



**NEENAH PLAN COMMISSION - AMENDED AGENDA**

**March 26, 2024**

**4:15 P.M.**

**Hauser Room, City Administration Building**

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1. Approval of Minutes: **March 12, 2024**
2. Public Appearances (Ten minutes divided among those wishing to speak on topics pertinent to the Plan Commission)
3. Public Hearings: None
4. Action Items:
  - a. Annexation #232 - 880 Bayview Road (Town of Neenah)
  - b. Annexation #233 - 1730 Dixie Road (Town of Neenah)
  - c. Project Plan Approval #1-24 - Bridgewood PDD - 1000 Cameron Way - Hotel Expansion
5. Comprehensive Plan - Plan Commission Implementation Items
6. Announcements and future agenda items:
  - a. Next Meeting: April 9, 2024

*In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Neenah will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance, or reasonable accommodation in participating in this meeting or event due to a disability as defined under the ADA, please call the Community Development Department Administrative Assistant at 920-886-6125 or the City's ADA Coordinator at (920) 886-6106 or e-mail [attorney@ci.Neenah.wi.us](mailto:attorney@ci.Neenah.wi.us) at least 48 hours prior to the scheduled meeting or event to request an accommodation.*

## MINUTES OF THE NEENAH PLAN COMMISSION

Tuesday, March 12, 2024

4:15 p.m.

### Present:

Mayor Jane Lang, Chairperson	PRESENT	Alderman Dan Steiner, Vice Chairperson	PRESENT	Gerry Kaiser, Director of Public Works	PRESENT
Kate Hancock-Cooke	PRESENT	Karen Genett	PRESENT	Betsy Ellenberger	PRESENT
Gerry Andrews	ABSENT	Sarah Moore-Nokes	ABSENT		

### Also Present:

Brad Schmidt, Deputy Director of Community Development	Kayla Kubat, Administrative Assistant of Community Development	Gina Hafemeister, 635 Main St
Ryan Koch, 635 Main St	Chris Kling, 635 Main St	Lance Thompson, 635 Main St
Jeff Conger, 635 Main St		

**Minutes:** MSC Genett/Kaiser, the Plan Commission, to approve the February 13, 2024 meeting minutes.

**All voting aye. Motion passed. Member Ellenberger abstained.**

**Public Appearances:** Chairperson Mayor Lang opened public appearances to topics not related to the agenda.

No one in attendance spoke. Chairperson Mayor Lang closed public appearances.

### Public Hearings:

#### **a. Amend *Comprehensive Plan 2040***

Gina Hafemeister 635 Main St- she stated in the comprehensive plan, her address is located in the Neighborhood Commercial Corridor and she would like to remain in Industrial.

Deputy Director Schmidt went over that the amendment to the comprehensive plan was intended to update at the demographic, economic and housing data and updating it with the information provided from the 2020 US Census. The original plan was adopted in 2017. There were no changes to the future land use map.

Deputy Director Schmidt went over the area being referred to being identified as neighborhood commercial. The future land use map is a very general guide to what the city envisions as appropriate land uses, it is not a zoning code or regulating document. The zoning for this property being referenced is Industrial and the future land use map does not modify this zoning.

Member Hancock-Cooke reiterated the comprehensive plan does not preclude what the business is doing right now since it is looking at land use and not zoning. Deputy Director Schmidt stated the comprehensive plan does not regulate anything with the business.

Deputy Director Schmidt went over how there is some flexibility with the future land use map since it is not a zoning document. The future land use map is looking towards the future and to help the city make decisions based on a general future land use map.

Ryan Koch 635 Main St – he stated his biggest concern was to keep the use as it is now. Deputy Director Schmidt stated if there was a zoning change in the future, the business can still use the

building how they have always been using. The Comprehensive Plan does not prohibit future building additions or use of the property.

No one else in attendance spoke. Chairperson Mayor Lang closed this public hearing.

**Action Items:**

**a. Amend *Comprehensive Plan 2040***

Deputy Director Schmidt went over the intent of looking at the comprehensive plan and how it was not a full update. He went over the website that has all the meeting minutes where the plan was discussed, the chapters with red line changes and all ordinances or amendments that have happened since 2017. [www.ci.neenah.wi.us/PlanNeenah](http://www.ci.neenah.wi.us/PlanNeenah)

MSC Ellenberger/Genett, the Plan Commission to adopt Resolution No. PC2024-01, and further to recommend Council approve the Ordinance No. 2024-02, amending the City of Neenah Comprehensive Plan Update 2040. All voting aye. Motion passed.

**b. CSM – 806 Main Street 2 Lot CSM – Subdivision Variance Sec. 25-94(b)**

Deputy Director Schmidt went over the CSM received to split a property that's currently non-conforming in that it is less than 60 feet wide. It is a double frontage lot and by splitting the property, it is alleviating the double frontage lot nonconformity. However, the other nonconformity is the two lots created would be less than 60 feet wide and less than 7,200 square feet in area. The subdivision ordinance lists 60 feet wide and 7,200 square feet as the minimum lot sizes. Notices were sent to all neighbors within 200 feet and there have been a few responses. The intent after splitting the lot is to build a house on the lot created. A public hearing is scheduled for the next Council meeting, Common Council approval of the variance to approve the CSM requires a  $\frac{3}{4}$  vote.

Member Hancock-Cooke asked if we would do something similar for the neighboring lot that is only 42 feet wide. Deputy Director Schmidt stated this lot used to be two separate lots and the owner combined them.

Director Kaiser stated are no services off Edward St on the new lot and the property owner would pay to have the services put it.

MSC Ellenberger/Steiner, the Plan Commission, to recommend Common Council approve a variance for the creation of two lots which are less than 60 feet wide and less than 7,200 square feet in area for the 2 lot CSM located at 806 Main Street. All voting aye. Motion passed.

**Announcements and Future Agenda Items:** Next meeting is scheduled for March 26, 2024.

**Adjournment:** The Commission adjourned its meeting at 4:43 p.m. MSC Kaiser/Ellenberger All voting Aye. Motion passed.

Respectfully Submitted,

*Kayla Kubat*

PC Resolution No.  
2024-01 / CC Ord No.

Report

Plan Commission Minutes

March 12, 2024

Page 3

Kayla Kubat

Administrative Assistant, Department of Community Development





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## MEMORANDUM

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**DATE:** March 26, 2024  
**TO:** Mayor Lang, and Members of Plan Commission  
**FROM:** Brad Schmidt, AICP, Deputy Director  
**RE:** Annexation #232 (880 Bayview Road) – 1.351 Acres

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Timothy and Julie Bertram have submitted a petition for direct annexation to the City of Neenah for property located along the southeast corner of Bayview Road and Bayview Lane in the Town of Neenah. The annexation area is approximately 1.351 acres and includes a portion of the Bayview Road right-of-way and a portion of Bayview Lane which is a private road. The parcel includes a garage, which is planned to be removed and a new single-family dwelling constructed. Upon annexation, the property will be zoned R-1, Single-Family Residence District.

The City's Comprehensive Plan Future Land Use Map (2017) currently identifies the annexation area as Residential Neighborhood Investment Area. The objectives of the District are to protect and strengthen existing neighborhoods within the City and encourage the orderly replacement of non-conforming uses in established neighborhoods. The proposed use is consistent with the City's Comprehensive Plan.

The subject land is located within the Town of Neenah and is subject to the City of Neenah/Town of Neenah Boundary Agreement (2003). The land is identified as City Growth Area, which allows the City to annex the property.

The annexation petition was also sent to the Town of Neenah's Clerk, Neenah Joint School District, and the Wisconsin Department of Administration per State Statutes. The Plan Commission's role in reviewing annexation requests is to determine whether the proposed annexation is consistent with established City Plans. In addition to Plan Commission review, the City's Finance and Personnel Committee reviews the financial impacts an annexation might have on City services. The Wisconsin Department of Administration also reviews the annexation for consistency with State Statutes.

### **Recommendation**

**Appropriate action at this time is for Plan Commission to recommend Council approve Annexation #232 (Ordinance #2024-03) and the property also receive an R-1, Single-Family Residence District zoning classification.**



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PETITION FOR DIRECT ANNEXATION BY UNANIMOUS APPROVAL PURSUANT TO SECTION 66.0217(2), WISCONSIN STATUTES, WHERE ALL PROPERTY IS OWNED BY THE PETITIONERS.

THE UNDERSIGNED, CONSTITUTING ALL OF THE OWNERS AND ELECTORS OF THE REAL PROPERTY WHICH RESIDES IN THE TERRITORY OF THE TOWN OF NEENAH, WINNEBAGO COUNTY, WISCONSIN, LYING CONTIGUOUS TO THE CITY OF NEENAH, PETITION THE HONORABLE MAYOR AND COMMON COUNCIL OF THE CITY OF NEENAH TO ANNEX THE TERRITORY DESCRIBED ON THE EXHIBIT "A" DRAWING ATTACHED.

THE UNDERSIGNED, ELECT THAT THIS ANNEXATION SHALL TAKE EFFECT TO THE FULL EXTENT CONSISTENT WITH THE OUTSTANDING PRIORITIES OF OTHER ANNEXATIONS, INCORPORATIONS OF CONSOLIDATION PROCEEDINGS, IF ANY.

Timothy W. Bertram <sup>2/28/24</sup> Julie M. Bertram <sup>2.28.24</sup>  
Timothy W. Bertram - Petitioner Date Julie M. Bertram - Petitioner Date

Michael J. Bouressa <sup>2-28-24</sup> Patricia A. Bouressa <sup>2-29-24</sup>  
Michael J. Bouressa - Petitioner Date Patricia A. Bouressa - Petitioner Date  
Co-Trustees of the Bouressa Trust

Clifton J. Taylor <sup>2/28/24</sup> Linda M. Taylor <sup>2/28/24</sup>  
Clifton J. Taylor - Petitioner Date Linda M. Taylor - Petitioner Date  
Clifton J. & Linda M. Taylor Revocable Trust Dated July 3, 2019

Harold W. Harding  
Harold W. Harding Date

LEGAL DESCRIPTION FOR LANDS TO BE ANNEXED FROM  
THE TOWN OF NEENAH TO THE CITY OF NEENAH

Commencing at the West 1/4 corner of said Section 35; thence North 00 degrees 33 minutes 21 seconds West 1689.25 feet, along the West line of said Fractional Lot 1 of Section 35, to the point of beginning; thence North 28 degrees 16 minutes 24 seconds West 312.80 feet; thence North 81 degrees 22 minutes 11 seconds East 186.46 feet; thence South 70 degrees 13 minutes 06 seconds East 160.00 feet; thence North 79 degrees 45 minutes 34 seconds West 93.97 feet; thence South 18 degrees 00 minutes 00 seconds East 239.94 feet; thence South 83 degrees 56 minutes 13 seconds West 136.34 feet; thence South 28 degrees 16 minutes 24 seconds East 41.67 feet; thence South 75 degrees 46 minutes 00 seconds West 41.25 feet; thence North 28 degrees 16 minutes 24 seconds West 26.60 feet, to the point of beginning.





211 Walnut Street  
Neenah, WI 54956

AN ORDINANCE: By the Neenah Plan Commission  
Re: Annexing – 1.351 acres of land located at 880  
Bayview Road and adjacent right-of-way in the  
Town of Neenah to the City of Neenah.

ORDINANCE NO. 2024-03

Introduced: \_\_\_\_\_

Committee/Commission Action: \_\_\_\_\_

## AN ORDINANCE

The Common Council of the City of Neenah, Wisconsin, do ordain as follows:

**Section 1.** Pursuant to Section 66.0217(2), Wis. Stats., the following described territory contiguous to the City of Neenah and presently in the Town of Neenah, be and the same hereby is, annexed to the City of Neenah, and the corporate limits of said City are hereby extended so as to include the following described property and shown on the attached Exhibit A:

*PART OF THE NORTHEAST ¼ OF THE NORTHEAST ¼ OF SECTION 34, AND PART OF FRACTIONAL LOT 1 OF SECTION 35, ALL IN THE TOWNSHIP 20 NORTH, RANGE 17 EAST, TOWN OF NEENAH, WINNEBAGO COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:*

Commencing at the West ¼ corner of said Section 35; thence North 00 degrees 33 minutes 21 seconds West 1689.25 feet, along the West line of said Fractional Lot 1 of Section 35, to the point of beginning; thence North 28 degrees 16 minutes 24 seconds West 312.80 feet; thence North 81 degrees 22 minutes 11 seconds East 186.46 feet; thence South 70 degrees 13 minutes 06 seconds East 160 feet; thence North 79 degrees 45 minutes 34 seconds West 93.97 feet; thence South 18 degrees 00 minutes 00 seconds East 239.94 feet; thence South 83 degrees 56 minutes 13 seconds West 136.34 feet; thence South 28 degrees 16 minutes 24 seconds East 41.67 feet; thence North 28 degrees 16 minutes 24 seconds West 26.60 feet, to the point of beginning.

**Section 2.** Said annexation is proposed to be zoned R-1, Single-Family Residence District upon annexation.

**Section 3.** The petition for annexation is conducted under unanimous approval (Wisconsin State Statute Sec. 66.0217(2)). The Wisconsin Department of Administration issued this annexation petition Municipal Boundary Review number 14655. The annexation area is 1.351 acres in size and is wholly located in the Town of Neenah, Winnebago County. The parcel numbers of the land being

annexed are part of 010045904 and 010045907 and the population of all people living on the transferred land is 0.

**Section 4.** That the limits of the Second Aldermanic District in the City of Neenah are hereby extended in such manner as to include said territory.

**Section 5. Severability.** In the event any section, subsection, clause, phrase or portion of this ordinance is for any reason held illegal, invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of this ordinance. It is the legislative intent of the Common Council that this ordinance would have been adopted if such illegal provision had not been included or any illegal application had not been made.

**Section 5. Repeal and Effective Date.** All ordinances or parts of ordinances and resolutions in conflict herewith are hereby repealed. This ordinance shall take effect from and after its passage and publication.

Approved:

Adopted: \_\_\_\_\_

\_\_\_\_\_  
Jane B. Lang, Mayor

Published: \_\_\_\_\_

Attest:

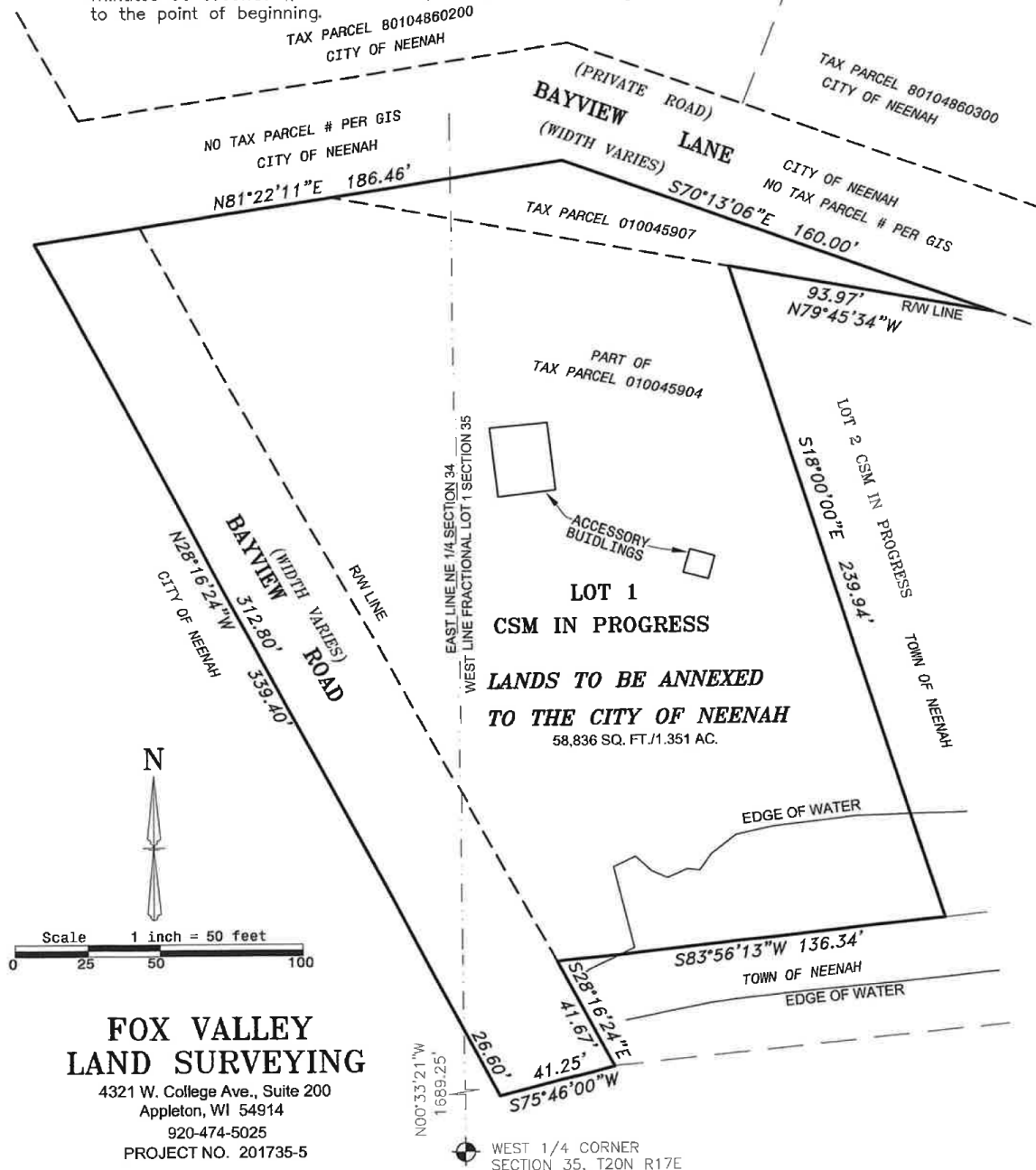
\_\_\_\_\_  
Charlotte Nagel, City Clerk

## EXHIBIT "A" DRAWING

### LEGAL DESCRIPTION FOR LANDS TO BE ANNEXED FROM THE TOWN OF NEENAH TO THE CITY OF NEENAH

PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 34, AND PART OF FRACTIONAL LOT 1 OF SECTION 35, ALL IN TOWNSHIP 20 NORTH, RANGE 17 EAST, TOWN OF NEENAH, WINNEBAGO COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:

Commencing at the West 1/4 corner of said Section 35; thence North 00 degrees 33 minutes 21 seconds West 1689.25 feet, along the West line of said Fractional Lot 1 of Section 35, to the point of beginning; thence North 28 degrees 16 minutes 24 seconds West 312.80 feet; thence North 81 degrees 22 minutes 11 seconds East 186.46 feet; thence South 70 degrees 13 minutes 06 seconds East 160.00 feet; thence North 79 degrees 45 minutes 34 seconds West 93.97 feet; thence South 18 degrees 00 minutes 00 seconds East 239.94 feet; thence South 83 degrees 56 minutes 13 seconds West 136.34 feet; thence South 28 degrees 16 minutes 24 seconds East 41.67 feet; thence South 75 degrees 46 minutes 00 seconds West 41.25 feet; thence North 28 degrees 16 minutes 24 seconds West 26.60 feet, to the point of beginning.



**FOX VALLEY  
LAND SURVEYING**

4321 W. College Ave., Suite 200  
Appleton, WI 54914  
920-474-5025  
PROJECT NO. 201735-5



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## MEMORANDUM

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**DATE:** March 26, 2024  
**TO:** Mayor Lang, and Members of Plan Commission  
**FROM:** Brad Schmidt, AICP, Deputy Director  
**RE:** Annexation #233 (1730 Dixie Road) – 1.13 Acres

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Timothy and Julie Frater have submitted an annexation petition to annex land located at 1730 Dixie Road into the City from the Town of Neenah. The land is currently used as a storage/workshop building.

The applicant is also selling the subject property to the City. Prior to closing, the City has requested that the current owners submit an annex petition, annexing the property into the City. The subject property is part of a larger development proposal for a warehouse/distribution facility which includes adjacent City-owned land north, east and south of the site.

The City's Comprehensive Plan Future Land Use Map (2017) currently identifies the annexation area as Neenah Industrial Core. The proposed use, warehouse/distribution center is consistent with the City's Comprehensive Plan.

The subject land is located within the Town of Neenah and is subject to the City of Neenah/Town of Neenah Boundary Agreement (2003). The land is identified as City Growth Area, which allows the City to annex the property.

The annexation petition was also sent to the Town of Neenah's Clerk, Neenah Joint School District, and the Wisconsin Department of Administration per State Statutes. The Plan Commission's role in reviewing annexation requests is to determine whether the proposed annexation is consistent with established City Plans. In addition to Plan Commission review, the City's Finance and Personnel Committee reviews the financial impacts an annexation might have on City services. The Wisconsin Department of Administration also reviews the annexation for consistency with State Statutes.

### **Recommendation**

**Appropriate action at this time is for Plan Commission to recommend Council approve Annexation #233 (Ordinance #2024-06) and the property also receive a Temporary I-1, Planned Business Center District zoning classification.**



PETITION FOR DIRECT ANNEXATION BY UNANIMOUS APPROVAL  
PURSUANT TO SECTION 66.0217(2), WISCONSIN STATUTES  
WHERE ALL PROPERTY IS OWNED BY THE PETITIONERS.

We, the undersigned, constituting all of the owners of the real property in which no electors reside in the following territory of the Town of Neenah, Winnebago County, Wisconsin, lying contiguous to the City of Neenah petition the Honorable Mayor and Common Council of the City of Neenah to annex the territory described below and shown on the attached scaled maps to the City of Neenah, Winnebago County, Wisconsin.

Part of Lot 2 of Certified Survey Map No. 3518, being part of the South 1/2 of the Northeast 1/4 of Section 8, Town 19 North, Range 17 East, Town of Neenah, Winnebago County, Wisconsin.

Commencing at the Center of said Section 8, thence North 89 degrees 18 minutes 25 seconds East, along the South line of said Northeast 1/4, a distance of 697.87 feet; thence North 21 degrees 31 minutes 48 seconds East, along the West line of said Certified Survey Map #3518, a distance of 840.16 feet to the point of beginning; thence continuing North 21 degrees 31 minutes 48 seconds East, along said West line of Certified Survey Map #3518. 100.00 feet; thence North 88 degrees 20 minutes 28 seconds East, along the North line of said Certified Survey Map #3518, a distance of 326.37 feet; thence South 21 degrees 31 minutes 48 seconds West, 228.51 feet; thence North 68 degrees 28 minutes 12 seconds West. 300.00 feet to the point of beginning, containing 49.276 square feet or 1.131 acres.

The current population of such territory is 0.

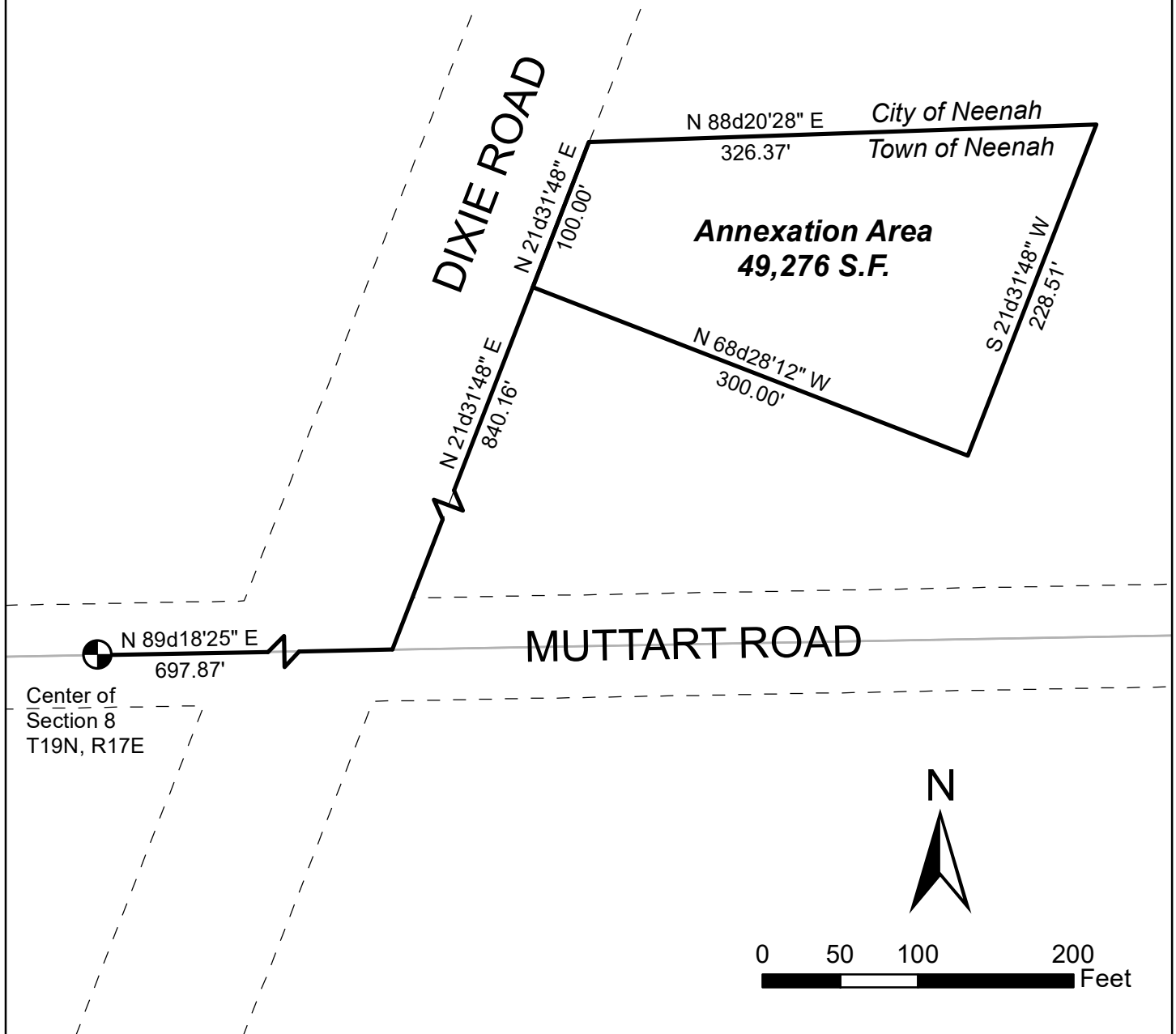
We the undersigned, elect that this annexation shall take effect to the full extent consistent with outstanding priorities of other annexations, incorporations, or consolidations proceedings, if any.

Signature of Petitioner	Date of Signing	Owner	Petition Address
_____ NAME	_____	Timothy A. Frater	776 Chestnut Court Neenah WI 54956
_____ NAME	_____	Kathleen J. Frater	776 Chestnut Court Neenah WI 54956

# ANNEXATION MAP

Part of Lot 2 of Certified Survey Map No. 3518, being part of the South 1/2 of the Northeast 1/4 of Section 8, Town 19 North, Range 17 East, Town of Neenah, Winnebago County, Wisconsin.

Commencing at the Center of said Section 8, thence North 89 degrees 18 minutes 25 seconds East, along the South line of said Northeast 1/4, a distance of 697.87 feet; thence North 21 degrees 31 minutes 48 seconds East, along the West line of said Certified Survey Map #3518, a distance of 840.16 feet to the point of beginning; thence continuing North 21 degrees 31 minutes 48 seconds East, along said West line of Certified Survey Map #3518, 100.00 feet; thence North 88 degrees 20 minutes 28 seconds East, along the North line of said Certified Survey Map #3518, a distance of 326.37 feet; thence South 21 degrees 31 minutes 48 seconds West, 228.51 feet; thence North 68 degrees 28 minutes 12 seconds West, 300.00 feet to the point of beginning, containing 49.276 square feet or 1.131 acres and subject to all easements and restrictions of record.





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## M E M O R A N D U M

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**DATE:** March 26, 2024  
**TO:** Mayor Lang and Members of Plan Commission  
**FROM:** Brad R. Schmidt, AICP, Deputy Director of Community Development  
**RE:** Bridgewood Planned Development District - Project Plan Approval #1-24 –  
Bridgewood Hotel Expansion Project (Ordinance No. 2024-05)

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### **Request**

The Community Development Department has received a request from the Bridgewood Hotel and Conference Center, located at 1000 Cameron Way, to construct a building addition to the hotel, construct a small addition to the restaurant, and expand a parking lot.

### **Consideration**

#### Master Plan Conformance

The Bridgewood Planned Development District (PDD) Master Plan was most-recently amended in May 2022, to reclassify the use of the 9-hole golf course as multi-family residential. The original PDD Master Plan was approved in 2002, with the intent of providing a phased redevelopment plan for a portion of the former Bridgewood Golf Course. Since then, most of the area within the PDD has been developed and the proposed project plan is consistent with the Master Plan and is proposed uses.

A Planned Development District is a zoning district which encourages the efficient and optimal utilization of land. Traditional zoning tends to be inflexible and uniform. When a PDD is approved, the accompanying Master Plan highlights the PDD's standards and land uses. The implementation of the PDD's Master Plan typically occurs over a predetermined time frame and occurs in phases. Each phase of the Master Plan is reviewed as a Project Plan Approval. The Project Plan Approval is essentially a site plan review which includes a review by the City's Plan Commission and Common Council. The City's Zoning Code further lists the purpose of PDD's:

- Assure that growth is planned and accomplished within the City's goals both for the surrounding neighborhood and the community as a whole.
- Promote flexibility in design and the efficient use of land to facilitate a more economic arrangement of buildings, uses, circulation systems and utilities.
- Provide for the accomplishment of external architectural unity so as to promote design harmony.
- Preserve to the greatest extent possible, existing landscape features and natural amenities, and utilize such features in an effective manner.
- Enhance the natural setting through the placement of manmade facilities and plant materials.
- Provide more useable and suitably located common and open space areas than would otherwise be provided under conventional land development procedures.

### Site Layout

The proposed site plan includes three projects including 1) a building expansion on the north side of the hotel and conference center, 2) a small building addition on the west side of the restaurant, and 3) an expansion of the parking lot west of the hotel and conference center.

The 7,839 square-foot hotel building expansion includes 39 hotel rooms, a meeting room and a fitness center for guests. The expansion is connected to the existing hotel building via an 8-foot hallway on the north side of the building. The proposed structure exceeds the minimum building setbacks within the District and is setback about 18 feet from the rear (north) property line. The structure also maintains a setback of about 300 feet from residences to the north and about 250 feet to the east. The height of the proposed structure is about 35 feet and includes 3-stories.

A 364 square-foot building expansion is also proposed for the Batley's Grill and Bar restaurant to expand dining space. The small building expansion is located on the west side of the building, just north of the entrance to the restaurant in the landscape area between the sidewalk and the building. All building setbacks remain above the required minimum 10-foot setback.

Finally, a parking lot, located west of the main parking lot for hotel and restaurant visitors, is proposed to accommodate employee and spillover parking for guests. Neither of the building expansion projects reduce the capacity of existing parking, but both impact the need for additional parking capacity. The proposed parking, as identified on the site plan, shows the parking lot crossing a property line. Parking lots must maintain a minimum 5-foot setback from a property line. Prior to final approval of the project plan, a certified survey map shall be submitted adjusting the west property line of parcel ID 80606500000 further west to accommodate the proposed parking and the required setback. The current parking lot has 35 stalls (330 total stall count for the hotel, conference center and restaurant). The expansion adds 59 parking stalls.

The proposed parking lot expansion is required to meet the perimeter landscape requirements which include a minimum of a 5-foot wide landscape strip along the side (west) property line. In addition, a minimum of one shade tree and three shrubs shall be planted for every 40 linear feet of parking lot perimeter adjacent to the side property line. The total length of the proposed parking lot expansion is 243 feet which requires six shade trees and 18 shrubs. In addition, interior landscaping requirements shall be met. Parking spaces must be separated by a planting island or peninsula at the rate of one island/peninsula for each row of 12 consecutive parking spaces for single row configurations. A minimum of one planning island shall be included in the east row of the expanded parking lot and shall include at least one shade. A landscape plan identifying the location, plant type and size at time of planting shall be submitted to the Department of Community Development.

### Public Utilities

The hotel expansion project is located over an existing water main. This water main will be relocated further south to limit the building placement on the water main. The Neenah Water Utility has reviewed and approved the proposed water main relocation. A new storm water main is also proposed on the west side of the proposed building expansion which connects a yard drain and discharges storm water north, towards the existing ponds north of the expansion area.

Architecture

The hotel expansion project includes a 3-story, 35-foot-tall structure. The exterior of the building includes several high-quality building materials intended to match and be harmonious with the existing hotel and conference center. The east and west façade includes EIFS material on the second and third floors, with stone veneer on the first-floor exterior wall, and faux wood cement panels to accent the building corners on the west side of the building.

Exterior Lighting

The proposed projects did not include any exterior lighting plans. If the applicant proposes any exterior lighting or parking lot lighting, a lighting plan shall be submitted to the Department of Community Development.

**Recommendation**

**Appropriate action at this time is to recommend Council approve Ordinance #2024-05, for Project Plan Approval #1-24 for the Bridgewood Planned Development District, allowing the construction of a hotel building expansion, restaurant building expansion and a parking lot expansion subject to the Project Plan Approval Letter.**



City of Neenah Community Development  
211 Walnut Street  
Neenah WI 54956  
Ph 920.886.6130

March 22, 2024

MITCHELL BAUER  
DAVEL ENGINEERING & ENVIRONMENTAL, INC.  
1164 PROVINCE TERRACE  
MENASHA, WI 54952

**RE: PPA #1-24 - Bridgewood PDD - 1000 Cameron Way - Hotel Addition Project Plan Review () Status Conditional**

Dear MITCHELL BAUER:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any that must be addressed. This letter is not to be construed as a zoning compliance, grading, or building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt  
Deputy Director of Community Development and Assessment  
bschmidt@neenahwi.gov  
920-886-6126

## Plan Review Comments

**Planning - Brad Schmidt -**  
[bschmidt@neenahwi.gov](mailto:bschmidt@neenahwi.gov)

Conditional

**Review Comments:**

1. A CSM adjusting the lot line of parcel ID 80606500000 west to accommodate the proposed parking lot expansion. A minimum 5-foot setback is required.
2. Submit a landscape plan showing the location, type and size of each planting for the following areas: a. west side of proposed parking lot shall include a 5-foot green area between the west property line and the edge of the parking lot. A minimum of 6 shade trees and 18 shrubs is required in this area. b. Within the proposed parking lot expansion, the parking row on the east side of the expansion lot shall include at least one planting island to break-up 12 consecutive parking stalls and include one shade tree.
3. No exterior lighting was submitted as part of this proposal. If you are planning to install parking lot lighting or other non-landscaping or building lighting, please submit an outdoor lighting plan which shall include a photometric plan, light fixture information, and pole height.
4. Business signage was not reviewed as part of this proposal. Prior to installation of any signage, please contact the Community Development Department to obtain necessary sign permits.
5. A building permit will not be issued until all of the conditions of approval have been satisfied. Changes to the site plan may require additional review. Please contact the Department of Community Development if the site plan is modified.

**Community Development - Chris Haese -**  
[chaese@neenahwi.gov](mailto:chaese@neenahwi.gov)

Approved

**Review Comments:**

**Engineering - Heath Kummerow - 920-886-6245**  
[hkummerow@neenahwi.gov](mailto:hkummerow@neenahwi.gov)

Approved

**Review Comments:**

**Fire Department - Adam Dorn - 886-6204**  
[adorn@nmfire.org](mailto:adorn@nmfire.org)

Conditional

**Review Comments:**

**Advisory Comments:**

Please see the NMFR Site Plan Review document and address the fire apparatus access roads and the fire protection water supply concerns.

**Public Works - Gerry Kaiser -**  
[gkaiser@neenahwi.gov](mailto:gkaiser@neenahwi.gov)

Approved

**Review Comments:**

**Inspections - Building Commercial - Kyle Pederson - 920-886-6131**  
[kpederson@neenahwi.gov](mailto:kpederson@neenahwi.gov)

Approved

**Review Comments:**

**Review Comments:**

**Advisory Comments:**

Contractor is responsible for obtaining safe bacteriological samples of large services at a certified lab per Neenah Water Utility specifications. Please see the attached Water Main and Large Service Testing document.

Please provide the results of any bacteriological testing to Tim Jens and Anthony L. Mach at: tjens@neenahwi.gov and amach@neenahwi.gov

Please see the attached Neenah Water Utility Specifications for details regarding all installations.

Any new distribution connections shall be supervised by Water Utility staff. Please give us at least two working days of notice before any connections are made.

Ensure that no interconnections between any well or non-potable source and the distribution system or water services exists or is created by construction activity. Any existing wells shall be properly abandoned or permitted through Neenah Water Utility.

Please contact the Neenah Water Utility Distribution Manager at (920) 886-6191 or the Director at (920) 886-6182 for notifications or if you have any questions.

Please let us know what size meter will be used for the building.

---





# Neenah-Menasha Fire Rescue

Office of Adam J. Dorn

Assistant Chief of Fire Prevention / Fire Marshal

125 E. COLUMBIAN AVENUE, NEENAH, WI 54956

Phone: 920-886-6200 Fax: 920-886-6208 Website: [www.nmfire.org](http://www.nmfire.org) Email: [adorn@nmfire.org](mailto:adorn@nmfire.org)

Date: 03-13-2024  
Address: 1000 Cameron Way, Neenah

**Re: Site Plan Review**

<b>Plan Review Number:</b>	<b>Not Provided</b>
<b>Application No.:</b>	<b>Not Provided</b>
<b>Site ID No.:</b>	<b>Not Provided</b>
<b>Job:</b>	<b>22-124</b>

To: Bridgewood Hotel and Conference Center  
Rich Bately, Owner  
Davel Engineering  
Gries Architectural Group

Neenah-Menasha Fire Rescue Fire Prevention Office has reviewed the site plans for the occupancy indicated above. The documents have been reviewed for conformance to the Wisconsin Department of Safety and Professional Services, IBC, NFPA, and Local ordinances of the Cities of Neenah and Menasha (as applicable). Prior to issuing any conditional approvals the review process requires the following stipulations:

1. A copy of this letter shall be given to the general contractor. The general contractor shall arrange for a pre-construction consultation regarding fire prevention and other safeguards. Failure to contact the Fire Prevention Office of Neenah-Menasha Fire Rescue may delay the project. **Please call 920-886-6204 to schedule this consultation.**
2. A Knox Box is required (if not already equipped) for this building and shall be installed on the exterior of the building and discuss the location with the Fire Marshal of Neenah-Menasha Fire Rescue.
  - a. Also obtain a Knox key switch for any parking garage entrances or locked gates, if applicable. These may be ordered online at [www.knoxbox.com](http://www.knoxbox.com).
3. If the construction area will have limited access due to construction fence or chained access, **the contractor will be required to obtain a department approved Knox Padlock Model 3770**. This lock may be ordered online at [www.knoxbox.com](http://www.knoxbox.com). This padlock will be used as the last link in the chain with the construction padlock placed through the locked shackle.
4. Neenah-Menasha Fire Rescue advocates and strongly recommends the installation of a complete NFPA 13 compliant fire suppression system throughout the building. The fire suppression system shall be monitored by appropriate system.
5. Neenah-Menasha Fire Rescue advocates and strongly recommends the installation of a complete NFPA 72 compliant automatic fire alarm system throughout the building to best protect its occupants, if not already equipped.

6. The sprinkler contractor shall submit a set of DSPS approved plans and proper permit fees for installation of new or modification to all fire suppression systems. Note: 20 heads or less does not require DSPS review, if applicable.
7. The electrical contractor shall submit a set of DSPS approved plans and proper permit fees for installation of new or modification to all fire/smoke alarm systems. Note: 20 devices or less does not require DSPS review, if applicable.
8. Prior to any work being done, a sprinkler permit must be applied for from NMFR. This can be found on our website at [www.nmfire.org](http://www.nmfire.org), under forms and regulations.
9. Prior to occupancy operational and functional acceptance test reports for all fire protection, suppression and detection systems, elevator phase I & phase II operations, and fire/smoke dampers shall be submitted to Neenah-Menasha Fire Rescue, if applicable.
10. All other fire and life safety requirements as outlined by local, state, and national ordinances and codes must be adhered to.
11. Appropriate testing of all of fire alarm systems as well as above and belowground water supply for fire protection must be completed and documented with NMFR.
12. Fire apparatus access roads (aka Fire Lane) are not identified on this plan. Fire apparatus access road must comply with Section 503 of the 2024 International Fire Code. This includes, but is not limited to, the following:
  - a. 503.1.1 Must extend to within 150 of all portions of the facility.
  - b. 503.2.1 Must be at least 20 feet wide and 13 feet 6 inches tall.
  - c. 503.2.3 Must be designed to support the weight of fire apparatus.
  - d. 503.2.4 Turning radius must be 55' outside and 35' inside.
  - e. 503.2.5 Fire Lanes in excess of 150 feet must include proper turn-a-round as defined in Appendix D of the 2024 IFC.
  - f. 503.5 The Fire Lane may not have any obstructions at any time.
13. Fire protection water supply (Fire Hydrants) need to be installed along the fire apparatus access roads, in addition to least one fire hydrant needs to be installed at the dead-end/turn around.
14. The fire apparatus access road and fire protection water supply need to be installed PRIOR to any construction of the hotel addition.

The owner of the building, structure and premise is responsible for maintaining the property in compliance with all applicable codes. In granting this approval Neenah-Menasha Fire Rescue reserves the right to require changes or additions if conditions arise making them necessary for code compliance. Nothing in this review shall relieve the owner or designer of the responsibility for designing a safe building, structure, or component.

You may direct all questions and concerns to this office.

Sincerely,

Adam J. Dorn  
Assistant Chief/ Fire Marshal  
920-886-6204  
[adorn@nmfire.org](mailto:adorn@nmfire.org)

Cc: Building Department  
File



BRIDGE

80605840000

80606480001

80606500300

80606500000

80606480200

80606500200

CONDO

80606

CONDO



211 Walnut Street  
Neenah, WI 54956

AN ORDINANCE: By the Neenah Plan Commission  
Re: Project Plan Approval #1-24 for Bridgewood  
Planned Development District to allow the  
construction of a hotel building expansion,  
restaurant expansion and a parking lot  
expansion.

ORDINANCE NO. 2024-05

Introduced: \_\_\_\_\_

Committee/Commission Action: \_\_\_\_\_

## AN ORDINANCE

The Common Council of the City of Neenah, Wisconsin, do ordain as follows:

**Section 1.** That pursuant to Section 26-353 (3) of the Neenah Municipal Code, the Common Council of the City of Neenah approves the following Bridgewood Planned Development Project Plan.

Project Plan Approval #1-24, which is detailed in the attached Exhibits "A" which is incorporated herein by reference.

**Section 2. Severability.** In the event any section, subsection, clause, phrase or portion of this ordinance is for any reason held illegal, invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of this ordinance. It is the legislative intent of the Common Council that this ordinance would have been adopted if such illegal provision had not been included or any illegal application had not been made.

**Section 3. Repeal and Effective Date.** All ordinances or parts of ordinances and resolutions in conflict herewith are hereby repealed. This ordinance shall take effect from and after its passage and publication.

Adopted: \_\_\_\_\_

Published: \_\_\_\_\_

Approved:

\_\_\_\_\_  
Jane Lang, Mayor

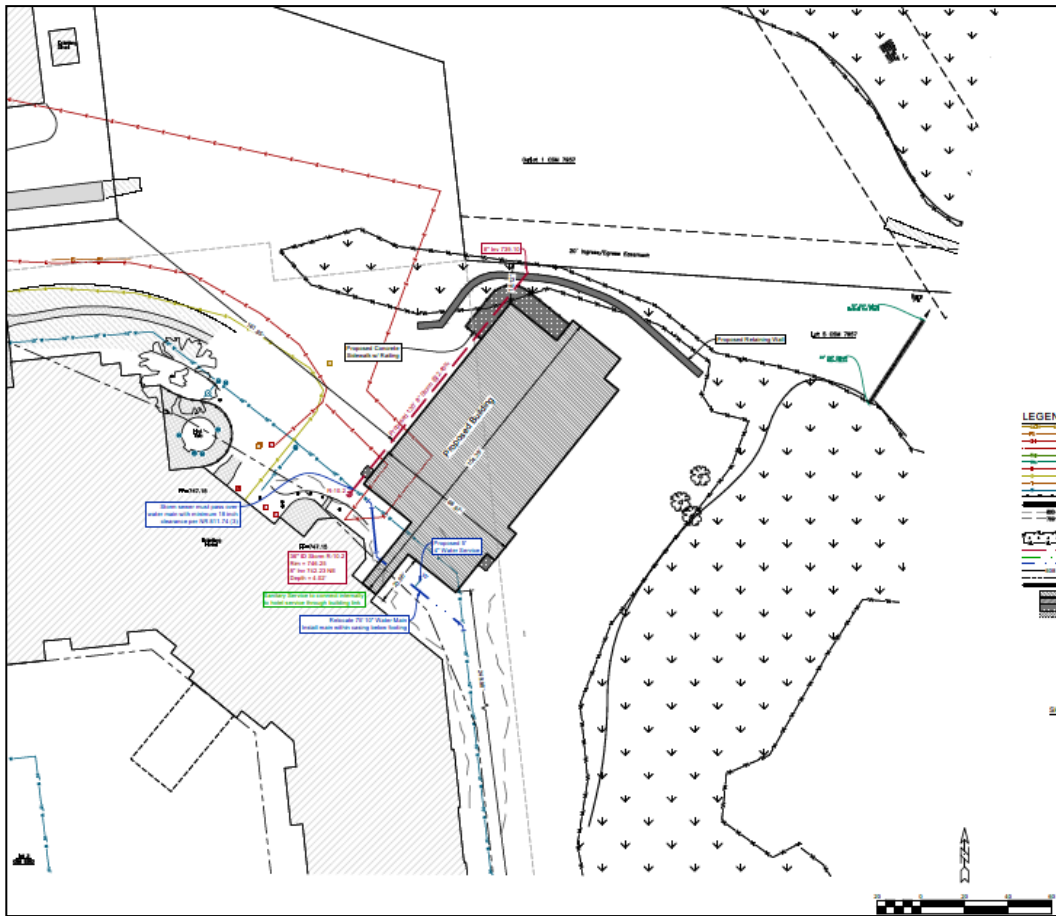
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Attest:

Charlotte Nagel, City Clerk



# EXHIBIT "A"

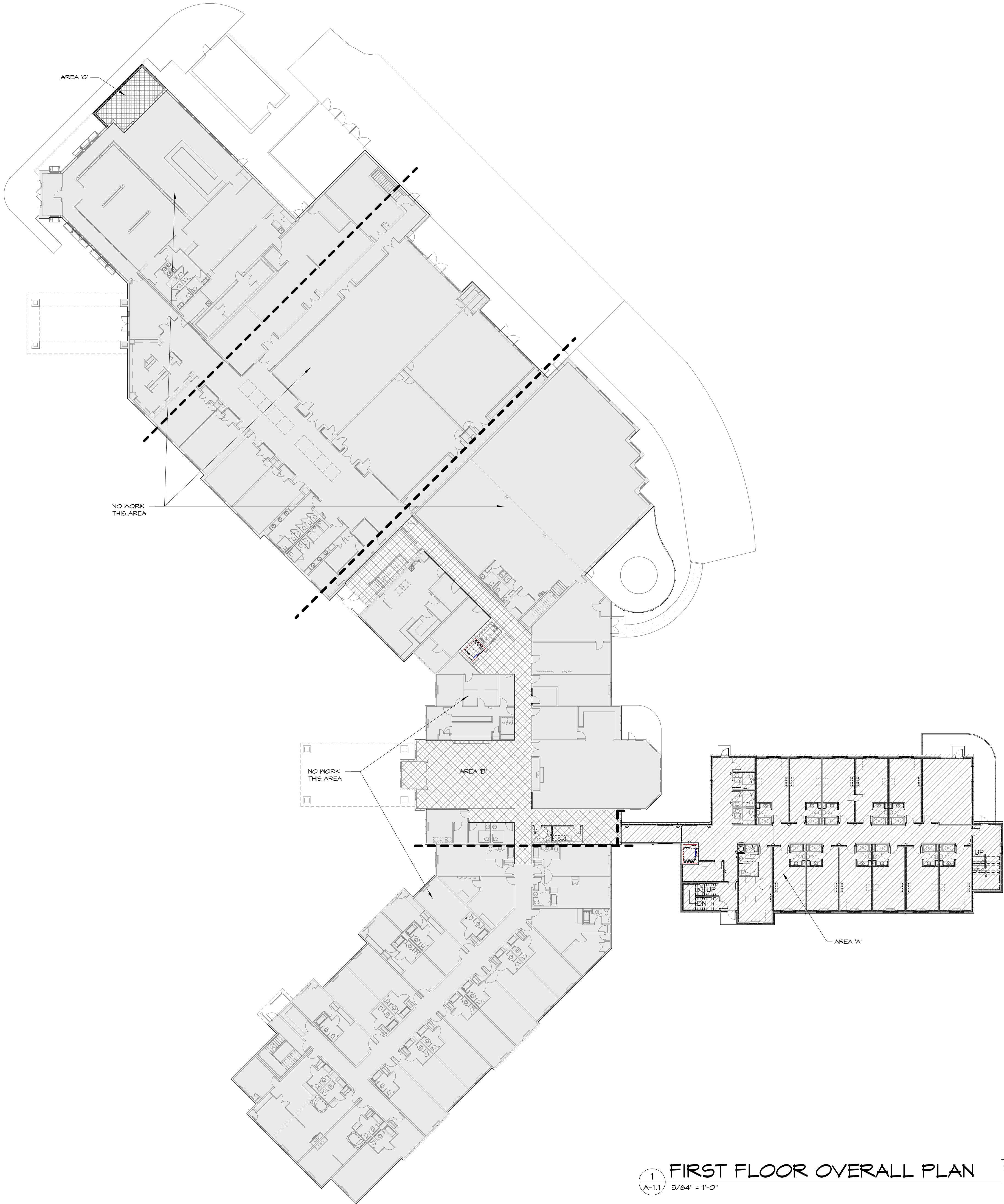




EXTERIOR 3D VIEWS







1  
A-1.1  
3/64" = 1'-0"

FIRST FLOOR OVERALL PLAN

GENERAL FLOOR PLAN NOTES:

- OWNER TO PROVIDE ALL NECESSARY PERMITS & FEES REQUIRED TO COMPLETE THE PROJECT.
- CONSTRUCTION & INSTALLATION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE & NATIONAL BUILDING CODES & THE AMERICANS WITH DISABILITY ACT.
- ALL NEW WALLS SHALL BE CONSTRUCTED AS PER THE WALL TYPE & SHALL BE CARRIED TO THE STRUCTURE ABOVE, UNLESS OTHERWISE NOTED. PREPARE ALL SURFACES FOR FINISHES INDICATED.
- CONTRACTOR TO PROVIDE BLOCKING FOR ALL WALL SUPPORTED CASEWORK, TOILET ACCESSORIES, HANDRAILS, EQUIPMENT, DOOR STOPS, SHELVEYS, ETC. AS REQUIRED
- ANY PENETRATIONS IN DESIGNATED FIRE WALLS SHALL MAINTAIN THE REQUIRED FIRE SEPARATION BETWEEN AREAS. CONTRACTOR TO PROVIDE SLEEVES, FIRE RETARDANT INSULATION & FIRE CAULKING AS REQUIRED.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH EQUIPMENT MANUFACTURERS TO ENSURE APPROPRIATE ROUGH IN CLEARANCE FOR EQUIPMENT INSTALLATION & USE.
- WHERE MOUNTING HEIGHTS ARE NOT INDICATED, MOUNT INDIVIDUAL UNITS OF WORK AT A.D.A. STANDARD MOUNTING HEIGHTS FOR THE PARTICULAR APPLICATION INDICATED. REFER QUESTIONABLE MOUNTING HEIGHT CHOICES TO THE ARCHITECT FOR A FINAL DECISION.
- DO NOT SCALE THE DRAWINGS.
- ALL DIMENSIONS AND INTERIOR WALL THICKNESSES ARE FROM THE FINISHED FACE OF WALL TO FINISHED FACE OF WALL, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL LAYOUT & MARK ALL WALLS & OPENINGS PRIOR TO CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- ENTIRE BUILDING TO BE EQUIPPED WITH AN APPROVED, SUPERVISED, AUTOMATIC FIRE SPRINKLER SYSTEM. THIS SYSTEM SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NFPA 13 BY THE FIRE SPRINKLER CONTRACTOR.
- ALL FURNITURE AND EQUIPMENT NOT SPECIFICALLY NOTED ON PLANS SHALL BE SUPPLIED AND INSTALLED BY OWNER. CONTRACTOR SHALL COORDINATE ALL ELECTRICAL & DATA OUTLETS, ETC. W/ FINAL FURNITURE LAYOUT DRAWINGS.
- ALL DOOR OFFSETS (HINGE SIDE) TO BE A MINIMUM OF 4", UNLESS NOTED OTHERWISE.
- REFER TO SITE PLAN SHEET FOR CONCRETE WALK LAYOUT.
- ALL GYP. BOARD SHALL RETURN TO ALL WINDOW/DOOR FRAMES AT JAMBS & HEAD, TYPICAL, UNLESS NOTED OTHERWISE.

STANDARD FLOOR PLAN NOTATION:

- INDICATES EXIT LIGHTS (SEE LIFE-SAFETY PLAN SHEET, REFL. CLG. PLANS AND ELECTRICAL PLANS FOR LOCATIONS)
- INDICATES SEMI-RECESSED FIRE EXTINGUISHER CABINET
- INDICATES FIRE EXTINGUISHER - MIN. 10# "A-B-C" (UNLESS NOTED OTHERWISE) OR OTHER AS REQ'D. BY STATE AND/OR LOCAL CODE. SEE SPECIFICATIONS. (MOUNT AT 4'-0" A.F.F. MAX. TO TOP/EXTINGUISHER).
- FLOOR DRAIN
- CATCH BASIN
- INDICATES WALL TYPES, REFER TO INT. WALL TYPES FOR INFORMATION.
- 1 - HOUR FIRE BARRIER WALL - REFER TO PLANS & WALL TYPES
- 2 - HOUR FIRE BARRIER WALL - REFER TO PLANS & WALL TYPES

A RENOVATION AND ADDITION FOR:

BRIDGEWOOD HOTEL EXPANSION

NEENAH, WISCONSIN

date: 03/08/2024

job: 22-124

d. by: JLN

rev.:

A-1.1

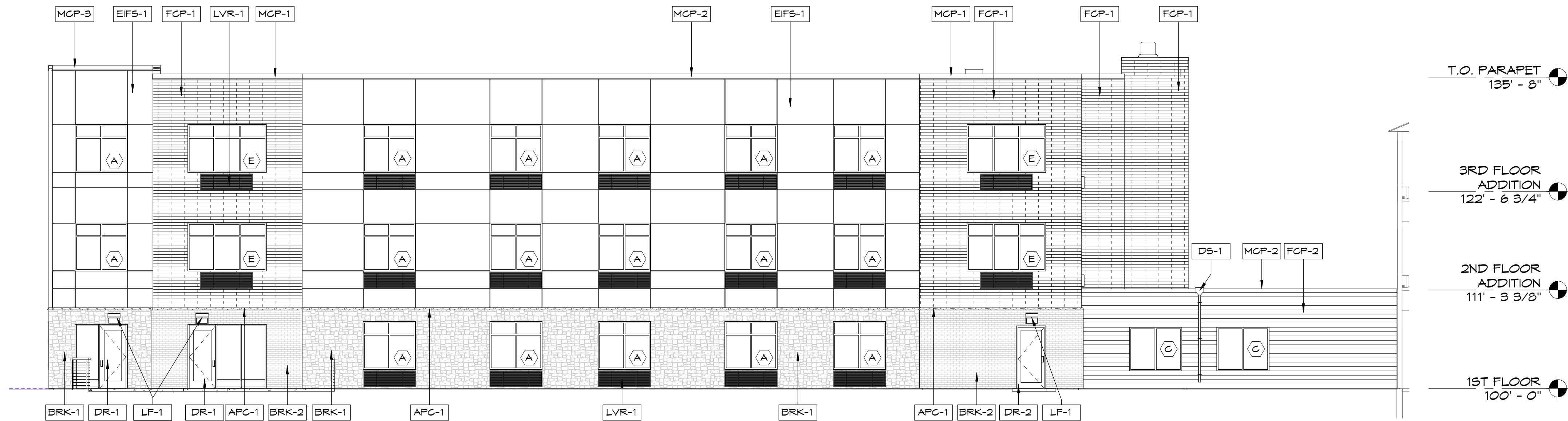
Gries Architectural Group Inc.

NEENAH OFFICE: 500 North Commercial Street, Neenah, WI 54956  
Phone: 920-722-2445  
www.griesdesign.com

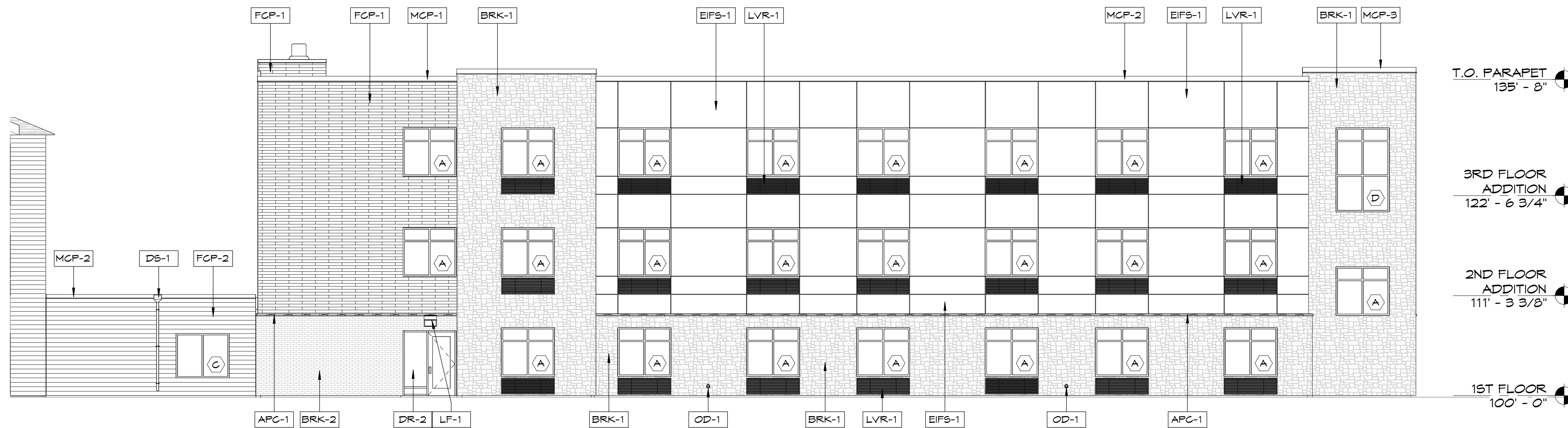
HUDSON OFFICE: 400 South 2nd Street, Suite #155, Hudson, WI 54633  
Phone: 920-722-2445  
www.griesdesign.com

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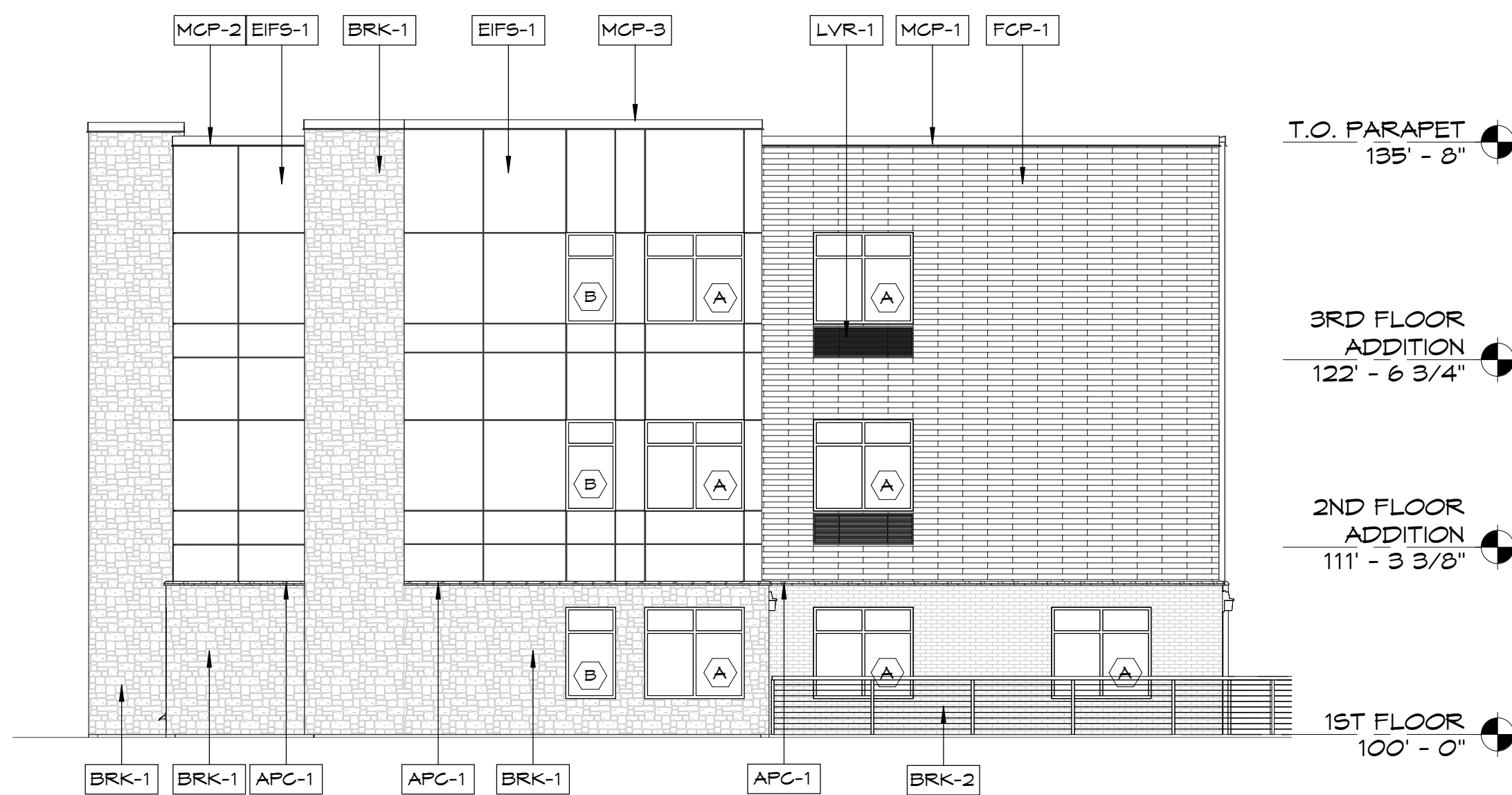




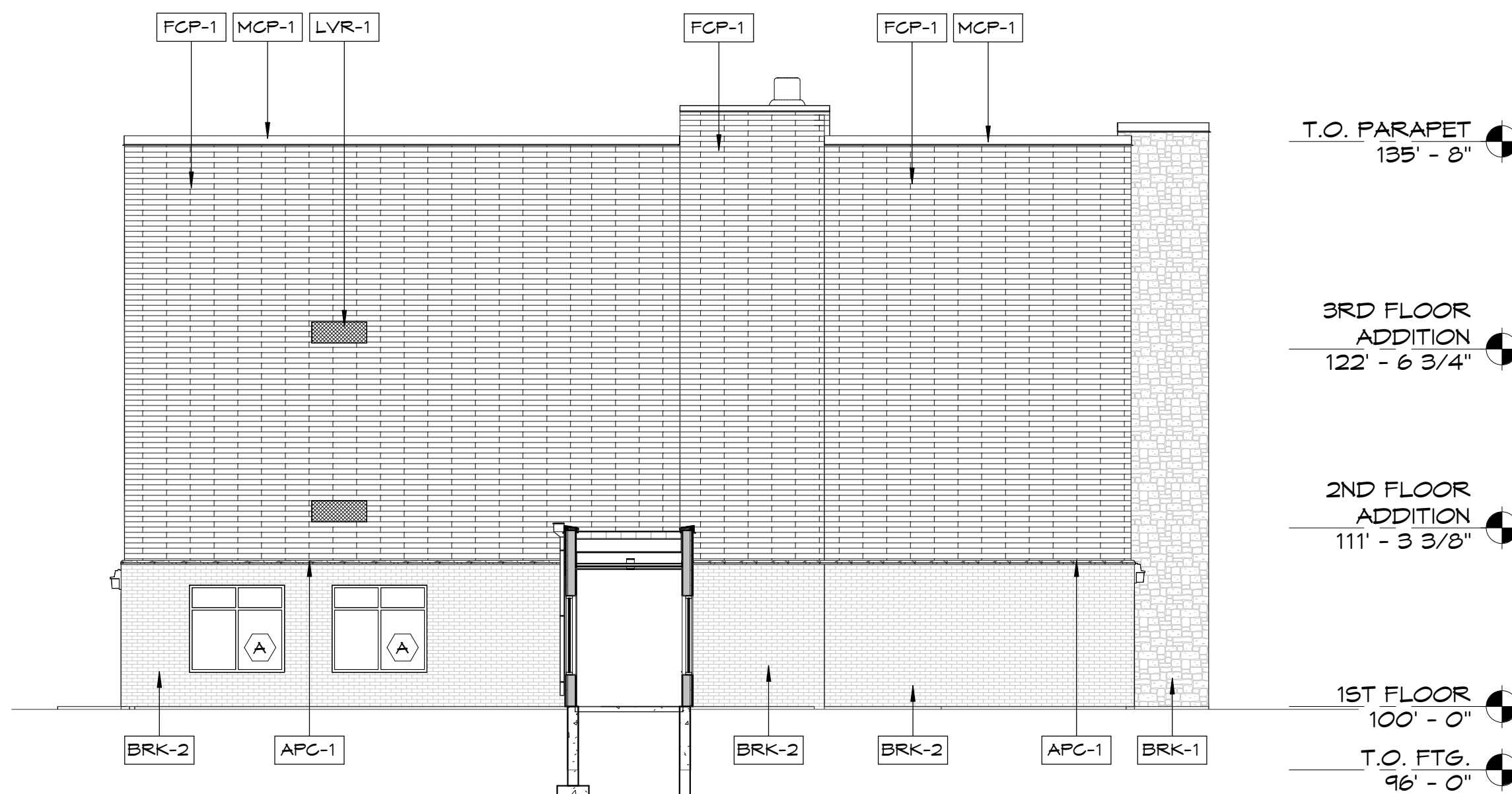
1  
A-4.1  
AREA A - NW ELEV.  
1/8" = 1'-0"



2  
A-4.1  
AREA A - SE ELEV.  
1/8" = 1'-0"



3  
A-4.1  
AREA A - NE ELEV.  
1/8" = 1'-0"



4  
A-4.1  
AREA A - SW ELEV.  
1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE	
KEYNOTE	MATERIAL SUMMARY
APC-1	ARCHITECTURAL CAST STONE COLOR: MEDIUM GRAY TO BLEND WITH BRICK
BRK-1	DIMENSIONAL STONE VENEER COLOR: LIGHT GRAY BLEND, TEXTURED B.O.D.: BUECHEL STONE, FOND DU LAC COUNTRY SQUIRE BLEND
BRK-2	UNIT MASONRY, UTILITY, RUNNING BOND COLOR: DARK GRAY BLEND, SMOOTH B.O.D.:
CW/SF-#	EXTERIOR CURTAINWALL/ STOREFRONT SYSTEM: MFR: TUBELITE T14000 FRAMING SYSTEM COLOR: BLACK
DR-#	DOOR, REFER TO A-3.1 FOR ADDTL INFO TYPE DR-1: ALUMINUM COLOR: TBD, TO MATCH SURROUNDING STONE TYPE DR-2: ALUMINUM COLOR: CHARCOAL
DS-1	PREFINISHED SCUPPER AND DOWNSPOUT COLOR: MATCH ADJACENT MATERIAL
EIFS-1	EXTERIOR INSULATION FINISHING SYSTEM COLOR: GRAY (MATCH SIXXXX) FINISH: MEDIUM SANDBLAST
EIFS-2	EXTERIOR INSULATION FINISHING SYSTEM COLOR: TO MATCH EXISTING FINISH: TO MATCH EXISTING
FCP-1	FIBER CEMENT PANEL, WOOD-LOOK PLANKING COLOR: BARK B.O.D.: NICHHA WOODGRAIN VINTAGE WOOD, 3050
FCP-2	FIBER CEMENT PANEL, LAP SIDING COLOR: TO MATCH EXISTING, ADJACENT B.O.D.: HARDIE-PLANK CEDARMILL IV/ 5" EXPOSURE
GDS-1	PREFINISHED GUTTER AND DOWNSPOUT MFR.: TBD COLOR: TO MATCH ADJACENT MATERIAL
LF-1	LIGHT FIXTURE TYPE LF-1: TO MATCH EXISTING
LVR-1	MECHANICAL LOUVER COLOR: BLACK OR DARK GRAY TO BLEND W/ BRICK
MCP-1	PRE-FINISHED METAL COPING COLOR: BLACK
MCP-2	PRE-FINISHED METAL GRAVEL STOP AND FASCIA COLOR: WHITE
MCP-3	PRE-FINISHED METAL COPING COLOR: TO MATCH EXISTING
MTL-1	PREFINISHED METAL SOFFIT AND FASCIA MFR.: TBD COLOR: TBD
OD-1	OVERFLOW DRAIN STYLE: BRASS LAMBS TONGUE W/ BIRD SCREEN

A RENOVATION AND ADDITION FOR:

BRIDGEWOOD HOTEL EXPANSION

NEENAH, WISCONSIN



HUDSON OFFICE:  
400 South 2nd Street, Suite #155  
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date: 03/08/2024  
job: 22-124  
d. by: DAH  
rev.:  
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\_\_\_\_\_  
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A-4.1



EXTERIOR ELEVATIONS



NORTHWEST ELEV. @ ADDITION  
1/8" = 1'-0"



NORTHEAST ELEV. @ ADDITION  
1/8" = 1'-0"

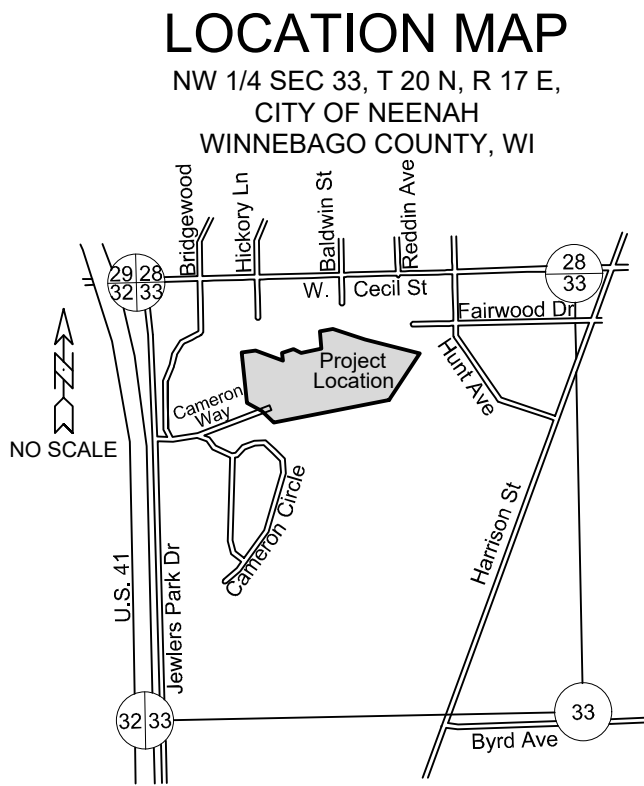
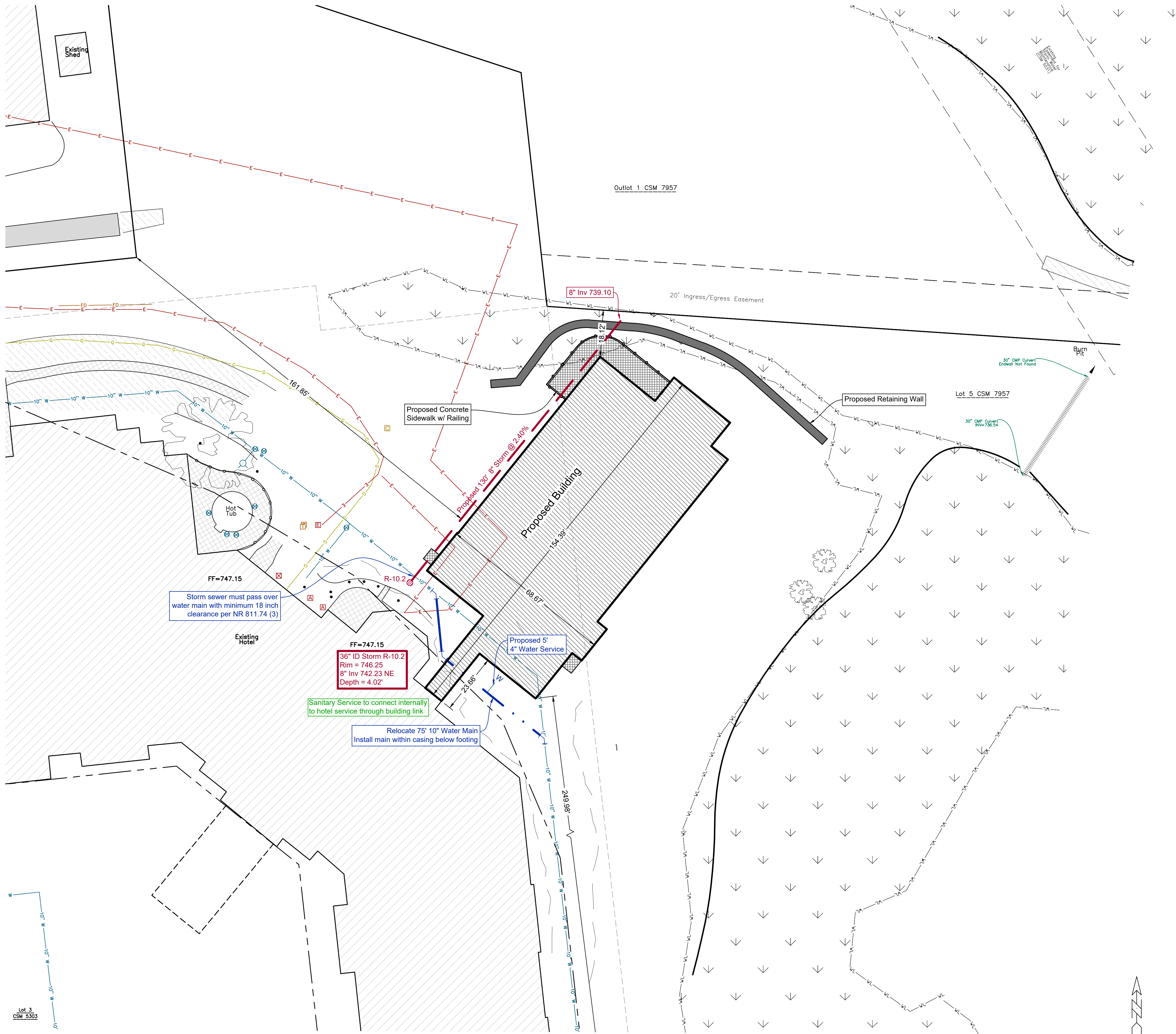


SOUTHWEST ELEV. @ ADDITION  
1/8" = 1'-0"



SOUTHEAST ELEV @ ADDITION  
1/8" = 1'-0"





**SITE INFORMATION:**  
Lot 5 CSM 7957

**Site Areas**  
Parcel Area: 509,902 SF (11.7 Acres)  
Proposed Building Addition: 7,839 SF  
Proposed Pavement Addition: 485 SF

**LEGEND**

Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
Overhead Electric Lines	Storm Manhole	Sign
Utility Guy Wire	Inlet	Post / Guard Post
Sanitary Sewer	Catch Basin / Yard Drain	Large Rock
Storm Sewer	Water MH / Well	Flag Pole
Underground Electric	Hydrant	Deciduous Tree
Underground Gas Line	Utility Valve	Coniferous Tree
Underground Telephone	Utility Meter	Bush / Hedge
Water Main	Light Pole / Signal	Benchmark
Fence - Wood	Guy Wire	Asphalt Pavement
Culvert	Electric Pedestal	Concrete Pavement
Index Contour	Electric Transformer	Gravel
Intermediate Contour	Air Conditioner	
Ex Spot Elevation	Telephone Pedestal	
Delineated Wetlands	Telephone Manhole	
Proposed Storm Sewer	Proposed Sanitary Manhole	Proposed Reducer
Proposed Sanitary Sewer	Proposed Storm Manhole	Proposed Plug
Proposed Water Main	Proposed Curb Inlet	Proposed Water MH
Proposed Contour	Prop. Catch Basin / Yard Drain	Proposed Tee
Proposed Swale	Proposed Endwall	Proposed Cross
Proposed Culvert	Proposed Hydrant	Proposed 90° Bend
Proposed Building	Proposed Valve	Proposed 45° Bend
Proposed Asphalt	Proposed Curb Stop	Proposed 22.5° Bend
Proposed Concrete	Proposed Cleanout	
Proposed Gravel		

**SHEET INDEX:**

Sheet	Page
Site Plan (Hotel Addition)	C-1.0
Site Plan (Restaurant & Parking Lot Additions)	C-1.1
Topographic Survey	C-1.2
Drainage, Grading, & Erosion Control Plan (Hotel Addition)	C-1.3
Drainage, Grading, & Erosion Control Plan (Restaurant & Parking Lot Additions)	C-1.4
Construction & Erosion Control Details	C-2.1

**SITE PLAN**  
(HOTEL ADDITION)



**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
Civil Engineers and Land Surveyors  
1164 Province Terrace, Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-441-0804  
www.davel.pro

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A RENOVATION AND ADDITION FOR:  
**BRIDGEWOOD HOTEL EXPANSION**  
NEENAH, WISCONSIN

date: 03/08/2024  
job: 22-124  
d. by: Author  
rev.:  
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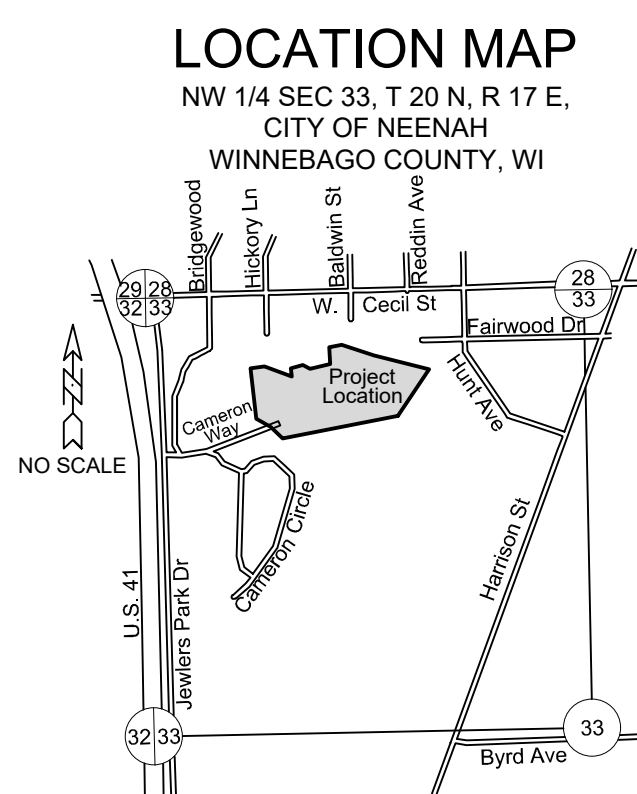
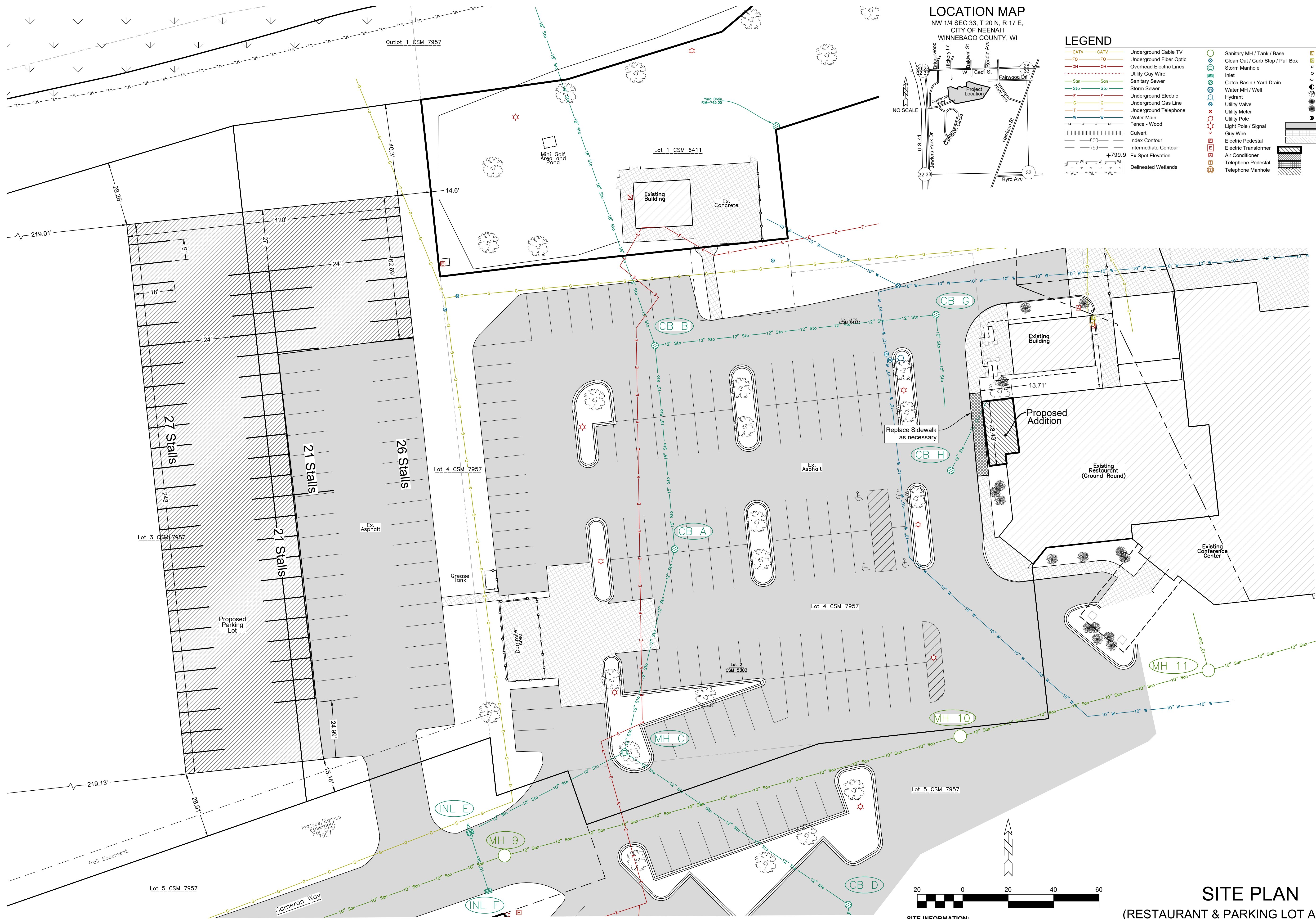
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3/8/24 BUILDING PLAN REVIEW

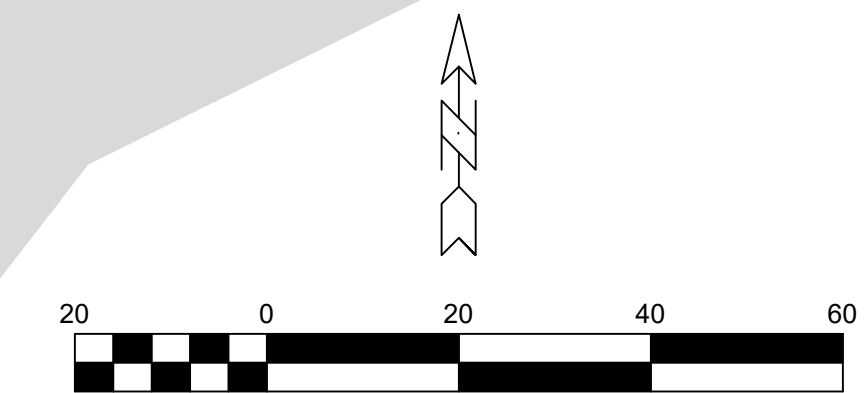
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Phone: 920-722-2445  
www.gries.design  
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500 North Commercial Street - Neenah, WI 54956  
Phone: 920-722-2445  
www.gries.design





LEGEND	
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	Fence - Wood
	Culvert
	Index Contour
	Intermediate Contour
	Ex Spot Elevation
	Delineated Wetlands
	Sanitary MH / Tank / Base
	Clean Out / Curb Stop / Pull Box
	Storm Manhole
	Inlet
	Catch Basin / Yard Drain
	Water MH / Well
	Hydrant
	Utility Valve
	Utility Meter
	Light Pole / Signal
	Guy Wire
	Electric Pedestal
	Electric Transformer
	Air Conditioner
	Telephone Pedestal
	Telephone Manhole
	CATV Pedestal
	Gas Regulator
	Sign
	Post / Guard Post
	Large Rock
	Flag Pole
	Deciduous Tree
	Coniferous Tree
	Bush / Hedge
	Benchmark
	Asphalt Pavement
	Concrete Pavement
	Gravel
	Proposed Building
	Proposed Asphalt
	Proposed Concrete
	Proposed Gravel



SITE INFORMATION:	
Lot 3 & Lot 4 CSM 7957	
<b>Site Areas</b>	
Parcel Area:	197,866 SF (2.65 Acres)
Total Existing Impervious:	± 62,198 SF (31.43%)
Proposed Building Addition:	364 SF
Proposed Pavement Addition:	18,452 SF
Total Proposed Impervious:	± 81,014 SF (40.94%)
Total Proposed Greenspace:	± 116,852 SF (59.06%)



## SITE PLAN (RESTAURANT & PARKING LOT ADDITIONS)

**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
Civil Engineers and Land Surveyors  
1164 Province Terrace, Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-441-0804  
www.davel.pro

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Phone: 920-722-2445  
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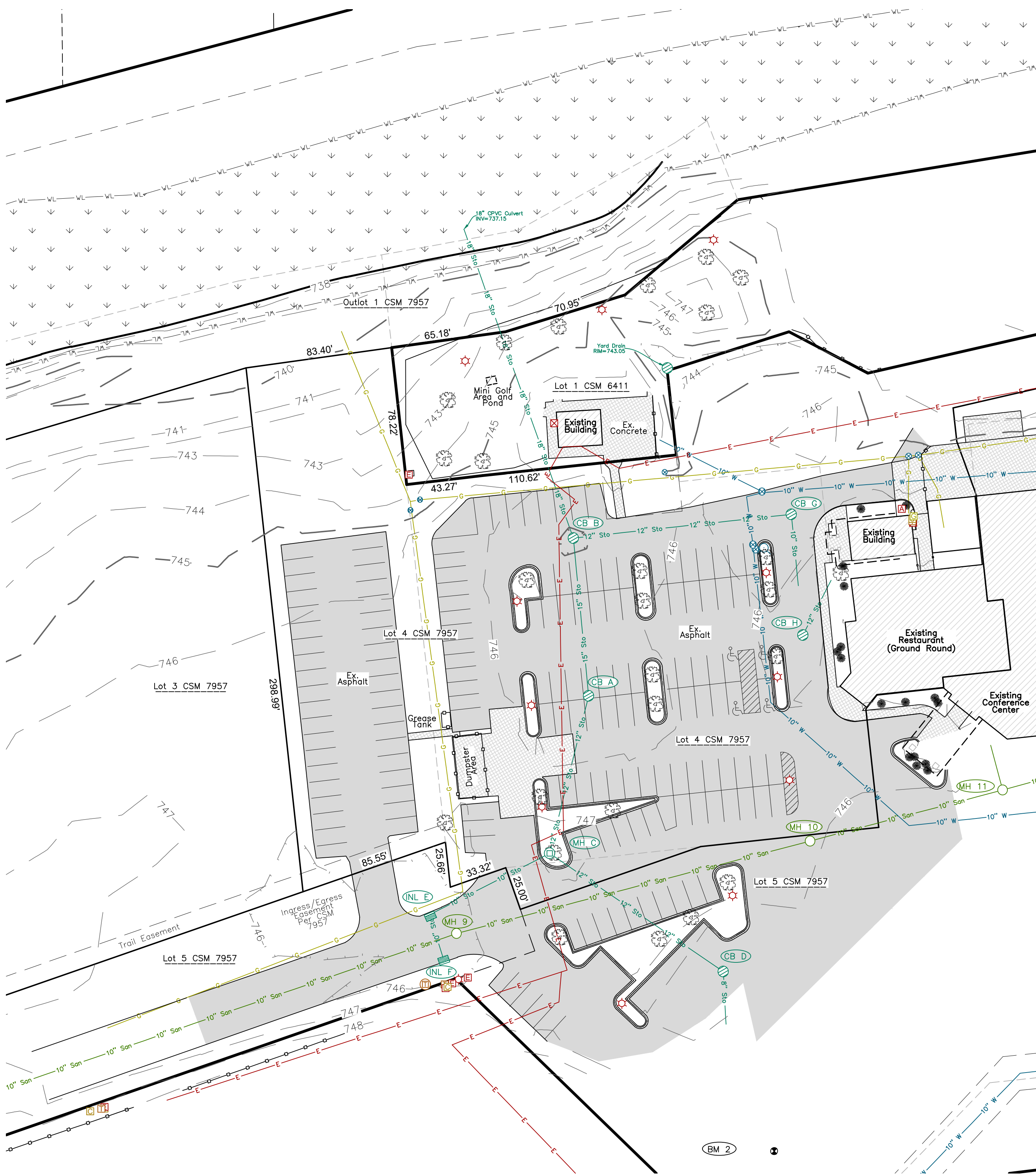
A RENOVATION AND ADDITION FOR:  
**BRIDGEWOOD HOTEL EXPANSION**  
NEENAH, WISCONSIN

date:	03/08/2024
job:	22-124
d. by:	Author
rev.:	

**C-1.1**

3/8/24 BUILDING PLAN REVIEW

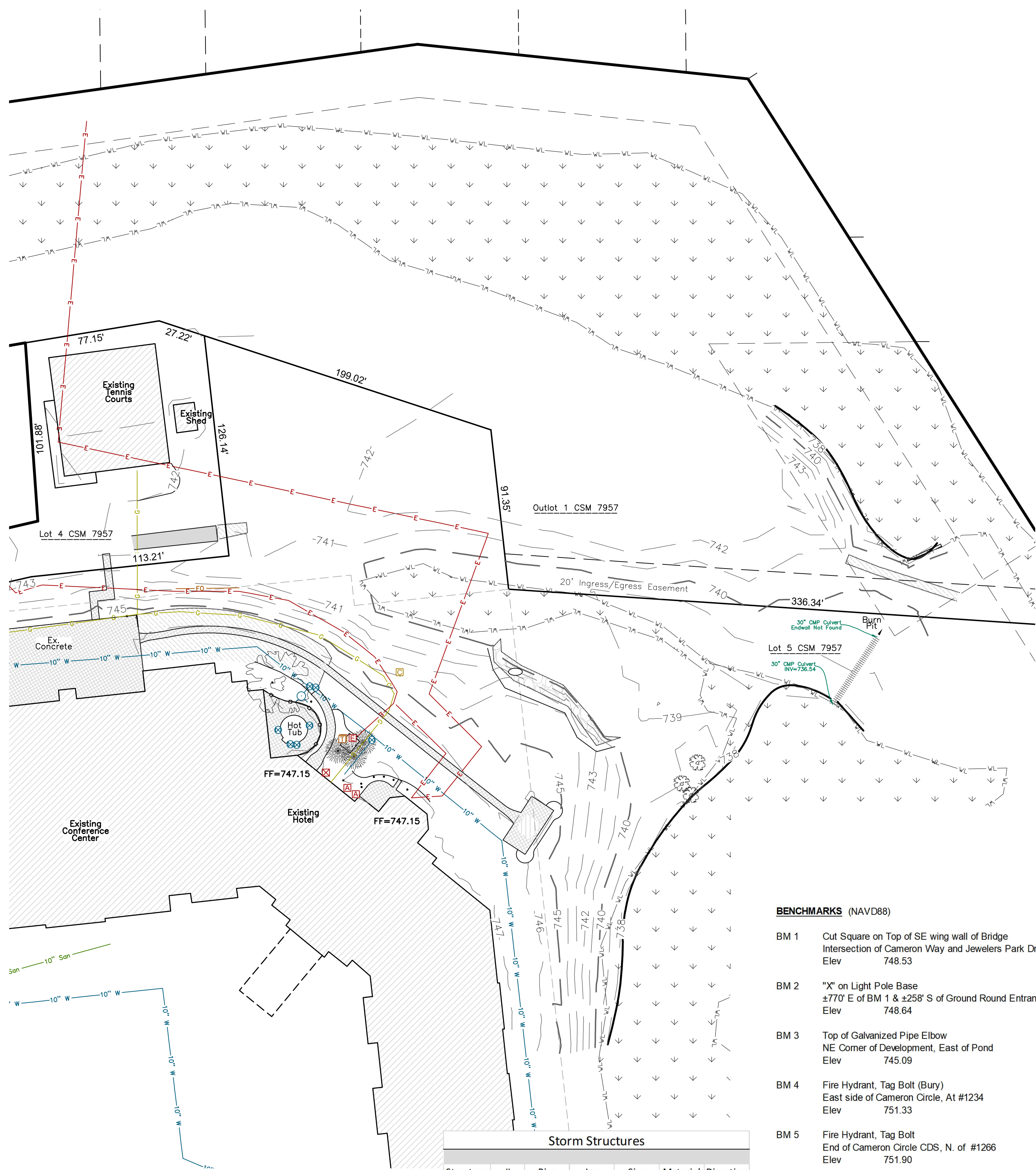
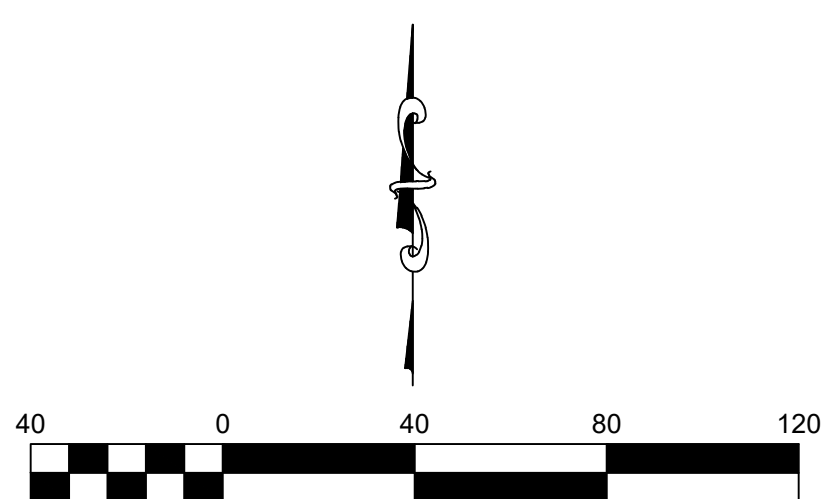




LEGEND			
	CATV		Sanitary MH / Tank / Base
	FO		Clean Out / Curb Stop / Pull Box
	OH		Storm Manhole
	San		Catch Basin / Yard Drain
	Sto		Water MH / Well
	E		Hydrant
	G		Utility Valve
	T		Utility Meter
	W		Light Pole / Signal
	Fence - Wood		Electric Pedestal
	Culvert		Electric Transformer
	Index Contour		Air Conditioner
	Intermediate Contour		Telephone Pedestal
	+799.9 Ex Spot Elevation		Telephone Manhole
	Delineated Wetlands		

General Notes:

- Building zones depicted are based on building setbacks in effect at the time of the survey and should not be relied upon without first obtaining written verification thereof from the City of Neenah and any other local agencies.
- Existing utilities shown are indicated in accordance with available records and field measurements. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's



Sanitary Structures					
Structure	#	Rim	Inv	Size	Material Direction
MH	9	745.73	734.27	10"	PVC SW
			734.27	10"	PVC NE
MH	10	745.83	735.07	10"	PVC SW
			735.07	10"	PVC NE
MH	11	745.59	735.47	10"	PVC SW
			735.47	10"	PVC N
			736.02	10"	PVC NE

Storm Structures					
Structure	#	Rim	Inv	Size	Material Direction
CB	A	745.00	739.20	15"	PVC N
			739.30	12"	PVC SW
CB	B	744.77	738.27	12"	PVC E
			738.27	18"	PVC NW
			738.17	15"	PVC S
MH	C	747.33	740.03	12"	PVC NE
			740.03	12"	PVC SE
			739.93	10"	PVC SW
CB	D	745.20	740.70	12"	PVC NW
			740.70	8"	PVC S
INL	E	745.44	741.34	10"	PVC NE
			741.34	10"	PVC S
INL	F	745.63	741.43	10"	PVC N
CB	G	745.17	740.27	10"	PVC S
			740.17	12"	PVC W
CB	H	745.45	740.75	12"	PVC NE

BENCHMARKS (NAVD88)

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- BM 2 "X" on Light Pole Base ±770' E of BM 1 & ±258' S of Ground Round Entrance Elev 748.64
- BM 3 Top of Galvanized Pipe Elbow NE Corner of Development, East of Pond Elev 745.09
- BM 4 Fire Hydrant, Tag Bolt (Bury) East side of Cameron Circle, At #1234 Elev 751.33
- BM 5 Fire Hydrant, Tag Bolt End of Cameron Circle CDS, N. of #1266 Elev 751.90
- BM 6 Fire Hydrant, Tag Bolt (Bury) West side of Harrison St., ±50' S of Foxwood Crossing Apt South Dr. Elev 753.86
- BM 7 Fire Hydrant, SW Bolt ±435' SW of BM 6 & West side fo Harrison St. Elev 754.16



TOPOGRAPHIC SURVEY

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A RENOVATION AND ADDITION FOR:  
BRIDGEWOOD HOTEL EXPANSION  
NEENAH, WISCONSIN

date: 03/08/2024

job: 22-124

d. by: Author

rev.: \_\_\_\_\_

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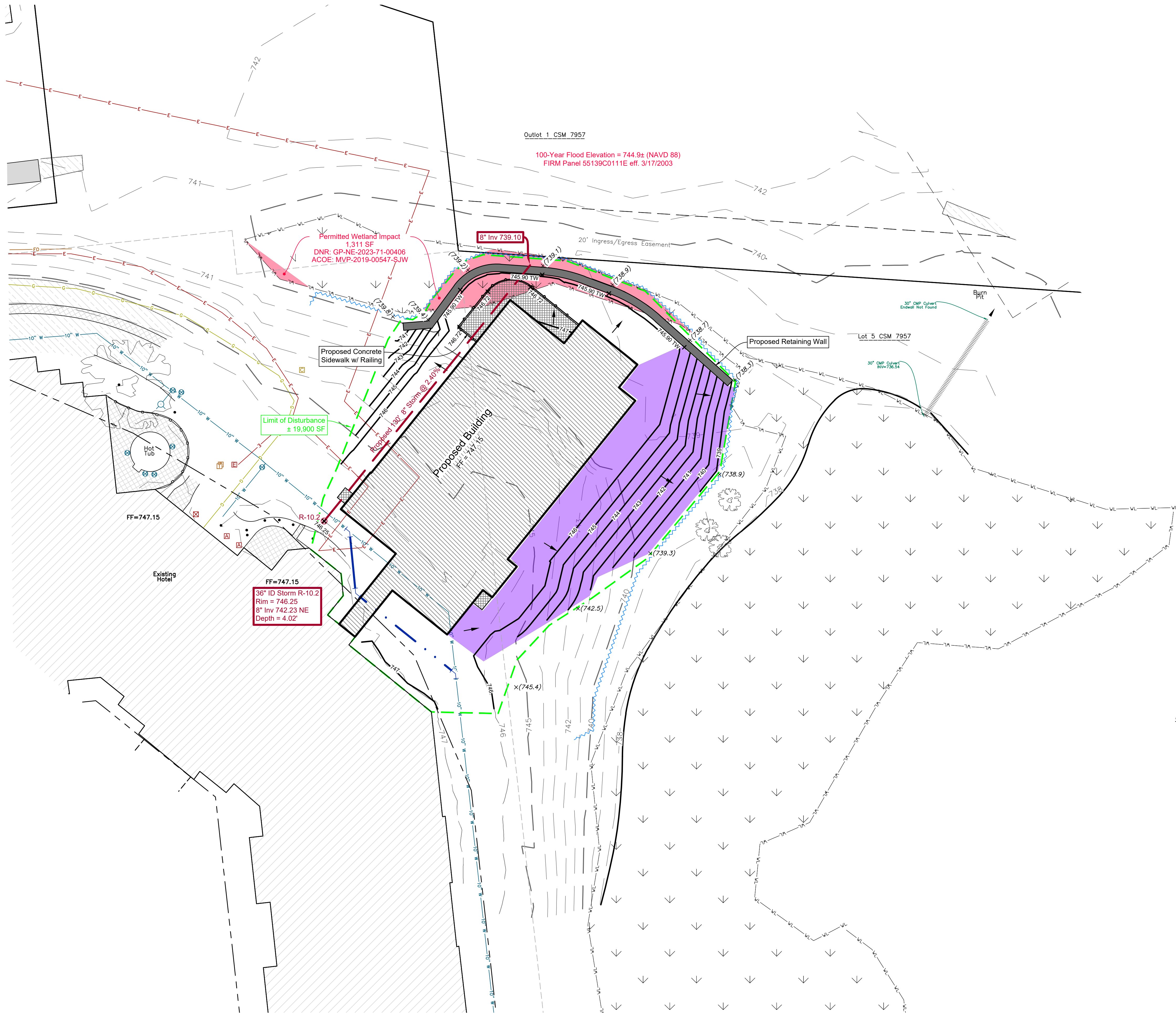
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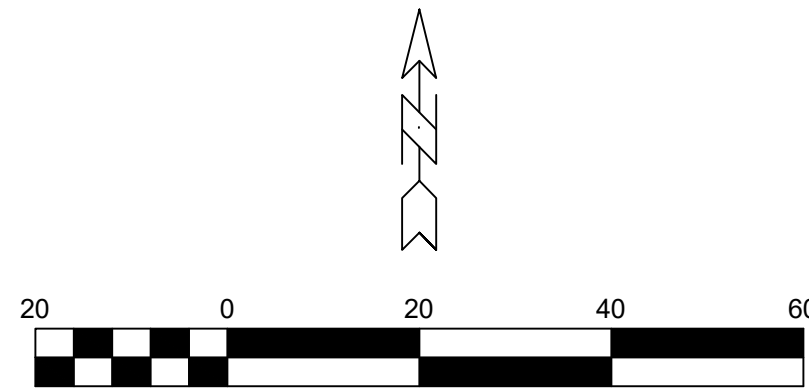


LEGEND

CATV	Underground Cable TV	Sanitary MH / Tank / Base	CATV Pedestal
FO	Underground Fiber Optic	Clean Out / Curb Stop / Pull Box	Gas Regulator
OH	Overhead Electric Lines	Storm Manhole	Sign
San	Sanitary Sewer	Inlet	Post / Guard Post
Sto	Storm Sewer	Catch Basin / Yard Drain	Large Rock
E	Underground Electric	Water MH / Well	Flag Pole
G	Underground Gas Line	Hydrant	Deciduous Tree
T	Underground Telephone	Utility Valve	Coniferous Tree
W	Water Main	Utility Meter	Bush / Hedge
F	Fence - Wood	Light Pole / Signal	Benchmark
600	Culvert	Guy Wire	Asphalt Pavement
799	Index Contour	Electric Pedestal	Concrete Pavement
+799.9	Intermediate Contour	Electric Transformer	Gravel
Ex Spot Elevation		Air Conditioner	
Delineated Wetlands		Telephone Pedestal	
Proposed Storm Sewer		Telephone Manhole	
Proposed Sanitary Sewer		Proposed Storm Manhole	Proposed Sanitary Manhole
Proposed Watermain		Proposed Curb Inlet	Proposed Hydrant
Proposed Contour		Prop. Catch Basin / Yard Drain	Proposed Reducer
Proposed Swale		Proposed Endwall	Proposed Plug
Proposed Culvert		Proposed Rip Rap	Proposed Valve
Proposed Silt Fence		Prop. Flowline Spot Elev.	Proposed Curb Stop
Prop. Drainage Direction		Prop. Top of Walk/Wall Elev.	Proposed Tee
Proposed Ditch Check		Existing Grade	Proposed 90° Bend
Proposed Tracking Pad		Proposed Inlet Protection	Proposed 45° Bend
		Type of Inlet Protection	Proposed 22.5° Bend
			Proposed Urban Type B Erosion Mat
			Proposed Class I Type B Erosion Mat
			Proposed Class III Type B Erosion Mat

BENCHMARKS (NAVD88)

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BM 7	Fire Hydrant, SW Bolt ±435' SW of BM 6 & West side to Harrison St. Elev 754.16



DRAINAGE, GRADING, & EROSION CONTROL PLAN (HOTEL ADDITION)



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A RENOVATION AND ADDITION FOR:  
BRIDGEWOOD HOTEL EXPANSION  
NEENAH, WISCONSIN

date: 03/08/2024  
job: 22-124  
d. by: Author  
rev.:  
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3/8/24 BUILDING PLAN REVIEW

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**BENCHMARKS** (NAVD88)

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- BM 7 Fire Hydrant, SW Bolt ±435' SW of BM 6 & West side to Harrison St. Elev 754.16

**LEGEND**

- |   |                             |                                    |   |
|---|-----------------------------|------------------------------------|---|
| — CATV — CATV   | Underground Cable TV        | ○ Sanitary MH / Tank / Base        | □ CATV Pedestal                         |
| — FO — FO   | Underground Fiber Optic     | ○ Clean Out / Curb Stop / Pull Box | □ Gas Regulator                         |
| — OH — OH   | Overhead Electric Lines     | ○ Storm Manhole                    | □ Sign                                  |
| — San — San   | Sanitary Sewer              | ○ Inlet                            | □ Post / Guard Post                     |
| — Sto — Sto   | Storm Sewer                 | ○ Catch Basin / Yard Drain         | ○ Large Rock                            |
| — E — E   | Underground Electric        | ○ Water MH / Well                  | ○ Flag Pole                             |
| — G — G   | Underground Gas Line        | ○ Hydrant                          | ○ Deciduous Tree                        |
| — T — T   | Underground Telephone       | ○ Utility Valve                    | ○ Coniferous Tree                       |
| — W — W   | Water Main                  | ○ Utility Meter                    | ○ Bush / Hedge                          |
| — F — F   | Fence - Wood                | ○ Light Pole / Signal              | ○ Benchmark                             |
| — Culvert — Culvert   | Culvert                     | ○ Guy Wire                         | ○ Asphalt Pavement                      |
| — Index Contour — Index Contour                             | Index Contour               | ○ Electric Pedestal                | ○ Concrete Pavement                     |
| — Intermediate Contour — Intermediate Contour               | Intermediate Contour        | ○ Electric Transformer             | ○ Gravel                                |
| — Ex Spot Elevation — Ex Spot Elevation                     | Ex Spot Elevation           | ○ Air Conditioner                  |   |
| — Delineated Wetlands — Delineated Wetlands                 | Delineated Wetlands         | ○ Telephone Pedestal               |   |
| — Proposed Storm Sewer — Proposed Storm Sewer               | Proposed Storm Sewer        | ○ Telephone Manhole                |   |
| — Proposed Sanitary Sewer — Proposed Sanitary Sewer         | Proposed Sanitary Sewer     | ○ Proposed Storm Manhole           | ○ Proposed Sanitary Manhole             |
| — Proposed Watermain — Proposed Watermain                   | Proposed Watermain          | ○ Proposed Curb Inlet              | ○ Proposed Hydrant                      |
| — Proposed Contour — Proposed Contour                       | Proposed Contour            | ○ Prop. Catch Basin / Yard Drain   | ○ Proposed Reducer                      |
| — Proposed Swale — Proposed Swale                           | Proposed Swale              | ○ Proposed Endwall                 | ○ Proposed Plug                         |
| — Proposed Sill Fence — Proposed Sill Fence                 | Proposed Sill Fence         | ○ Proposed Rip Rap                 | ○ Proposed Valve                        |
| — Proposed Drainage Direction — Proposed Drainage Direction | Proposed Drainage Direction | ○ Proposed Curb Stop               | ○ Proposed Tee                          |
| — Proposed Ditch Check — Proposed Ditch Check               | Proposed Ditch Check        | ○ Prop. Flowline Spot Elev.        | ○ Proposed 90° Bend                     |
| — Proposed Tracking Pad — Proposed Tracking Pad             | Proposed Tracking Pad       | ○ Prop. Top of Walk/Wall Elev.     | ○ Proposed 45° Bend                     |
|   |                             | ○ Existing Grade                   | ○ Proposed 22.5° Bend                   |
|   |                             | ○ Proposed Inlet Protection        | ○ Proposed Urban Type B Erosion Mat     |
|   |                             | ○ Type of Inlet Protection         | ○ Proposed Class I Type B Erosion Mat   |
|   |                             |                                    | ○ Proposed Class III Type B Erosion Mat |

**DRAINAGE, GRADING, & EROSION CONTROL PLAN**  
(RESTAURANT & PARKING LOT ADDITIONS)



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A RENOVATION AND ADDITION FOR:  
**BRIDGEWOOD HOTEL EXPANSION**  
NEENAH, WISCONSIN

date: 03/08/2024  
job: 22-124  
d. by: Author  
rev.:  
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**Table 10-2: Implementation – Plan Commission**

Related Recommendation	Recommendation	Required Action	Secondary Partner	Priority/Timeline	Status	2024 Update Notes
LU 1.4.1 / IO 1.8.6 / H 3.1.3	Identify areas within and surrounding the City for residential redevelopment and development, including areas for mixed uses of residential, commercial and open spaces that provide convenient access and functionality for pedestrians and vehicles. Consider sites adjacent to existing infrastructure.	Identify areas for residential, mixed use, commercial and opens spaces.	Community Development Authority, Community Development, Public Works, Parks and Recreation	1	On-Going	<i>Completed marketing maps of sites for development or redevelopment for areas in the Downtown, along S. Commercial Street, on Doty Island, and various other areas in the City</i>
ED 1.1.2	Identify strategic locations for future mixed use business and industrial development.	Identify locations for mixed use business and industrial development.	Community Development	1	On-Going	<i>Continue to market the City's Industrial Park expansion area for industrial and manufacturing businesses. Through conversations with developers, the City also markets available sites or sites which have the ability to be rededveloped into mixed use properties.</i>
LU 1.5.1 / ED 1.1.2 / ED 1.1.3	Identify locations for new commercial and industrial development and redevelopment.	Identify areas for commercial and industrial development	Community Development Authority, Community Development, Public Works, Parks and Recreation	1	On-Going	
LU 1.4.2 / H 1.4.1 / LU 1.5.5	Increase the amount of residential living space in or near the downtown.	Identify locations for housing in or near the downtown.	Community Development	1 / Ongoing	On-Going	<i>Two residential developments (Solairs on Main and 201 West) in Downtown Neenah. Have identified several other sites which are marketed for residential/mixed use projects.</i>
H 1.4.4	Promote the conversion of underutilized properties for residential and / or mixed uses, if feasible.	Identify properties that may be appropriate.	Community Development, Community Development Authority	1 / Ongoing	On-Going	<i>City has purchased underutilized commercial and residential properties in order to either package land for development or assist in the removal of blight. The City has purchased and demolished at least 3 properties along S. Commercial Street for this purpose, and several within downtown Neenah.</i>
LU 1.4.5 / H 3.2.1	Create neighborhood plans for undeveloped lands.	Select unimproved areas that would benefit from the development of neighborhood plans.	Community Development, Public Works, Parks and Recreation	2	On-Going	<i>The City purchased 130+ acres of undeveloped land in the Town of Vinland and approved a neighborhood concept plan.</i>
IO 1.1.1 / LU 1.2.3	Identify key areas in the City that could be enhanced through creative placemaking techniques, or other methods such as neighborhood improvement districts or neighborhood associations.	Identify key areas in the City for "placemaking" or for the formation of neighborhood associations and neighborhood improvements.	Community Development	2	On-Going	<i>The Downtown Plan and S. Commercial Street Plan both identified placemaking recommendations.</i>
IO 1.8.1	The City should explore the level of interest in using design review more fully in its development approval process.	Research the design review process and its relevance in including it in the approval process.	Community Development	2	Not Completed	
LU 1.4.3 / H 1.4.3	Create a zoning district for neighborhood level commercial uses.	Develop a new zoning district.	Community Development	2	Not Completed	

**Table 10-2: Implementation – Plan Commission**

Related Recommendation	Recommendation	Required Action	Secondary Partner	Priority/Timeline	Status	2024 Update Notes
LU 1.4.3 / H 1.4.8	Develop zoning districts appropriate for different lot sizes and smaller houses.	Revise zoning code.	Community Development	2	Not Completed	
LU 1.4.3 / H 3.1.1	Protect existing neighborhoods from incompatible uses (i.e. industrial and manufacturing).	Revise zoning code, if necessary	Community Development	2	On-Going	<i>The Community Development Department and Plan Commission review site plans to ensure adequate buffering measures are placed to protect residential properties.</i>
LU 1.5.10 / ED 2.4.3 / LU 1.4.3	Develop standards that buffer commercial and residential uses and allow both to prosper.	Revise zoning code.	Community Development	2	On-Going	
LU 1.4.3 / H 3.1.1	Establish progressive resource protection standards that new neighborhood developments should follow, to insure that natural features function to both enhance the value of adjoining property and continue their environmental purpose.	Revise zoning code.	Community Development	2	Not Completed	
ED 2.2.6 / LU 1.5.5	Protect the historic character of the downtown area by adopting historical preservation design standards to enhance and preserve the historical significance of the Central Business District.	Revise zoning code.	Community Development, Landmarks Commission, Neenah Historical Society	2	Not Completed	
H 1.4.6	Allow flexibility in the building code to develop varied types and sizes of housing.	Review / revise building code.	Community Development	2	Not Completed	
H 1.4.2	Consider new emerging trends in housing such as tiny houses, granny flats, and cohousing.	Investigate emerging trends in housing. Revise zoning code as necessary.	Community Development, Sustainable Neenah Committee	2	On-Going	
T 2.1.4	Encourage businesses to provide bicycle parking for employees who bike to work.	Update the ordinance to provide an incentive for businesses who provide bicycle parking.	Community Development, Future Neenah, Downtown Businesses, Public Works	2	On-Going	
NR 1.2.7	Add a requirement that developers work with the City to provide diversity in the selection of trees.	Revise the zoning code.	Community Development, Park and Recreation, City Council	2	Not Completed	
NR 2.1.3 / H 3.1.2	Develop and adopt policies that require “low impact design” (LID), particularly to assist with stormwater management.	Revise the zoning code.	Public Works, Community Development, Park and Recreation, City Council, Sustainable Neenah Committee	2	Not Completed	

**Table 10-2: Implementation – Plan Commission**

Related Recommendation	Recommendation	Required Action	Secondary Partner	Priority/Timeline	Status	2024 Update Notes
IO 1.8.4 / LU 1.1.3	The City should review its Site Plan Review approval process to ensure that its consistent with established goals in the Comprehensive Plan	Review the Site Plan Review Process for consistency with the Comprehensive Plan.	Community Development	3	On-Going	<i>Began by implementing a site plan review process through Evolve software which allows for applicant to submit and pay electronically, allows for internal review by other departments, and allows applicants to see the review process and comments.</i>
IO 1.8.3 / LU 1.2.2	The City should develop an urban design manual that would provide guidance on building architecture, site design, landscaping and signage.	Develop a manual that will provide guidance on architecture, site design, landscaping, signage.	Community Development, Public Works	3	Not Completed	
IO 1.8.2	Identify districts/areas within the City that would benefit from consistent design standards.	Identify districts / areas that could benefit from more consistent design standards. Work with property owners / businesses to develop design standards.	Community Development	3	On-Going	
H 2.2.6	Consider establishing a historical regulated district in various locations within the City.	Work with the Landmarks Commission, and others to identify areas within the City.	Landmarks Commission, Neenah Historical Society, Community Development, Property Owners	3	Not Completed	
H 2.2.7	Create a property maintenance ordinance.	Investigate & develop a property maintenance ordinance.	Inspections Division, Community Development, Citizen Advisory Committee	3	On-Going	