recommends a minimum lot size of 0.5 acres for automotive sales/repair businesses. Although the subject site is less than the recommended minimum lot size, the Plan Commission or Common Council can reduce or waive the

recommended minimum standards. The subject site has been used as an auto repair business since at least 1960, prior to the requirement of a minimum lot size.

However, due to the small size of the site, it is recommended that the number of vehicles displayed on the site for sale be limited to no more than 5 at any one time. In addition, no vehicles may be displayed/parked in the vision clearance triangle which is defined as an unoccupied triangle space at the street corner of a corner lot. The triangle is formed by connecting the point where each street line intersects and two points located 25 feet along each street line. Such space shall remain clear of obstructions between three and ten feet above grade. Additionally, no vehicle shall be displayed with any part of the vehicle extending beyond the property line, over the public sidewalk.

Recommendation

Plan Commission finds that the proposed use meets the findings of fact for a Special Use Permit (Sec. 26-48) and recommends Common Council approve a Special Use Permit for an automotive sales use located at 896 S. Commercial Street subject to the conditions of the Special Use Approval Letter.



City of Neenah Community Development
211 Walnut Street
Neenah WI 54956
Ph 920.886.6130

July 23, 2026

KALEB WUNDERLICH

896 S COMMERCIAL ST
NEENAH, WI 54956

RE: Special Use #2-26 - 896 S. Commercial St - Car Sales Special Use Review () Status Approved

Dear KALEB WUNDERLICH:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment
bschmidt@neenahwi.gov
920-886-6126

Plan Review Comments

Planning - Brad Schmidt -
bschmidt@neenahwi.gov

Approved

Review Comments:

1. The number of vehicles that can be displayed for sale at any one time is limited to no more than 5.
 2. Vehicles displayed for sale cannot be located in the vision clearance triangle along S. Commercial Street and Cecil Street.
 3. Vehicles must be displayed on the property and cannot overhang into the public right-of-way.
-

Engineering - Heath Kummerow - 920-886-6245
hkummerow@neenahwi.gov

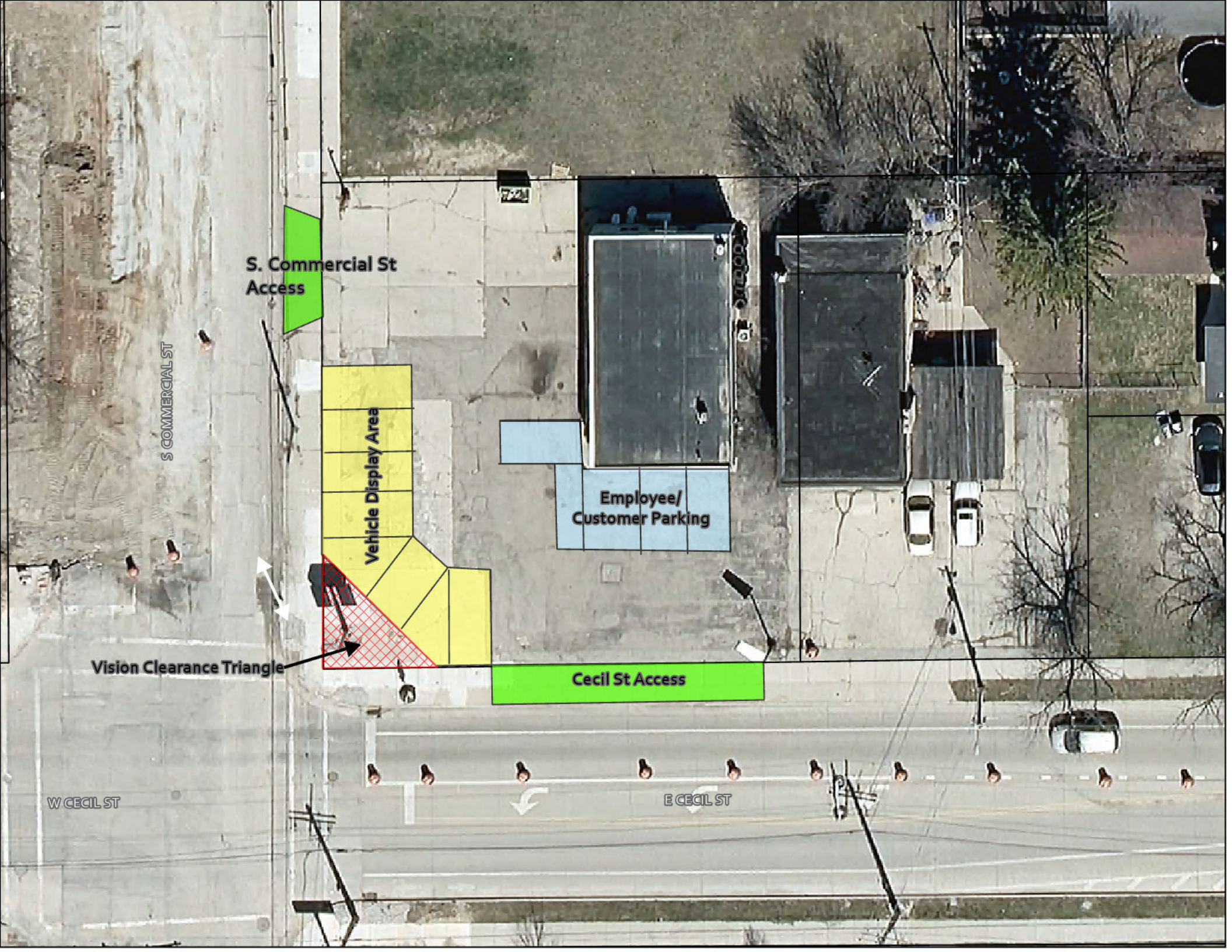
Approved

Review Comments:

Inspections - Building Commercial - Kyle Pederson - 920-886-6131
kpederson@neenahwi.gov

Approved

Review Comments:



S. Commercial St
Access

S COMMERCIAL ST

Vehicle Display Area

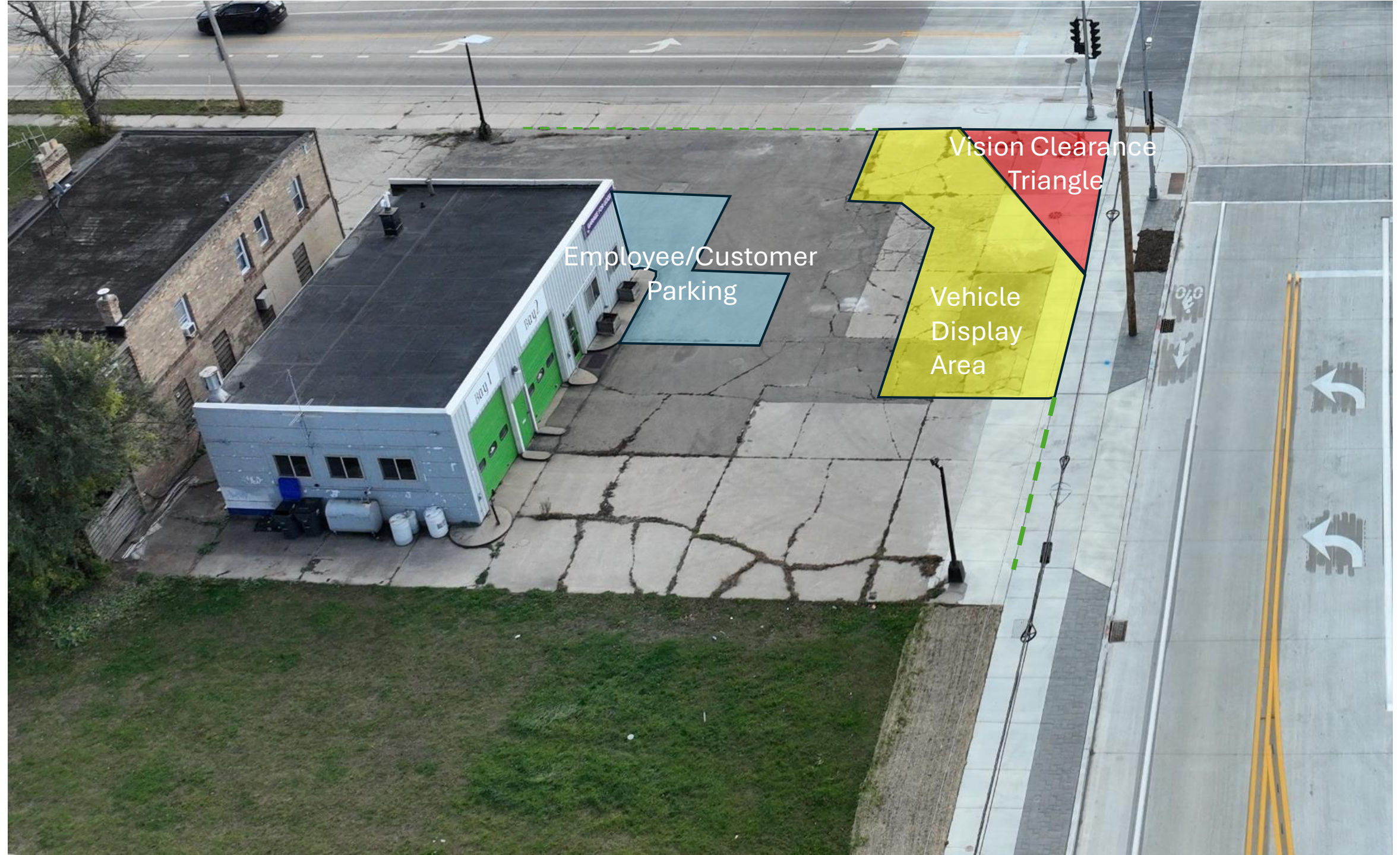
Employee/
Customer Parking

Vision Clearance Triangle

Cecil St Access

W CECIL ST

E CECIL ST



Employee/Customer
Parking

Vision Clearance
Triangle

Vehicle
Display
Area

**K&W ROAD READY
AUTO**



888 S COMMERCIAL ST.
NECHAM, WI 53166
(920) 376-3371



M E M O R A N D U M

DATE: July 28, 2026
TO: Mayor Borchardt and Members of Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: Zoning Code Amendment – Section 26-3 – Definition of Family Day Care Home

Background

The City of Neenah's Zoning Code currently defines a **Family Day Care Home** as follows:

Family day care home means a licensed facility located in a residential dwelling and operated by a resident family, providing care and supervision for four to eight children.

This definition was established prior to changes in Wisconsin law governing family child care homes. The Wisconsin Legislature has since adopted statutory provisions that define a family child care home as a licensed dwelling where care is provided for **not more than 12 children**.

Proposed Amendment

Staff recommends amending the definition of **Family Day Care Home** to read as follows:

Family day care home means a licensed facility located in a residential dwelling and operated by a resident family, providing care and supervision for **four to twelve children**.

This amendment increases the maximum number of children from eight (8) to twelve (12), making the City's definition consistent with Wisconsin law.

Discussion

Wisconsin Statute § 66.1017 establishes statewide standards for family child care homes. The statute defines a family child care home as a dwelling licensed by the Wisconsin Department of Children and Families where care is provided for no more than twelve children. The statute further provides that municipalities may not prohibit family child care homes in zoning districts where single-family residences are permitted and may not establish standards or requirements that differ from the state's licensing standards.

The proposed amendment does not change where family child care homes are permitted within the City or alter any zoning regulations that apply equally to all residential dwellings. It simply updates the definition to reflect the maximum number of children allowed under state law.

Recommendation

Appropriate action at this time is for Plan Commission recommend Common Council approve Ordinance No. 2026-12, amending the definition of Family Day Care Home to allow care for up to twelve (12) children, consistent with Wisconsin Statute § 66.1017.



211 Walnut Street
Neenah, WI 54956

AN ORDINANCE: By Plan Commission
Re: Amending Section of the Code of Ordinances
relating to the definition of family day care
homes.

ORDINANCE NO. 2026-12

Introduced: _____

Committee/Commission Action: _____

AN ORDINANCE

The Common Council of the City of Neenah, Wisconsin, do ordain as follows:

Section 1. Chapter 26 of the City of Neenah, consisting of Section 26-3, relating to the definition of family day care homes is amended to eliminate the stricken language and add the highlighted language to read as follows:

Sec. 26-661. Definitions.

Family day care home means a licensed facility located in a residential dwelling and operated by a resident family, providing care and supervision for four to ~~eight~~ **twelve** children.

Section 2. Severability. In the event any section, subsection, clause, phrase or portion of this ordinance is for any reason held illegal, invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of this ordinance. It is the legislative intent of the Common Council that this ordinance would have been adopted if such illegal provision had not been included or any illegal application had not been made.

Section 3. Repeal and Effective Date. All ordinances or parts of ordinances and resolutions in conflict herewith are hereby repealed. This ordinance shall take effect from and after its passage and publication.

Moved by: _____

Adopted: _____

Approved: _____
Published: _____

Approved:

Brian Borchardt, Mayor

Attest:

Charlotte Nagel, City Clerk

THIS INSTRUMENT WAS DRAFTED BY:
City Attorney David C. Rashid
211 Walnut Street
Neenah, WI 54956
State Bar No. 1056542



DATE: July 28, 2026
TO: Mayor Lang and Plan Commission
FROM: Brad Schmidt, Deputy Director
RE: Site Plan Review (Revision) – 1557 S Commercial Street – 14-Unit Townhouse

Request

Julie Artis has submitted a site plan to construct a 14-unit multi-family structure (townhouse) on property located at 1557 S. Commercial Street.

Consideration

In January 2024, the applicant submitted a site plan for an 11-unit townhouse structure with attached garages, an off-street parking lot and a storm water facility. The proposed townhouse is approximately 12,660 feet in area and includes nine, 2-bedroom units and two, 3-bedroom units. The site plan was approved by Plan Commission, but the project did not move forward.

The applicant would like to revise the approved site plan by modifying the floor plan. The new floor plan includes 14 units, as opposed to 11 units. The size, location and orientation of the building remain the same. The number of bedrooms also remains the same at 24 bedrooms. The parking layout, storm water facility, and utilities are the same from the approved site plan.

The subject property is located along the west side of S. Commercial Street, south of Alexander Drive. It includes a single-family house and is approximately 0.90 acre (39,200 square) in area. Land west, south and east of the subject property includes single-family residences, while land to the north is a commercial use. In addition, the subject property is zoned C-1, General Commercial District, as are the properties north and south of the subject property.

The C-1 District identifies multi-family uses with four or more units as permitted with site plan approval. In addition, all residential uses in the C-1 District must follow the requirements and standards of the applicable residential district, which, in this case is the M-1 District.

Below are the development standards for the M-1 District (**Actual dimensions in bold**):

Building Setbacks:

Front Yard – 20 feet (**20 feet**)

Side Yard – 10 feet (**57 feet – south, 10 feet – north**)

Rear Yard – 30 feet (**60 feet**)

Max Height – 45 feet or 3 stories (**20 feet – wall height, 30 feet – peak of roof**)

Minimum lot size – 2,400 square feet per dwelling unit or a maximum of 0.77 acres based on 14 dwelling units (**0.90 acres**)

Open Space Minimum – 40% of lot must be landscaped or maintained as open space (**37% - Plan Commission has the authority to approve a site plan with open space less than 40% by up to 25%**)

Minimum Parking – 2 spaces for each 2 bedroom or more dwelling unit (**24 spaces**)

Landscaping:

0.20 canopy trees per dwelling unit (3 trees) – (**3 Emerald Green Norway Maples**)

0.40 ornamental trees per dwelling unit (6 trees) – (**3 Serviceberry**)

1.5 shrubs per dwelling unit (17 shrubs) – (**9 Arborvitae and 13 Red Prince Weigela**)

Exterior Lighting:

Three light poles are proposed to be placed near the off-street parking lot and drive aisle. The Zoning Code limits lighting intensity (as measure in foot-candles) to no more than 0.0 foot-candles at a property line shared with a residential property. The west property line exceeds this requirement.

Building Elevations:

The proposed 14-unit townhouse has a maximum height of 30 feet (20-foot wall height), which is consistent with the surrounding residential properties and less than the maximum 35 feet. The exterior of the building includes a variety of materials including vinyl siding, brick and stone veneer, and cast stone sills, all of which is consistent with the surrounding single-family residences. All the units have separate entrances, attached garages, rear patio doors, and each are two-story units.

Storm Water Management:

Storm water run-off is managed through a storm water facility (dry basin) on the south side of the property. The dry basin will help manage peak flows into a city storm water pond downstream. Water from this facility is discharged into the storm main at S. Commercial Street and discharged to the regional pond.

Recommendation

At this time the Community Development Department recommends the Plan Commission approve the revision to the site plan for a 14-unit townhouse located at 1557 S. Commercial Street subject to the site plan approval letter.



City of Neenah Community Development
211 Walnut Street
Neenah WI 54956
Ph 920.886.6130

January 24, 2024

JACK RICHESON
MARTENSON & EISELE, INC
1377 MIDWAY ROAD
NEENAH, WI 54952

RE: Site Plan #1-24 - 1557 S Commercial St - Multi-Family Site Plan - Major Review () Status Approved

Dear JACK RICHESON:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment
bschmidt@neenahwi.gov
920-886-6126

Plan Review Comments

Fire Department - Adam Dorn - 886-6204
adorn@nmfire.org

Approved

Review Comments:

Please see the attached NMFR Plan Review Document.

Inspections - Building Commercial - Kyle Pederson - 920-886-6131
kpederson@neenahwi.gov

Approved

Review Comments:

Planning - Brad Schmidt -
bschmidt@neenahwi.gov

Approved

Review Comments:

1. Provide details of how the trash enclosure area is screened. This can include the following: 1.A six-foot high sight-tight fence or wall; or2.An evergreen screen of minimum six-foot high evergreen trees or shrubs, in a double staggered row to achieve 100 percent screening.
2. Exterior lighting levels shall not exceed 0.5 foot-candles along the west property line. Please adjust lighting to reduce this level of intensity.
3. Update landscape plan to include at least three more ornamental trees as is required by the Zoning Code. Three ornamental trees are included on the plan, while 6 are required.
4. Prior to commencing work within the public right-of-way, please contact the Department of Public Works to obtain a Right-of-Way Permit (886-6240).
5. Prior to the installation of free standing or wall signage, please apply for a sign permit:
<https://evolvepublic.neenahwi.gov/>

Engineering - Heath Kummerow - 920-886-6245
hkummerow@neenahwi.gov

Approved

Review Comments:

Traffic - James Merten - 920-886-6243
jmerten@neenahwi.gov

Approved

Review Comments:

Water Utility - Anthony Mach - 920-886-6180
amach@neenahwi.gov

Approved

Review Comments:

Install the new 6" service via hot tap and valve in lieu of a valve at the property line. The existing 1" copper service must be abandoned at the corp.

Blocking shall be solid concrete blocks or poured concrete. Wood shall not be used for blocking.

Contractor is responsible for obtaining safe bacteriological samples of this service at a certified lab per Neenah Water Utility specifications. Please see the attached Water Main and Large Service Testing document.

Please provide the results of any bacteriological testing to Tim Jens and Anthony L. Mach at: tjens@neenahwi.gov and amach@neenahwi.gov

Please see the attached Neenah Water Utility Specifications for details regarding all installations.

Any new distribution connections shall be supervised by Water Utility staff. Please give us at least two working days of notice before any connections are made.

Ensure that no interconnections between any well or non-potable source and the distribution system or water services exists or is created by construction activity.

Any existing wells shall be properly abandoned or permitted through Neenah Water Utility.

Please contact the Neenah Water Utility Distribution Manager at (920) 886-6191 or the Director at (920) 886-6182 for notifications or if you have any questions.

Please let us know what size meter will be used for the building.



Neenah-Menasha Fire Rescue

Office of Adam J. Dorn

Assistant Chief of Fire Prevention / Fire Marshal

125 E. COLUMBIAN AVENUE, NEENAH, WI 54956

Phone: 920-886-6200 Fax: 920-886-6208 Website: www.nmfire.org Email: adorn@nmfire.org

Date: 01/08/2024

Address: 1557 S. Commercial St., Neenah

Re: Site Plan Review

Plan Review Number:

Not Provided

Application No.:

Not Provided

Site ID No.:

Not Provided

Computer File:

1-1649-003de.dwg

To: Julie Artus
MJI Building Services
Martenson & Eisele, Inc.

Neenah-Menasha Fire Rescue Fire Prevention Office has reviewed the site plans for the occupancy indicated above. The documents have been reviewed for conformance to the Wisconsin Department of Safety and Professional Services, IBC, NFPA, and Local ordinances of the Cities of Neenah and Menasha (as applicable). Prior to issuing any conditional approvals the review process requires the following stipulations:

1. A copy of this letter shall be given to the general contractor. The general contractor shall arrange for a pre-construction consultation regarding fire prevention and other safeguards. Failure to contact the Fire Prevention Office of Neenah-Menasha Fire Rescue may delay the project. **Please call 920-886-6204 to schedule this consultation.**
2. A Knox Box is required (if not already equipped) for this building and shall be installed on the exterior of the building and discuss the location with the Fire Marshal of Neenah-Menasha Fire Rescue.
 - a. Also obtain a Knox key switch for any parking garage entrances or locked gates, if applicable. These may be ordered online at www.knoxbox.com.
3. If the construction area will have limited access due to construction fence or chained access, **the contractor will be required to obtain a department approved Knox Padlock Model 3770**. This lock may be ordered online at www.knoxbox.com. This padlock will be used as the last link in the chain with the construction padlock placed through the locked shackle.
4. Neenah-Menasha Fire Rescue advocates and strongly recommends the installation of a complete NFPA 13 compliant fire suppression system throughout the building. The fire suppression system shall be monitored by appropriate system.
5. Neenah-Menasha Fire Rescue advocates and strongly recommends the installation of a complete NFPA 72 compliant automatic fire alarm system throughout the building to best protect its occupants, if not already equipped.

6. The sprinkler contractor shall submit a set of DSPS approved plans and proper permit fees for installation of new or modification to all fire suppression systems. Note: 20 heads or less does not require DSPS review, if applicable.
7. The electrical contractor shall submit a set of DSPS approved plans and proper permit fees for installation of new or modification to all fire/smoke alarm systems. Note: 20 devices or less does not require DSPS review, if applicable.
8. Prior to any work being done, a sprinkler permit must be applied for from NMFR. This can be found on our website at www.nmfire.org, under forms and regulations.
9. Prior to occupancy operational and functional acceptance test reports for all fire protection, suppression and detection systems, elevator phase I & phase II operations, and fire/smoke dampers shall be submitted to Neenah-Menasha Fire Rescue, if applicable.
10. All other fire and life safety requirements as outlined by local, state, and national ordinances and codes must be adhered to.
11. Appropriate testing of all of fire alarm systems as well as above and belowground water supply for fire protection must be completed and documented with NMFR.
12. Address of this building must face S. Commercial St.
13. Key (to be locked in the Knox Box) must be provided to NMFR, along with emergency contact information, prior to building being occupied by tenants.

The owner of the building, structure and premise is responsible for maintaining the property in compliance with all applicable codes. In granting this approval Neenah-Menasha Fire Rescue reserves the right to require changes or additions if conditions arise making them necessary for code compliance. Nothing in this review shall relieve the owner or designer of the responsibility for designing a safe building, structure, or component.

You may direct all questions and concerns to this office.

Sincerely,

Adam J. Dorn
Assistant Chief/ Fire Marshal
920-886-6204
adorn@nmfire.org

Cc: Building Department
File

[illegible]

CUT 36' WIDE NEW
DRIVEWAY OPENING

REPAIR ROADWAY ABOVE
UTILITY TRENCHING PER
CITY OF NEENAH
STANDARDS

REPAIR ROADWAY ABOVE
UTILITY TRENCHING PER
CITY OF NEENAH
STANDARDS



1577 Midway Road
Menasha, WI 54952
info@martenson-eisele.com
920.731.0381

[illegible]

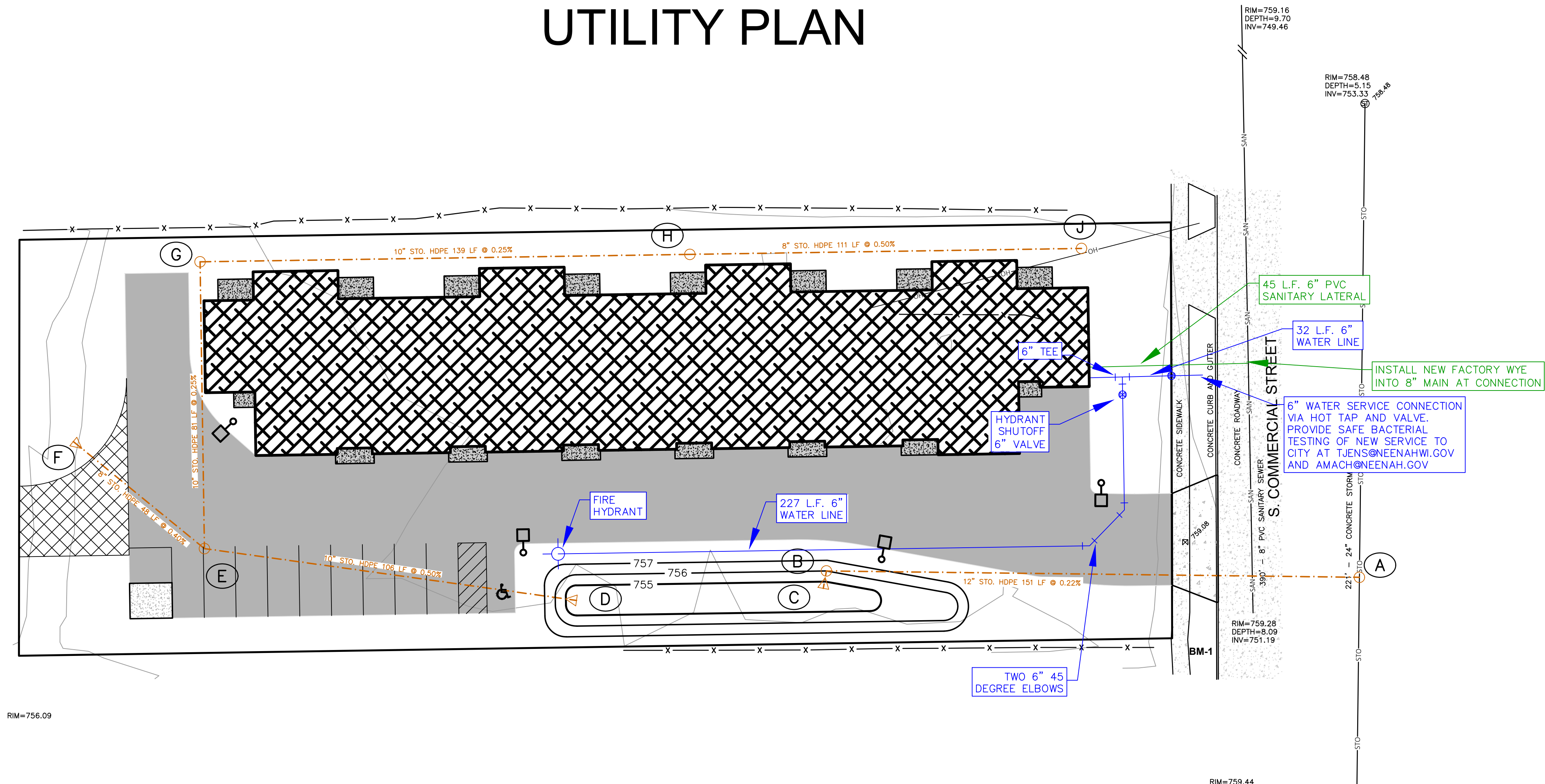
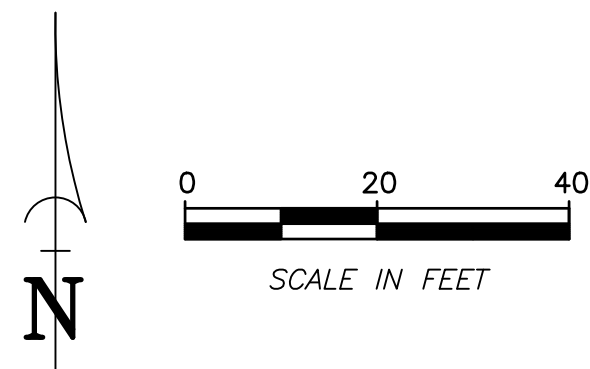
COMMERCIAL STREET

CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

■	1" x 16" IRON PIPE SET	—○—	OVERHEAD POWER LINES	○○	GAS VALVE
▲	1-1/4" x 30" REBAR SET	—E—	UNDERGROUND ELECTRIC	—	EXIST STORM MANHOLE
×	CHESSLED "X" SET	—F—	UNDERGROUND FIBEROPTIC	—	STORM INLET
□	3/4" REBAR FOUND	—G—	UNDERGROUND GAS	□	YARD DRAIN
□	1" IRON PIPE FOUND	—O—	UNDERGROUND GAS	—	EXIST SANITARY MANHOLE
□	1-1/4" REBAR FOUND	—CATV—	UNDERGROUND CABLE TV	---	EXIST. SAN. SEWER
□	2" IRON PIPE FOUND	—X—X—	EXIST. FENCE LINE	---	EXIST. STO. SEWER
⊗	CHESSLED "X" FOUND	◇	SIGN	---	EXIST. WATER MAIN
⊗	GOVERNMENT CORNER	◇	POWER POLE	00000	EXIST. SPT ELEVATION
)	RECORDED AS	◇	GUY	00000	CONTOUR W/ ELEVATION
•	CONIFEROUS TREE	Ø	LIGHT POLE	00000	EXIST. TOP OF CURB ELEV.
•	DECIDUOUS TREE	□	TELEPHONE PEDESTAL	000.000	EXIST. FLOW LINE ELEV.
•	EXIST. WOODS LINE	□	ELECTRIC PEDESTAL	FT = 000.000	FIRST FLOOR = 000.00
+	WETLANDS	□	CABLE PEDESTAL	000.000	TOPSOIL DEPTH
±	WETLANDS	□	EXIST. INDRANT	↓	INFILTRATION SOIL BORING
•	SOIL BORING	□	WATER VALVE		
		□	MATCH STOP BOX		

DRAWING NO.
C1.1

UTILITY PLAN



PROPOSED STORM UTILITY SCHEDULE				
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)	INLET TYPE
MH A	759.12	INV 12" W 753.60	5.52'	36" DIA MH SOLID LID
MH B	756.00	INV 4" S 753.93 INV 12" E 753.93	2.08'	STORM CONTROL STRUCTURE
EW C	-	INV 4" N 754.00	-	4" PIPE END
EW D	-	INV 10" W 774.70	-	10" PIPE END
MH E	758.80	INV 8" NW 755.23 INV 10" N,E 755.23	3.87'	48" DIA MH GRATED LID
EW F	758.43	INV 8" SE 755.43	-	8" PIPE END
MH G	759.80	INV 10" S,E 755.44	4.36'	36" DIA MH SOLID LID
MH H	759.80	INV 8" E 755.80 INV 10" W 755.80	4.00'	36" DIA MH SOLID LID
MH J	759.80	INV 8" W 756.36	3.44'	36" DIA MH SOLID LID

UTILITY PLAN NOTES

1. THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.

2. ALL UTILITY CONNECTIONS SHALL BE DONE IN ACCORDANCE WITH THE "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, 6TH EDITION" AND THE CITY OF NEENAH SPECIFICATIONS. CITY SHALL BE NOTIFIED AT LEAST 1 WEEK IN ADVANCE OF CONNECTIONS.

3. ALL WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.

4. THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.

5. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.

6. PRIOR TO BEGINNING WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL CONTACT THE DEPARTMENT OF PUBLIC WORKS (920-886-6240) TO OBTAIN A RIGHT-OF-WAY PERMIT.

7. THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.

9. CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.

TOPOGRAPHIC LEGEND

- 1" x 18" IRON PIPE SET
- 1-1/4" x 30" REBAR SET
- CHISELED "X" SET
- 3/4" REBAR FOUND
- 1" IRON PIPE FOUND
- 1-1/4" REBAR FOUND
- 2" IRON PIPE FOUND
- CHISELED "X" FOUND
- GOVERNMENT CORNER
- RECORDED AS
- CONIFEROUS TREE
- DECIDUOUS TREE
- EXIST. WOODS LINE
- WETLANDS
- SOIL BORING

- OVERHEAD POWER LINES
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND FIBEROPTIC
- UNDERGROUND GAS
- UNDERGROUND CABLE TV
- EXIST. FENCE LINE
- SIGN
- POWER POLE
- GUY
- LIGHT POLE
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- CABLE PEDESTAL
- EXIST. HYDRANT
- WATER VALVE
- WATER STOP BOX

- GAS VALVE
- EXIST STORM MANHOLE
- STORM INLET
- YARD DRAIN
- EXIST SANITARY MANHOLE
- EXIST. SAN. SEWER
- EXIST. STO. SEWER
- EXIST. WATER MAIN
- EXIST. SPOT ELEVATION
- CONTOUR W/ ELEVATION
- EXIST. TOP OF CURB ELEV.
- EXIST. FLOW LINE ELEV.
- FIRST FLOOR = 000.00
- TOPSOIL DEPTH
- INFILTRATION SOIL BORING

BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
BM1	TAG BOLT ON HYDRANT	761.33

DIGGERS HOTLINE

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

CALL 811 or
Toll Free 1-800-242-8511
(262)432-7910
Emergency Only (877) 500-9592
FAX 1-800-338-3860
FAX (414) 259-0947
Hearing Impaired TDD 1-800-542-2289

WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

UTILITY LAYOUT PLAN LEGEND			
	EXISTING CONTOUR		STORM MANHOLE
	PROPOSED CONTOUR		STORM INLET
	STORM MAIN		SANITARY MANHOLE
	WATER MAIN		HYDRANT
	SANITARY LATERAL		WATER VALVE

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Menasha, WI 54952
info@martenson-eisele.com
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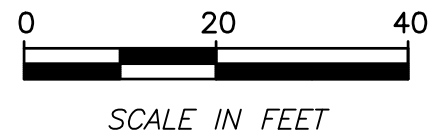
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MM	JR	JR	BHF
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1	7/17/2026		

UTILITY PLAN

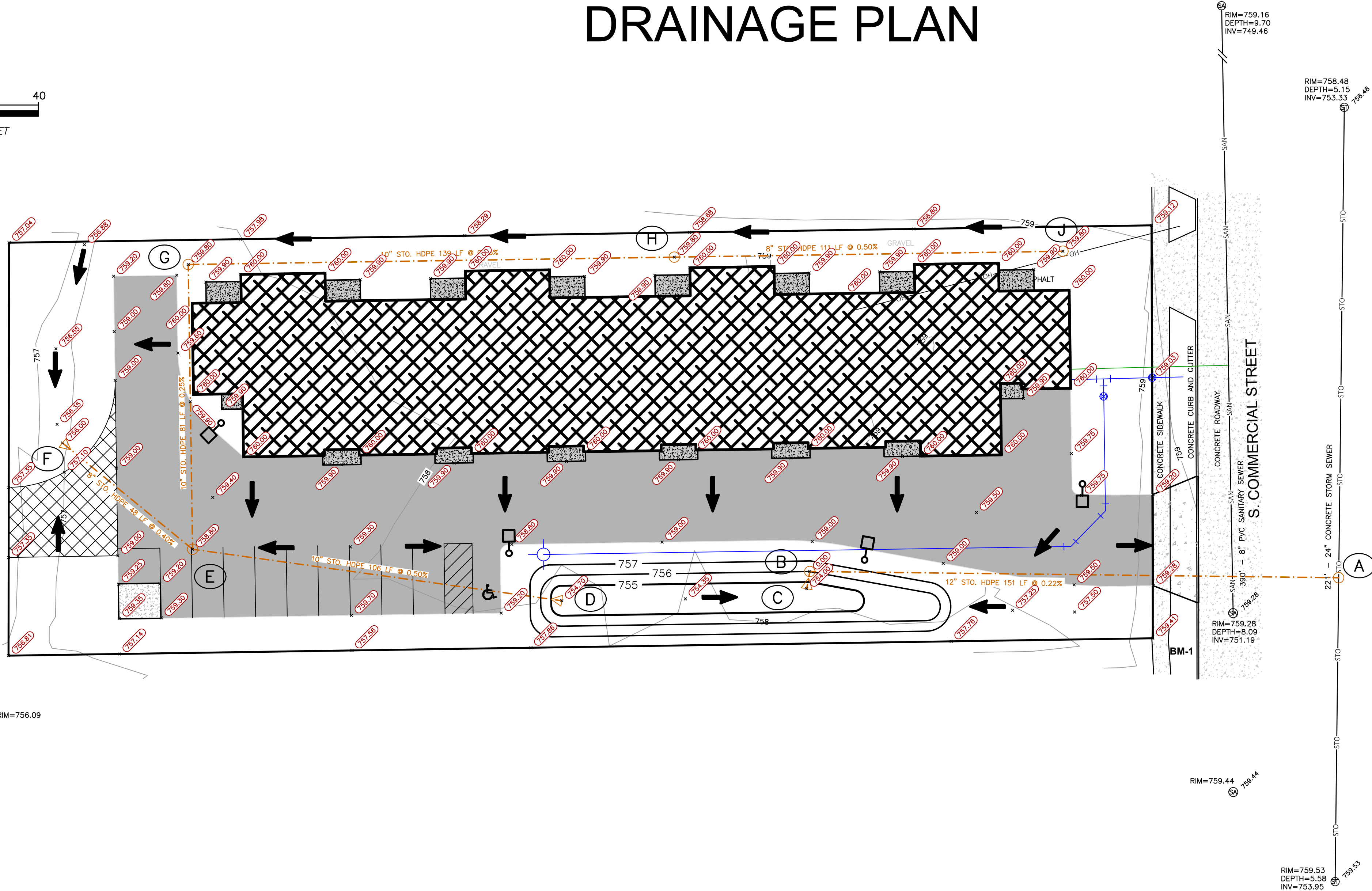
COMMERCIAL STREET

CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
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DRAINAGE PLAN



DRAINAGE PLAN NOTES	
1.	THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
2.	ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEENAH STANDARD SPECIFICATIONS, ALONG WITH THE LATEST EDITION OF THE STATE OF WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
3.	THE PROPOSED ELEVATIONS SHOWN ON THE DRAINAGE PLANS THAT ARE ADJACENT TO ABUTTING PROPERTIES MAY VARY FROM 5' TO 10' FROM THE PROPERTY CORNERS.
4.	THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS. THE LANDSCAPER SHALL NOT GRADE UP TO ANY PEDESTAL OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.
5.	ALL WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.
6.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
7.	THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
8.	THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
9.	CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
10.	CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.

BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
BM1	TAG BOLT ON HYDRANT	761.33

DIGGERS HOTLINE

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(262)432-7910
Emergency Only (877) 500-9592
FAX 1-800-338-3860
FAX (414) 259-0947
Hearing Impaired TDD 1-800-542-2289
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

DRAINAGE PLAN LEGEND			
EXISTING CONTOUR	PROPOSED ELEVATION	PERTINENT DITCH OR SWALE ELEVATION	EXISTING ELEVATION
PROPOSED CONTOUR	EXISTING ELEVATION	PROPOSED GROUND AT FOUNDATION	DIRECTION OF DRAINAGE
STORM SEWER MAIN	STORM MANHOLE	2' x 3' PRECAST STORM INLET	
TOPOGRAPHIC LEGEND		GAS VALVE	EXIST. STORM MANHOLE
1" x 18" IRON PIPE SET	1-1/4" x 30" REBAR SET	CHISELED "X" SET	3/4" REBAR FOUND
1" IRON PIPE FOUND	1-1/4" REBAR FOUND	2" IRON PIPE FOUND	CHISELED "X" FOUND
GOVERNMENT CORNER	RECORDED AS	CONIFEROUS TREE	DECIDUOUS TREE
WETLANDS	SOIL BORING	OVERHEAD POWER LINES	UNDERGROUND ELECTRIC
UNDERGROUND TELEPHONE	FIBER - UNDERGROUND FIBEROPTIC	UNDERGROUND GAS	UNDERGROUND CABLE TV
EXIST. FENCE LINE	SIGN	POWER POLE	GUY
LIGHT POLE	TELEPHONE PEDESTAL	ELECTRIC PEDESTAL	CABLE PEDESTAL
EXIST. HYDRANT	WATER VALVE	WATER STOP BOX	EXIST. STORM INLET
YARD DRAIN	EXIST. SANITARY MANHOLE	EXIST. STORM SEWER	EXIST. WATER MAIN
EXIST. SPOT ELEVATION	EXIST. TOP OF CURB ELEV.	EXIST. FLOW LINE ELEV.	FIRST FLOOR = 000.00
TOPSOIL DEPTH	INFILTRATION SOIL BORING		

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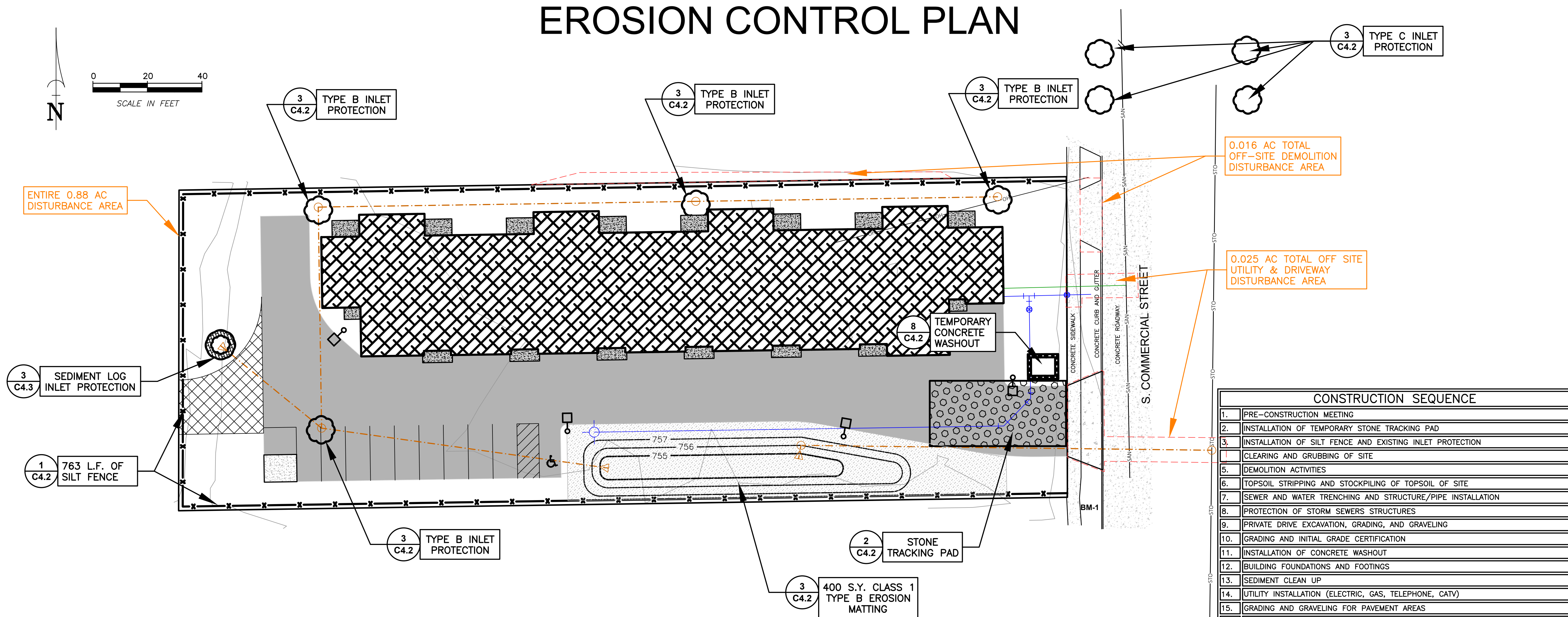
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MM	JR	MM	JR	MM	JR	BHF	
REFER TO COVER SHEET FOR REVISION DESCRIPTIONS		DATE		NO.		DATE	
1		7/17/2026					

DRAINAGE PLAN
COMMERCIAL STREET
CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	07-17-2026
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DRAWING NO.
C3.1

EROSION CONTROL PLAN



EROSION CONTROL PLAN KEY LEGEND		
	1 SILT FENCE	
	2 TRACKING PROTECTION	
	3 INLET PROTECTION TYPES A,B,C, & D	
	4 INLET PROTECTION TYPE D-M	
	5 INLET PROTECTION TYPE D-HR	
	6 SANDBAG CULVERT PIPE DITCH CHECK	
	7 DEWATERING DETAIL	
	8 TEMPORARY CONCRETE WASHOUT	
	9 EROSION CONTROL MAT DETAIL (CLASS1, TYPE A)	
	10 EROSION CONTROL MAT DETAIL (CLASS1, TYPE B)	
	11 12" SEDIMENT LOG INLET PROTECTION	
	12 SEDIMENT LOG CHANNEL DITCH CHECK	

CONTRACTOR RESPONSIBILITIES		
1.	NOTIFY THE ENGINEER WITHIN 48 HOURS OF COMMENCING ANY LAND DISTURBING OR LAND DEVELOPMENT ACTIVITY;	
2.	NOTIFY THE ENGINEER OF COMPLETION OF ANY EROSION CONTROL MEASURES WITHIN 3 DAYS AFTER COMPLETION;	
3.	OBTAIN PERMISSION IN WRITING FROM THE ENGINEER PRIOR TO MODIFYING THE EROSION CONTROL PLAN;	
4.	INSTALL ALL EROSION CONTROL MEASURES AS IDENTIFIED IN THE APPROVED EROSION CONTROL PLAN;	
5.	REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPING OR DISTURBING ACTIVITIES;	
6.	MAINTAIN ALL ON- AND OFF- SITE STORM WATER DRAINAGE SYSTEMS AS IDENTIFIED ON THE EROSION CONTROL PLAN;	
7.	REPAIR ANY EROSION CONTROL SYSTEM INSTALLED IN ACCORDANCE TO THE EROSION CONTROL PLAN;	
8.	INSPECT THE CONSTRUCTED EROSION CONTROL MEASURES AFTER EACH RAIN OF 0.5 INCHES OR MORE AND AT LEAST ONCE EACH WEEK AND MAKE NEEDED REPAIRS;	
9.	ALLOW THE ENGINEER TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN;	
10.	KEEP A COPY OF THE APPROVED EROSION CONTROL PLAN ON THE SITE;	
11.	ALL AREAS BEING SEEDED SHOULD HAVE A MINIMUM OF 4 INCHES OF SUITABLE TOPSOIL;	
12.	GRADING CONTRACTOR SHALL MAINTAIN EROSION CONTROL UNTIL TERMINATION NOTICE IS ISSUED;	
13.	ALL DISTURBED AREAS SHALL BE RESTORED WITHIN 7 DAYS OF HAULING WORK WITHIN THESE AREAS. THIS INCLUDES SOIL STOCKPILES, WHICH SHALL BE STABILIZED BY MULCHING, TEMPORARY SEEDING, SODDING OR COVERING W/ TARPS;	
14.	CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEVICES AFTER SITE STABILIZATION;	

GENERAL NOTES		
1.	SITE DEWATERING (TECH. STD. 1061): WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. (NOT ANTICIPATED)	
2.	WASTE AND MATERIAL DISPOSAL: ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING CARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM.	
3.	TRACKING (TECH. STD. 1057): THIS SITE SHALL STABILIZE THE EXISTING DRIVE WITH 3" TO 6" (12" THICK) CLAY AGGREGATE SUFFICIENT TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS AS APPROVED BY THE DIRECTOR. ANY SEDIMENT REACHING A PUBLIC OR PRIVATE ROAD SHALL BE REMOVED BEFORE THE END OF EACH WORK DAY. FLUSHING MAY NOT BE USED UNLESS THE SEDIMENT WILL BE CONTAINED BY TRAFFIC FABS OR BARRIERS. SEDIMENT TRAP, SEDIMENT BASIN OR EQUIVALENT. TRAINING PAD DIMENSIONS ARE SHOWN ON THE EROSION CONTROL PLAN (24"x50' MIN).	
4.	DRAIN INLET PROTECTION (TECH. STD. 1060): ALL ON-SITE STORM DRAIN INLETS AND THE IMPACTED DOWNSIDE INLETS SHALL BE PROTECTED PER THE EROSION CONTROL PLAN CONFIGURATION.	
5.	EROSION MATTING (TECH. STD. 1052 & 1053): EROSION MATTING SHALL BE INSTALLED AFTER TOPSOIL IS PLACED AND SEEDING IS COMPLETE. MATERIAL LABELS AND MANUFACTURER INSTALLATION INSTRUCTIONS SHALL BE RETAINED UNTIL THE SITE HAS BEEN STABILIZED. IF THERE ARE SIGNS OF RILLING OR FAILURE, MORE STAPLES AND/OR ANCHORING TRENCHES SHALL BE INSTALLED. IF RILLING OR FAILURE PERSISTS, IMPACTED AREAS SHALL BE FILLED, RE-SEEDED AND MULCHED. CLASS I OR CLASS II – TYPE B PRODUCTS THAT INCORPORATE PHOTO- OR BIO-DEGRADABLE NETTING SHALL NOT BE INSTALLED AFTER SEPTEMBER 1ST OF ANY GIVEN YEAR.	
6.	SEDIMENT CLEANUP: ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.	
7.	DISTURBANCE TIMING: ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE.	
8.	DUST CONTROL (TECH. STD. 1068): DUST MANAGEMENT CONTROL PRACTICES SHALL BE INSTALLED AS NEEDED. RECOMMENDED DUST CONTROL MEASURES INCLUDE: MINIMIZING SOIL DISTURBANCE; APPLYING MULCH AND ESTABLISHING VEGETATION; WATER SPRAYING; SURFACE ROUGHENING; APPLYING ADDITIVES; SPRAYING TACKIFIERS; AND INSTALLING BARRIERS. A COMBINATION OF MEASURES FOR DUST CONTROL MAY BE REQUIRED. IMPLEMENTATION SHALL FOLLOW WDNr TECHNICAL STANDARD 1068. PETROLEUM BASED PRODUCTS SHALL NOT BE USED FOR DUST CONTROL.	

CONSTRUCTION SEQUENCE		
1.	PRE-CONSTRUCTION MEETING	
2.	INSTALLATION OF TEMPORARY STONE TRACKING PAD	
3.	INSTALLATION OF SILT FENCE AND EXISTING INLET PROTECTION	
4.	CLEARING AND GRUBBING OF SITE	
5.	DEMOLITION ACTIVITIES	
6.	TOPSOIL STRIPPING AND STOCKPIILING OF TOPSOIL OF SITE	
7.	SEWER AND WATER TRENCHING AND STRUCTURE/PIPE INSTALLATION	
8.	PROTECTION OF STORM SEWERS STRUCTURES	
9.	PRIVATE DRIVE EXCAVATION, GRADING, AND GRAVELING	
10.	GRADING AND INITIAL GRADE CERTIFICATION	
11.	INSTALLATION OF CONCRETE WASHOUT	
12.	BUILDING FOUNDATIONS AND FOOTINGS	
13.	SEDIMENT CLEAN UP	
14.	UTILITY INSTALLATION (ELECTRIC, GAS, TELEPHONE, CATV)	
15.	GRADING AND GRAVELING FOR PAVEMENT AREAS	
16.	ROUGH LANDSCAPING AND RESTORATION OF DISTURBED AREAS	
17.	FINALIZE PAVEMENT AND BUILDING CONSTRUCTION	
18.	COMPLETE FINE GRADING AND RESTORATION	
19.	RESTORATION OF ALL GRASSED, LANDSCAPE, AND OTHER DISTURBED AREAS	
20.	REMOVAL OF INLET PROTECTION AND SILT FENCE AFTER VEGETATION IS ESTABLISHED	
21.	MAINTENANCE PLAN	

EROSION CONTROL NOTES	
1.	THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF THE PROJECT AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION INCLUDING STRIPPING TOPSOIL.
2.	ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
3.	THE CONTRACTOR SHALL MAINTAIN SAID EROSION CONTROL DEVICES UNTIL THE COMPLETION OF HIS CONTRACT AND SHALL NOT REMOVE THE EROSION CONTROL DEVICES UNTIL VEGETATION IS ESTABLISHED.
4.	THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS THAT WILL NOT BE PAVED WITH MINIMUM 4" TOPSOIL, FERTILIZER, SEED AND EROSION CONTROL MATTING.
5.	THE CONTRACTORS SHALL PREVENT TRACKING ON EXISTING STREETS. ANY SEDIMENT TRACKED ONTO EXISTING STREETS SHALL BE CLEANED UP DAILY.
6.	INSTALLATION AND MAINTENANCE OF EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
7.	SILT FENCES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA.

TOPOGRAPHIC LEGEND	
	1" x 18" IRON PIPE SET
	1-1/4" x 30" REBAR SET
	CHESTED "X" SET
	3/4" REBAR FOUND
	1" IRON PIPE FOUND
	1-1/4" REBAR FOUND
	2" IRON PIPE FOUND
	CHESTED "X" FOUND
	GOVERNMENT CORNER
	RECORDED AS
	CONFERRUS TREE
	DECIDUOUS TREE
	EXIST. WOODS LINE
	WETLANDS
	SOIL BORING
	OVERHEAD POWER LINES
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	UNDERGROUND FIBEROPTIC
	UNDERGROUND GAS
	UNDERGROUND CABLE TV
	EXIST. FENCE LINE
	SION
	POWER POLE
	GUY
	LIGHT POLE
	TELEPHONE PEDESTAL
	ELECTRIC PEDESTAL
	CABLE PEDESTAL
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	WATER VALVE
	WATER STOP BOX
	GAS VALVE
	EXIST. STORM MANHOLE
	STORM INLET
	YARD DRAIN
	EXIST. SANITARY MANHOLE
	EXIST. SAN. SEWER
	EXIST. SLO. SEWER
	EXIST. WATER MAIN
	EXIST. SPT. ELEVATION
	CONTOUR W/ ELEVATION
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	FIRST FLOOR = 000.00
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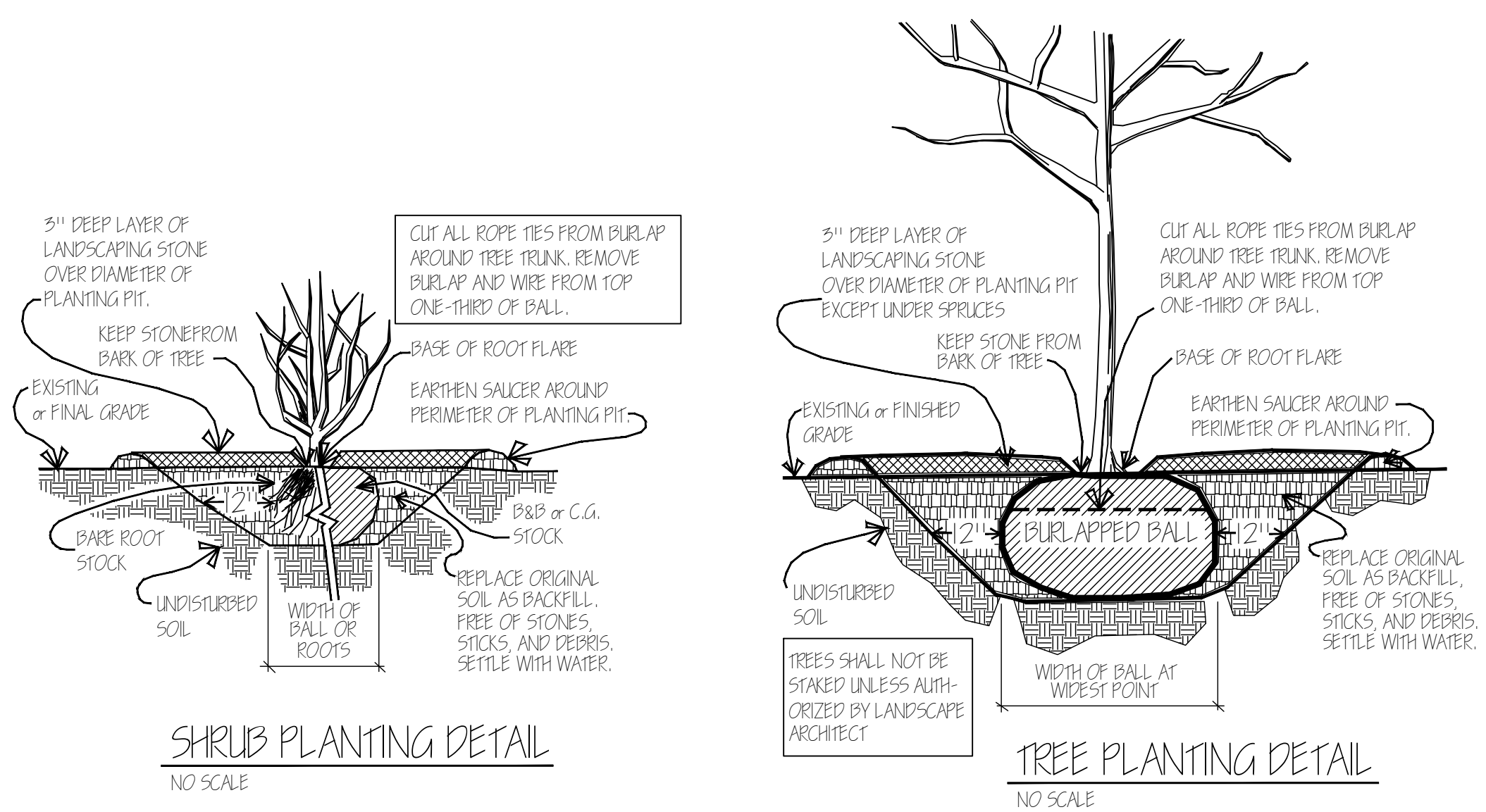
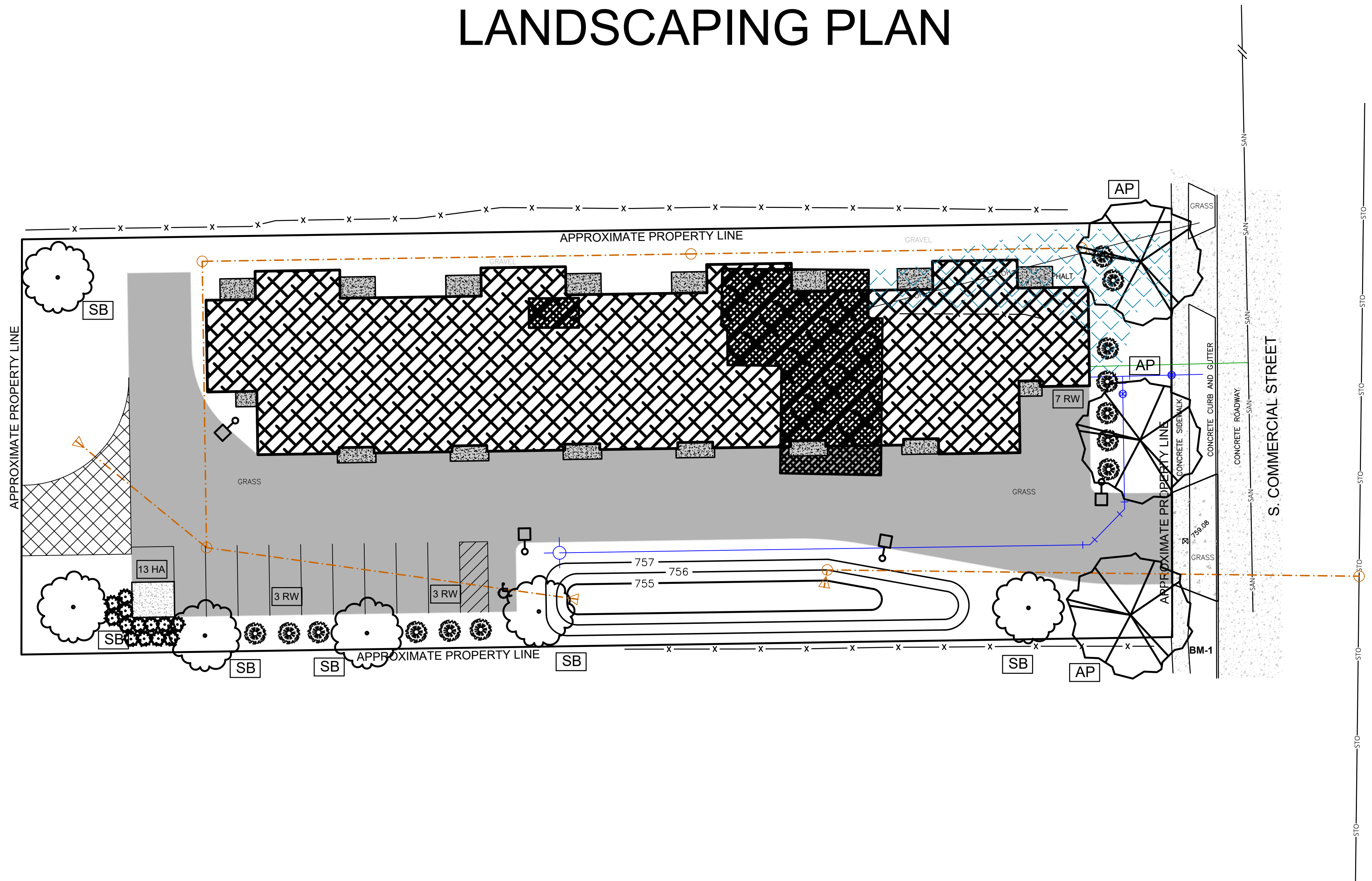
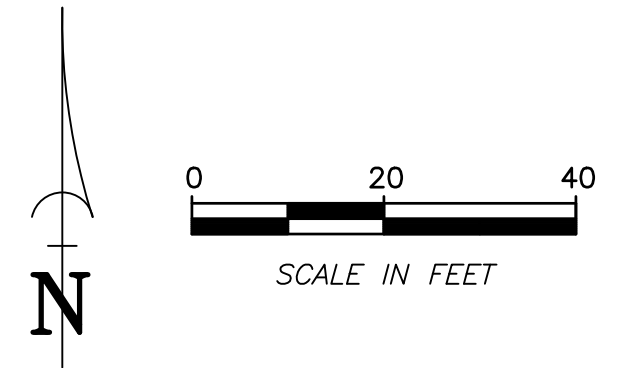
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MM	JJR	JJR	BHF
REFER TO COVER SHEET FOR REVISION DESCRIPTIONS			
NO.	DATE	NO.	DATE
1	7/17/2026		

EROSION CONTROL PLAN COMMERCIAL STREET

CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	07-17-2026
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LANDSCAPING PLAN



LANDSCAPING NOTES:

ALL DISTURBED GROUND AREAS TO BE SEEDING AND MULCHED WITHIN SEVEN (7) DAYS AFTER COMPLETION OF WORK IN THOSE AREAS.

LANDSCAPING CONTRACTOR IS RESPONSIBLE FOR FINE GRADING OF SITE; GENERAL CONTRACTOR / EXCAVATOR IS RESPONSIBLE FOR ROUGH GRADING TO +/- 1" OF FINAL GRADE AND PROVIDING MINIMUM 4" OF TOPSOIL AT ALL AREAS DISTURBED. LANDSCAPING CONTRACTOR SHALL EXAMINE ROUGH GRADING PRIOR TO COMMENCEMENT OF WORK; IF UNSUITABLE, LANDSCAPING CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING. COMMENCEMENT OF WORK BY LANDSCAPING CONTRACTOR INDICATES ACCEPTANCE OF SUBSTRATE.

LANDSCAPING CONTRACTOR SHALL PROVIDE VINYL EDGING STAKED AT MINIMUM 32" O.C., LANDSCAPING FABRIC AND STONE OR SHREDDED HARDWOOD MULCH MATERIAL AT LOCATIONS INDICATED AND WITHIN PLANTING BEDS.

LANDSCAPING CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE OR OTHER LOCATOR SERVICE(S) FOR LOCATION OF UNDERGROUND UTILITIES PRIOR TO START OF WORK.

LANDSCAPING CONTRACTOR SHALL NOTIFY ARCHITECT MINIMUM 7 DAYS, IN WRITING, PRIOR TO START OF INSTALLATION OF SPECIFIED SPECIES IS NOT AVAILABLE AND SUBSTITUTION IS REQUIRED. ALL LANDSCAPING MATERIAL SHALL BE DELIVERED SAME DAY AS INSTALLATION.

LANDSCAPING CONTRACTOR SHALL BRACE DECIDUOUS SHADE AND ORNAMENTAL TREES AND WRAP TRUNK W/ FABRIC UP MINIMUM 36" ABOVE FINISH GRADE.

LANDSCAPE SCHEDULE						
	SYM	MARK	COMMON NAME botanical name	SIZE		QTY
				INITIAL	MATURE	
DECIDUOUS		AP	EMERALD GREEN NORWAY MAPLE acer platanoides 'emerald green'	2"	50-60'	3
		SB	SERVICEBERRY armelanchier canadensis	2"	20'	6
EVERGR.		HA	Holmstrup Arborvitae thuja occidentalis 'Holmstrup'	5 gal	3.5'	13
		RW	RED PRINCE WEIGELA weigela florida	5 gal	5-6'	13
SHRUBS						

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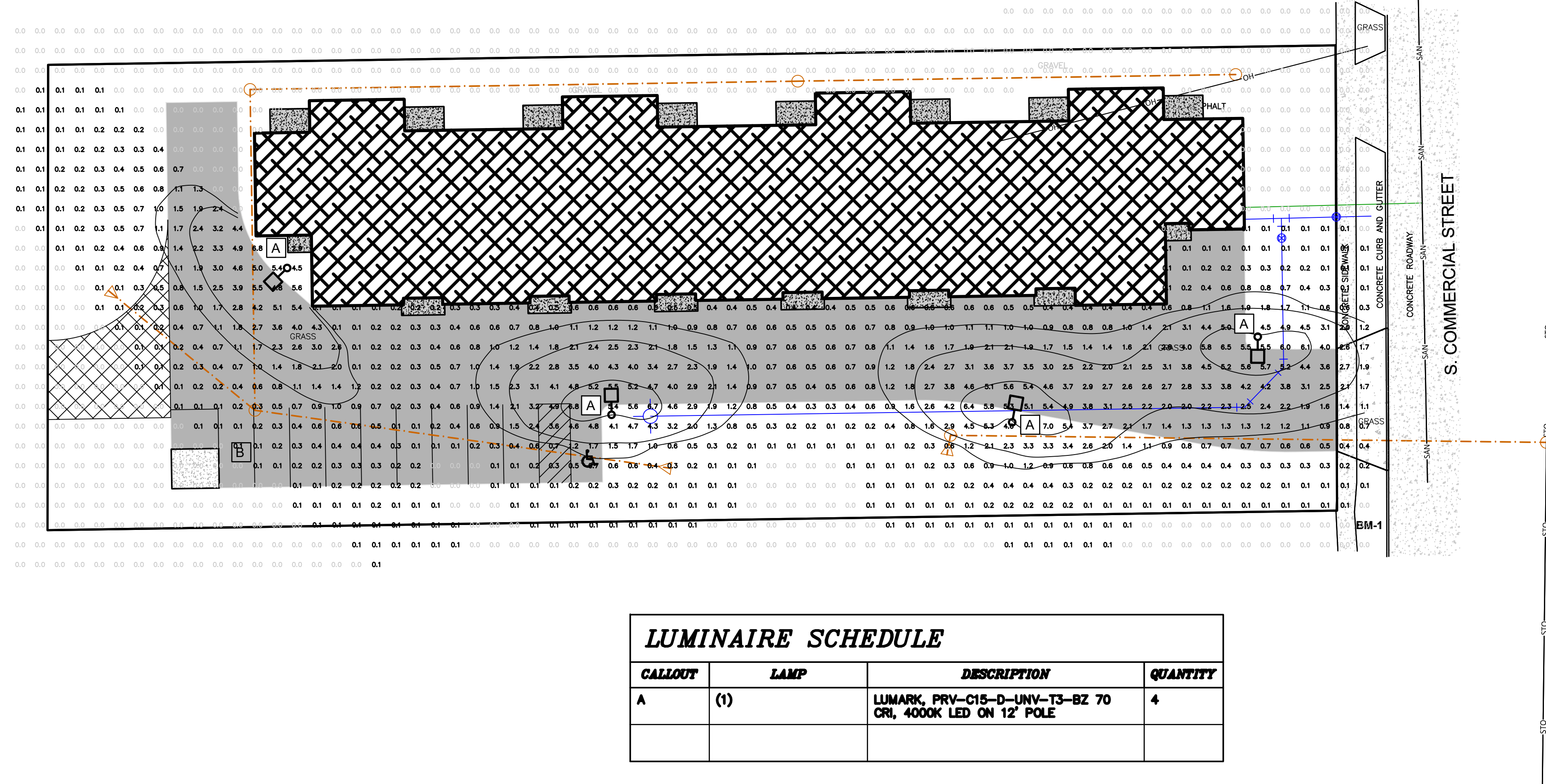
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MM						
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NO	DATE	NO	DATE	NO	DATE	
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LANDSCAPING PLAN

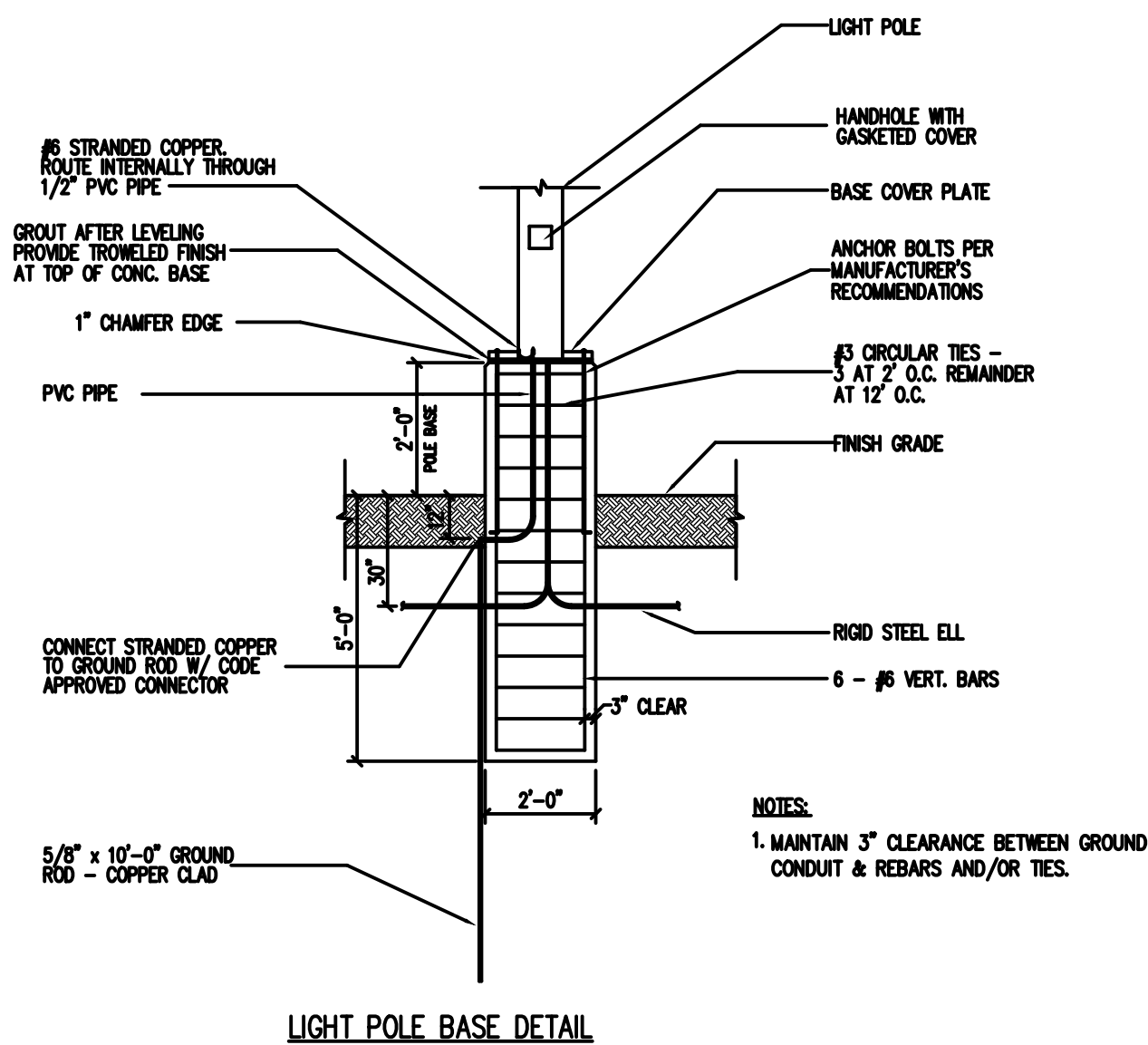
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<i>LUMINAIRE SCHEDULE</i>			
<i>CALLOUT</i>	<i>LAMP</i>	<i>DESCRIPTION</i>	<i>QUANTITY</i>
A	(1)	LUMARK, PRY-C15-D-UNV-T3-BZ 70 CRI, 4000K LED ON 12' POLE	4



- LIGHTING PLAN NOTES:**
- ①** AS PART OF ELECTRICAL BASE BID PRICE, E.C. SHALL INSTALL ALL NEW RACEWAYS AND CONDUCTORS TO FEED NEW LIGHT FIXTURES "A" AS NOTED ON SITE PLAN. ALL FIXTURES SHALL BE WIRED INTO THE SAME ELECTRICAL LOOP WITH CONTROLS IN THE UTILITY ROOM. LIGHTS SHALL BE SET UP TO AUTOMATICALLY TURN ON AT DUSK AS WELL AS MANUAL CONTROL OPTIONS.
- ②** BUILDINGS SHALL HAVE ADDITIONAL LIGHTING AT ENTRANCES. BUILDING LIGHTS SHALL BE SHOWN ON THE ARCHITECTURAL PLANS.

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& Eisele**

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LIGHTING PLAN COMMERCIAL STREET

CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
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