



NEENAH PLAN COMMISSION

**Tuesday, August 12, 2025**

**4:00 P.M.**

**Hauser Room, City Administration Building**

**Virtual Meeting Option:** This meeting is available virtually. To access the virtual meeting (Requires Microsoft Teams), please click on the link below:

[Join the meeting now](#)

Meeting ID: 263 867 614 179 5

Passcode: At9ej7aw

- 
1. Approval of Minutes: **July 29, 2025**
  2. Public Appearances (Ten minutes divided among those wishing to speak on topics pertinent to the Plan Commission)
  3. Public Hearings:
    - a. **Special Use Permit #2-25** - 828 Fox Point Plaza - Drive-thru Coffee
    - b. **Special Use Permit #3-25** - 600 Elm Street - School Playground
  4. Action Items:
    - a. **Special Use Permit #2-25** - 828 Fox Point Plaza - Drive-thru Coffee
    - b. **Special Use Permit #3-25** - 600 Elm Street - School Playground
    - c. **Site Plan #15-25** - 202 N Green Bay Road - Storage Building
  5. Discussion Items:
    - a. Neenah Housing Study and Needs Assessment
  6. Announcements and future agenda items:
    - a. Next Meeting: August 26, 2025

*In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Neenah will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance, or reasonable accommodation in participating in this meeting or event due to a disability as defined under the ADA, please call the Community Development Department Administrative Assistant at 920-886-6125 or the City's ADA Coordinator at (920) 886-6106 or e-mail [attorney@NeenahWI.gov](mailto:attorney@NeenahWI.gov) at least 48 hours prior to the scheduled meeting or event to request an accommodation.*

## MINUTES OF THE NEENAH PLAN COMMISSION

Tuesday, July 29, 2025

4:00 p.m.

### Present:

Mayor Jane Lang, Chairperson	PRESENT	Gerry Kaiser, Director of Public Works	PRESENT	Alderman Dan Steiner	ABSENT
Kate Hancock-Cooke	PRESENT	Karen Genett	PRESENT	Frank Cuthbert	PRESENT
Gerry Andrews	ABSENT	Lindsay Clark	PRESENT		

### Also Present:

Brad Schmidt, Deputy Director of Community Development	Kayla Kubat, Administrative Assistant of Community Development	Michael Burrows, Intern of Community Development
Alderman William Pollnow	Alderman Cari Lendrum	Troy Beyer, Galloway Co
Jeremy Wagner, Excel Engineering	Jeremy Flint, Excel Engineering	Tod Galloway, Galloway Co
Scott Becher, 1061 Green Acres Ln, Neenah		

**Minutes:** MSC Genett/Kaiser the Plan Commission, to approve the July 8, 2025 meeting minutes. All voting aye. Motion passed.

**Public Appearances:** Chairperson Mayor Lang opened public appearances to topics not related to the agenda.

Scott Becher- He stated the Galloway expansion is a great improvement for the community and hopes the impact of this expansion on our streets is being taken into consideration.

Alderman Pollnow- He asked how the utilization of Douglas Pond is being monitored with the Galloway expansion.

No one else in attendance spoke. Chairperson Mayor Lang closed public appearances.

**Public Hearings:** None

### **Action Items:**

#### **a. Site Plan #13-25 – 601 S Commercial Street – Building Expansion**

Deputy Director Schmidt went over the request by Galloway Co for a building addition, more trailer parking and off-street parking. The building addition is about 47,000 square feet with 12 loading docks on the west side. Much of the building is 36 feet tall, with the maximum height of 51 feet tall for the elevator shaft. The trailer parking is located along Tyler Street. The parking lot adds 31 new trailer stalls for a total of 55 trailer stalls. The off-street parking will add 77 stalls for a total of 176 stalls for the site. He went over the landscape plan. The minimum frontage landscaping requirements are met with 11 shade trees and about 70 shrubs. There is a proposed fence in that area for safety from the stormwater management facility. The parking lot islands need a minimum of one shade tree on each island, which this plan does not provide, and this would be a condition of the approval.



## Plan Commission Minutes

July 29, 2025

Page 2

Deputy Director Schmidt showed these changes and expansions on a map of the property. The minimum setbacks have all been met in this request. The building expansion is being constructed in similar materials to the rest of the building.

Member Hancock-Cooke asked how the trucks will be entering and exiting the site. The applicant showed how trucks would be coming onto the site from both Commercial St and Henry St.

Deputy Director Schmidt went over the stormwater plan. The northern part of the site goes into the Harrison St Pond. The southern part of the site goes into Douglas Pond.

Member Genett asked if there is anything planned for the future of Henry St and Winneconne Ave. Director Kaiser stated there have been a few options looked at and each provides challenges with the existing infrastructure.

Member Cuthbert asked where the properties are that Galloway Co is trying to acquire. Deputy Director Schmidt showed on map the properties adjacent to the site. The applicant stated two have been acquired, one is in negotiations.

**MSC Hancock-Cooke/Cuthbert, the Plan Commission, approve the site plan to construct a building expansion, trailer parking and an off-street parking lot on property located at 601 S Commercial Street subject to the conditions of the Site Plan Review Letter. All voting aye. Motion passed.**

### **b. Site Plan #14-25 – 1080 Breezewood Lane – Fire Station 31 Improvements**

Deputy Director Schmidt went over the request for a building addition, storage building and a fire training tower. The plan is to modernize the exterior and accommodate for the building additions. The building addition includes an exercise room on the south side and a hose tower in the middle. The east side also has a building addition. The storage building is 24 feet tall and the training facility is about 40 feet tall. Deputy Director Schmidt stated there has not been a landscape plan submitted, and a plan would still be required to move forward.

Member Hancock-Cooke asked about the use of solar panels on this site to help with sustainability to reduce the carbon footprint of the city.

Member Genett asked if this building is being shared with any school. Mayor Lang stated no, however, the training facility is being shared with the city of Menasha.

**MSC Hancock-Cooke/Genett, the Plan Commission, approve the site plan to construct a building expansion and accessory structures on property located at 1080 Breezewood Lane subject to the conditions of the Site Plan Review Letter. All voting aye. Motion passed.**

### **Discussion Items:**

#### **a. Tourist Housing Ordinance**

Deputy Director Schmidt gave an overview of the lawsuit with the WRA and the city and how a rewrite or update to the ordinance will need to be discussed in the future.

Member Genett stated it is important for the judge in these trials to understand the WRA is only interested in the selling of homes and they do not care of the outcome of who buys them.

**b. Neenah Housing Study and Needs Assessment**

Deputy Director Schmidt gave an update on the status of the ADU discussion. He stated he has met with two housing developers to discuss different development opportunities in the city.

**Announcements and Future Agenda Items:** Next meeting is scheduled for August 12, 2025

**Adjournment:** The Commission adjourned its meeting at 4:37 p.m. MSC Genett/Kaiser. All voting Aye. Motion passed.

Respectfully Submitted,

A handwritten signature in cursive script that reads "Kayla Kubat".

Kayla Kubat

Administrative Assistant, Department of Community Development



**DATE:** August 12, 2025  
**TO:** Mayor Lang and Plan Commission  
**FROM:** Brad Schmidt, AICP, Deputy Director  
**RE:** Special Use Permit #2-25– 828 Fox Point Plaza – Drive-Thru Coffee

---

### **Request**

Milbrew Holdings LLC (7Brew Coffee), a national coffee brand, is requesting a special use permit to open a drive-thru coffee business located at 828 Fox Point Plaza.

### **Consideration**

The subject property is located on the southeast corner of W. Winneconne Avenue and S. Lake Street. The applicant is also proposing to create a new parcel from the larger parcel which includes the Pick 'n Save grocery store and Fox Point Plaza shopping center. Land north of the subject property includes Starbucks, land to the east includes the Caliber Collision and Papa Murphy's Pizza, land to the west includes the former KFC restaurant, and land to the south includes the Fox Point Plaza shopping center.

The subject property is located within the C-1, General Commercial Zoning District and all adjacent properties are in the C-1 District.

The C-1 zoning district requires this use to obtain a special use permit. Each zoning district includes a list of Permitted Uses or uses allowed by right and Special Uses or uses that possess special characteristics or uniqueness which require thorough review of their location and configuration relative to the surrounding neighborhood. Specifically, the City's Zoning Code requires that the Plan Commission consider the following findings when deciding on a Special Use:

1. The use shall be compatible with the adjacent land uses so that the existing uses will not be depreciated in value and there will be no deterrents to development of vacant land.
  - a. All land adjacent to the subject property includes commercial type uses including drive-thru restaurants, shopping centers, grocery stores, and other retail options. The proposed use is consistent with the adjacent land uses and will not deter future development of vacant land.
2. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
  - a. The proposed building is constructed of high quality material consistent with surrounding commercial buildings.
3. The use shall be reasonably related to the overall needs of the City and to existing land use patterns.

- a. The Winneconne Ave/Green Bay Road retail area is the primary regional shopping destination in the City of Neenah due to its proximity to I-41. The proposed development is in an area that has been used for off-street parking for many years. Adding new commercial lots to the City and especially in this area is a benefit to the City's overall land use needs.
4. The use will not cause traffic hazards or congestion.
  - a. The proposed use has shown they can accommodate a significant amount of vehicles within their drive-up lanes and on-site should the drive-up lanes be full. The applicant is proposing to close an access point to the property along W. Winneconne Ave. The closure of this access point will benefit traffic safety on W. Winneconne Avenue.
5. The use shall have adequate utilities, access roads, drainage, and other necessary facilities.
  - a. City water and sanitary sewer main are located adjacent to the site within the public right-of-way. The proposed use will not negatively impact City utilities or drainage in this area. The area is currently a parking lot and the proposed development will reduce the impervious area on the site.

#### **Development Standards C-1, General Commercial District**

Front Yard Setback – 10 feet for buildings (**59 feet – W. Winneconne Ave**)

Side Yard Setback – 10 feet (**55 feet – west property line, 45 feet – east property line**)

Rear Yard Setback – 10 feet (**85 feet – south property line**)

Maximum Building Height – 45 feet (**19.83' feet**)

Maximum Building Lot Coverage – 30% (**2.7%**)

#### **Off-Street Parking**

Minimum Requirements (1 per employee) – 7 (**7**)

#### **Landscaping**

Frontage Landscaping – 1 shade tree and 6 shrubs per 40 lineal feet of frontage. The subject property has 177 feet of frontage which equates to 4 shade trees and 27 shrubs required (**3 shade trees and 37 shrubs**)

Screening – Visual screen around dumpster enclosure at least 6 feet in height (**6-foot-tall masonry wall and wood gate**)

#### **Building Elevations**

The business functions as a drive-thru business only; no customer space is provided inside the building. There are two proposed buildings, the main building is 530 square feet in size and includes space for making and preparing coffee drinks. A separate building containing a cooler and storage area (240 square feet) is located east of the main building. Both buildings are primarily clad in fiber cement paneling and metal roof panels.

#### **Traffic Circulation**

A driveway entrance on the north side of the property along W. Winneconne Avenue will be removed as part of this project. There are two access points to the property, one along Fox Point Plaza on the west side of the site and one along the southeast side of the site. Vehicles entering

at either of these access points are routed to two drive-thru lanes on the east side of the site, providing queuing for 17 vehicles. Additional queuing can be accommodated on the property to avoid backups on Fox Point Plaza. Access to the property from the southeast driveway requires a cross-access agreement with the adjoining property owner. Prior to final approval, a copy of the cross-access agreement and any off-site parking agreements shall be submitted to the Community Development Department.

### **Recommendation**

**Plan Commission finds that the proposed use meets the findings of fact for a Special Use Permit (Sec. 26-48) and recommends Common Council approve a Special Use Permit for drive-thru coffee business located at 828 Fox Point Plaza subject to the conditions of the Approval Letter.**



City of Neenah Community Development  
211 Walnut Street  
Neenah WI 54956  
Ph 920.886.6130

August 06, 2025

CORBIN TERLIP  
MILBREW HOLDINGS, LLC  
27 CENTRAL AVE  
CORTLAND, NY 13045

**RE: Special Use Permit #2-25 - 828 Fox Point Plaza - 7 Brews Coffee Special Use Review () Status Approved**

Dear CORBIN TERLIP:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt  
Deputy Director of Community Development and Assessment  
bschmidt@neenahwi.gov  
920-886-6126

## Plan Review Comments

**Planning - Brad Schmidt -**  
**bschmidt@neenahwi.gov**

Approved

**Review Comments:**

1. Prior to the issuance of a building permit, please submit a certified survey map creating the lot as shown on the site plan.
2. Off-site parking and corss access easements shall be submitted to the Community Development Department or identified on the CSM.
3. Work within the public right-of-way requires a right-of-way permit. Please contact the Department of Public Works to obtain the necessary permits prior to working within the right-of-way. (920) 886-6240.
4. On the northwest portion of the property adjacent to Winneconne Ave, there is roughly a 3-foot green area between the sidewalk and drive-thru lane. Consider shifting building and drive-thru land south to increase green area to 5 feet or consider decorative fencing along the curb line to provide extra protection of pedestrians from vehicles.

**Community Development - Kelly Nieforth -**  
**knieforth@neenahwi.gov**

Approved

**Review Comments:**

**Engineering - Heath Kummerow - 920-886-6245**  
**hkummerow@neenahwi.gov**

Approved

**Review Comments:**

Proposed plan reduces impervious surface.  
Proposed storm pipe connects to existing storm main on adjacent private property which also provides some treatment. It is recommend that a formal agreement to be filed with County for use of storm sewer.

**Fire Department - Jerry Mavroff - 886-6204**  
**GMavroff@nmfire.org**

Approved

**Review Comments:**

Just checking to see what the proper address for the building is. The application states 828 W. Winneconne, but the building plans have 808 W. Winneconne.

**Inspections - Building Commercial - Kyle Pederson - 920-886-6131**  
**kpederson@neenahwi.gov**

Approved

**Review Comments:**

**Public Works - Gerry Kaiser -**  
**gkaiser@neenahwi.gov**

Approved

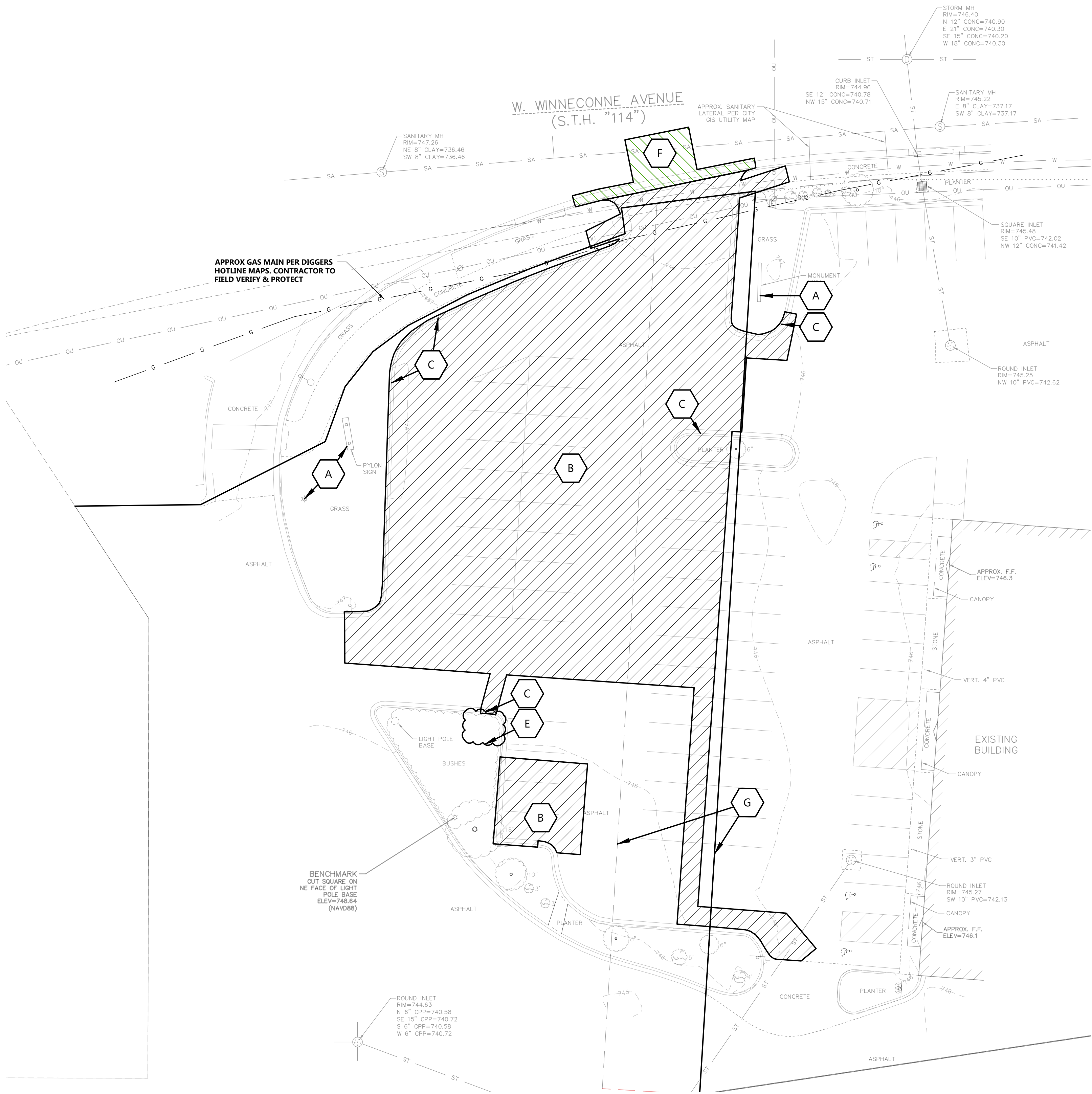
**Review Comments:**

A Street Excavation Permit will be required. Traffic control, curb, sidewalk, and pavement repairs to be coordinated with Public Works engineering staff.

**Water Utility - Anthony Mach - 920-886-6180**  
**amach@neenahwi.gov**

Approved

**Review Comments:**



NOTE:  
THE FIELD WORK WAS COMPLETED ON JULY 10, 2025

NOTE:  
SURFACE INDICATIONS OF UTILITIES ALONG WITH DIGGER'S HOTLINE MARKINGS PER TICKET 20252805789 AND 20252805812 HAVE BEEN SHOWN. SIZES AND ELEVATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON FIELD MEASUREMENTS OF VISIBLE STRUCTURES IN COMBINATION WITH AVAILABLE DATA PROVIDED TO EXCEL ENGINEERING. EXCEL ENGINEERING MAKES NO GUARANTEE THAT ALL THE EXISTING UTILITIES IN THE SURVEYED AREA HAVE BEEN SHOWN NOR THAT THEY ARE IN THE EXACT LOCATION INDICATED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THIS PLAN IS IN NO WAY A SUBSTITUTE FOR UTILITY LOCATING AT THE TIME OF EXCAVATION.

NOTE:  
PROPERTY LINES AND EASEMENTS SHOWN ON THIS SURVEY WERE DRAFTED FROM INFORMATION CONTAINED IN TITLE COMMITMENT NO. \_\_\_\_\_ BY \_\_\_\_\_ TITLE COMPANY, DATED \_\_\_\_\_ 20\_\_\_\_. AN UPDATED PLAT OF SURVEY, CERTIFIED SURVEY MAP OR ALTA SURVEY HAS NOT BEEN AUTHORIZED.

KEYNOTES	
A	PROTECT
B	SAWCUT AND REMOVE PAVEMENT
C	SAWCUT AND REMOVE CURB AS SHOWN
D	PROTECT TREE
E	CLEAR AND GRUB SHRUBS TO MINIMUM EXTENT NECESSARY
F	SAWCUT AND REMOVE PAVEMENT TO NEAREST JOINT PER SDD 13 C 9-8a DETAIL ON SHEET C2.1 PER CITY REQUIREMENTS
G	EASEMENT TO BE VACATED VIA SEPARATE DOCUMENT BY OWNER



CIVIL EXISTING SITE AND DEMOLITION PLAN



**EXCEL**

Always a Better Plan

100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:  
**7-BREW NEENAH**  
808 W. WINNECONNE • NEENAH, WI 54956

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL  
IFA JULY 29, 2025

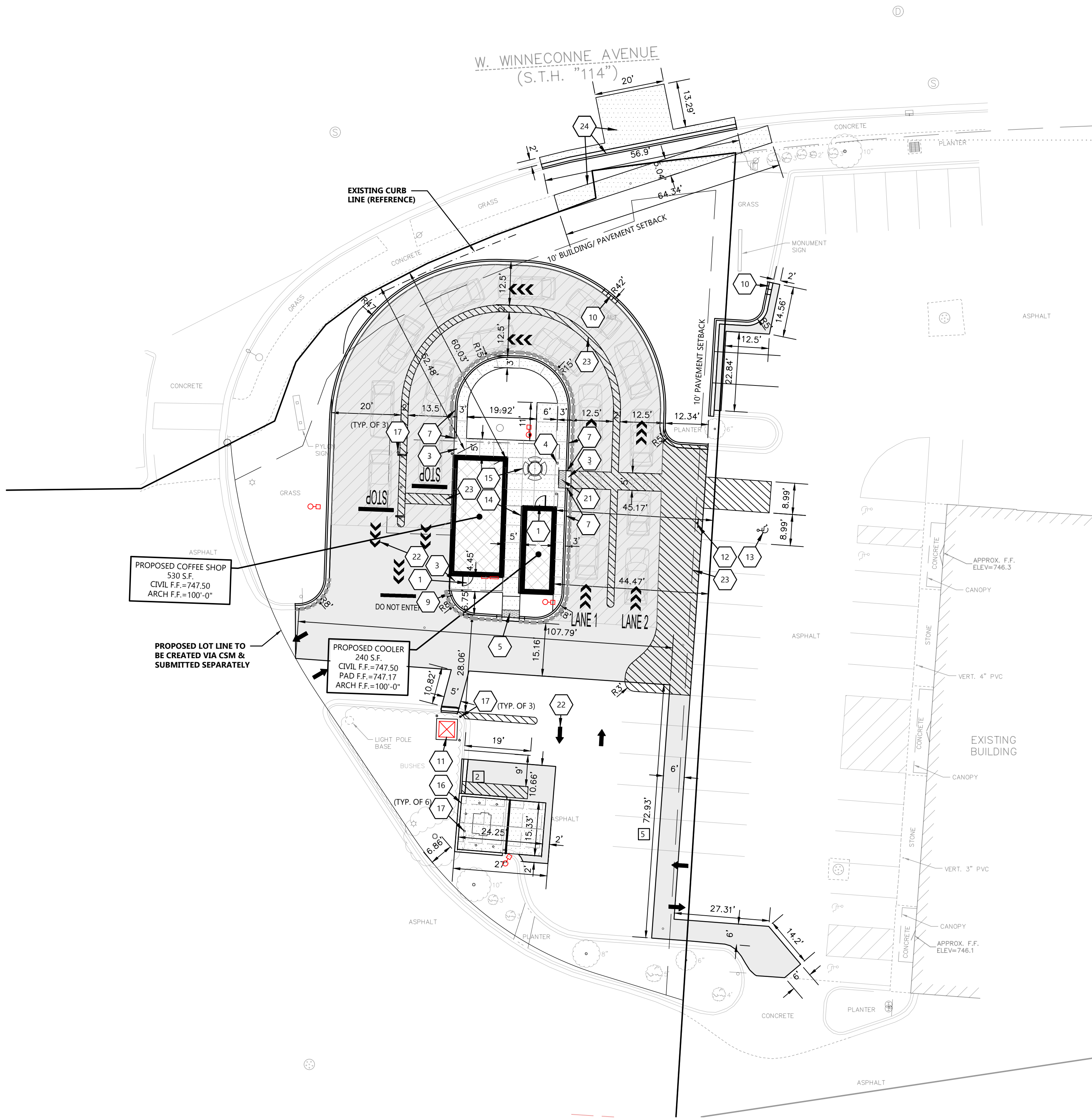
JOB NUMBER

250203200

SHEET NUMBER

C1.0





CONTRACTOR NOTES:

- CONTRACTOR TO PROVIDE TRAFFIC CONTROL PLAN & TRAFFIC CONTROL NECESSARY TO COMPLETE WORK IN ROW. COORDINATE WITH CITY PUBLIC WORKS PRIOR TO CONSTRUCTION.

SITE INFORMATION:

PROPOSED PROPERTY AREA: 23,261 S.F. (0.53 ACRES) TO BE FINALIZED WITH CSM

EXISTING ZONING: C-1 GENERAL COMMERCIAL DISTRICT

PROPOSED ZONING: C-1 GENERAL COMMERCIAL DISTRICT

PROPOSED USE: DRIVE- THRU COFFEE SHOP

AREA OF SITE DISTURBANCE: 12,314 S.F. (0.28 ACRES)

SETBACKS:

BUILDING: FRONT(NORTH) = 10'  
SIDE(EAST/WEST) = 0'  
REAR(SOUTH) = 10'

PAVEMENT: FRONT(NORTH) = 10'  
SIDE(EAST/WEST) = 5'  
REAR(SOUTH) = 5'

PROPOSED BUILDING HEIGHT: 19.83' (MAX. HEIGHT ALLOWED: 45')

PARKING REQUIRED: 1 SPACE PER EMPLOYEE PER SHIFT (7 SPACES REQ.)

PARKING PROVIDED: 7 SPACES (1 H.C. ACCESSIBLE)

HANDICAP STALLS REQUIRED: 1, HANDICAP STALLS PROVIDED: 1

LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 10%  
MAXIMUM LOT COVERAGE - BUILDING ONLY: 30%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.00	0	0.0%
PAVEMENT (ASP. & CONC.)	0.44	19,139	82.3%
TOTAL IMPERVIOUS	0.44	19,139	82.3%
LANDSCAPE/ OPEN SPACE	0.09	4,122	17.7%
PROJECT SITE	0.53	23,261	100.0%

PROPOSED SITE DATA

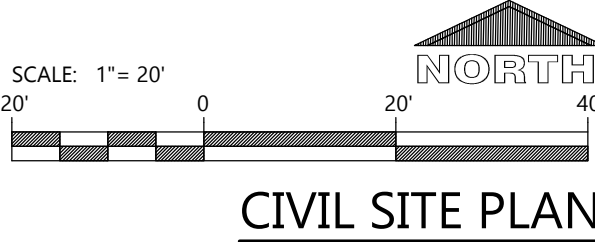
	AREA (AC)	AREA (SF)	RATIO
BUILDING FLOOR AREA	0.02	770	3.3%
PAVEMENT (ASP. & CONC.)	0.37	15,917	68.4%
TOTAL IMPERVIOUS	0.38	16,687	71.7%
LANDSCAPE/ OPEN SPACE	0.15	6,574	28.3%
PROJECT SITE	0.53	23,261	100.0%

KEYNOTES

1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
3	FLUSH WALK (SEE DETAIL)
4	BUILDING CANOPY (SEE ARCH PLANS FOR DETAILS)
5	CURB RAMP (SEE DETAIL)
7	TAPER ASPHALT 0" TO 2" IN 8'
9	CURB TAPER (SEE DETAIL)
10	CURB CUT (SEE DETAIL)
11	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
12	HANDICAP SIGN PER STATE CODE (SEE DETAIL)
13	HANDICAP STALL & STRIPING PER STATE CODES
14	6" CURB HEAD ALONG BUILDING (SEE DETAIL)
15	PICNIC TABLE (DETAILS BY SUPPLIER)
16	DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
17	6" CONCRETE BOLLARDS (TYP.) (SEE DETAILS)
21	DETECTABLE WARNING PLATE PER STATE CODE
22	TRAFFIC FLOW ARROWS (TYP.) ( SEE SHEET C1.1B FOR COLOR)
23	PAINT STRIPING (TYP.) (SEE SHEET C1.1B FOR COLOR)
24	REPLACE PAVEMENT, SIDEWALK, AND CURB MATCH EXISTING SECTION, THICKNESS, AND MATERIAL.

LEGEND:

HATCH	PAVEMENT SECTION	HATCH	PAVEMENT SECTION
	STANDARD ASPHALT		DUMPSTER PAD / APRON CONCRETE
	HEAVY DUTY ASPHALT		18" MOUNTABLE CURB & GUTTER
	SIDEWALK CONCRETE		



Always a Better Plan

100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:  
**7-BREW NEENAH**  
808 W. WINNECONNE • NEENAH, WI 54956

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA JULY 29, 2025

JOB NUMBER

250203200

SHEET NUMBER

C1.1A





Always a Better Plan

100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:  
**7-BREW NEENAH**  
808 W. WINNECONNE • NEENAH, WI 54956

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

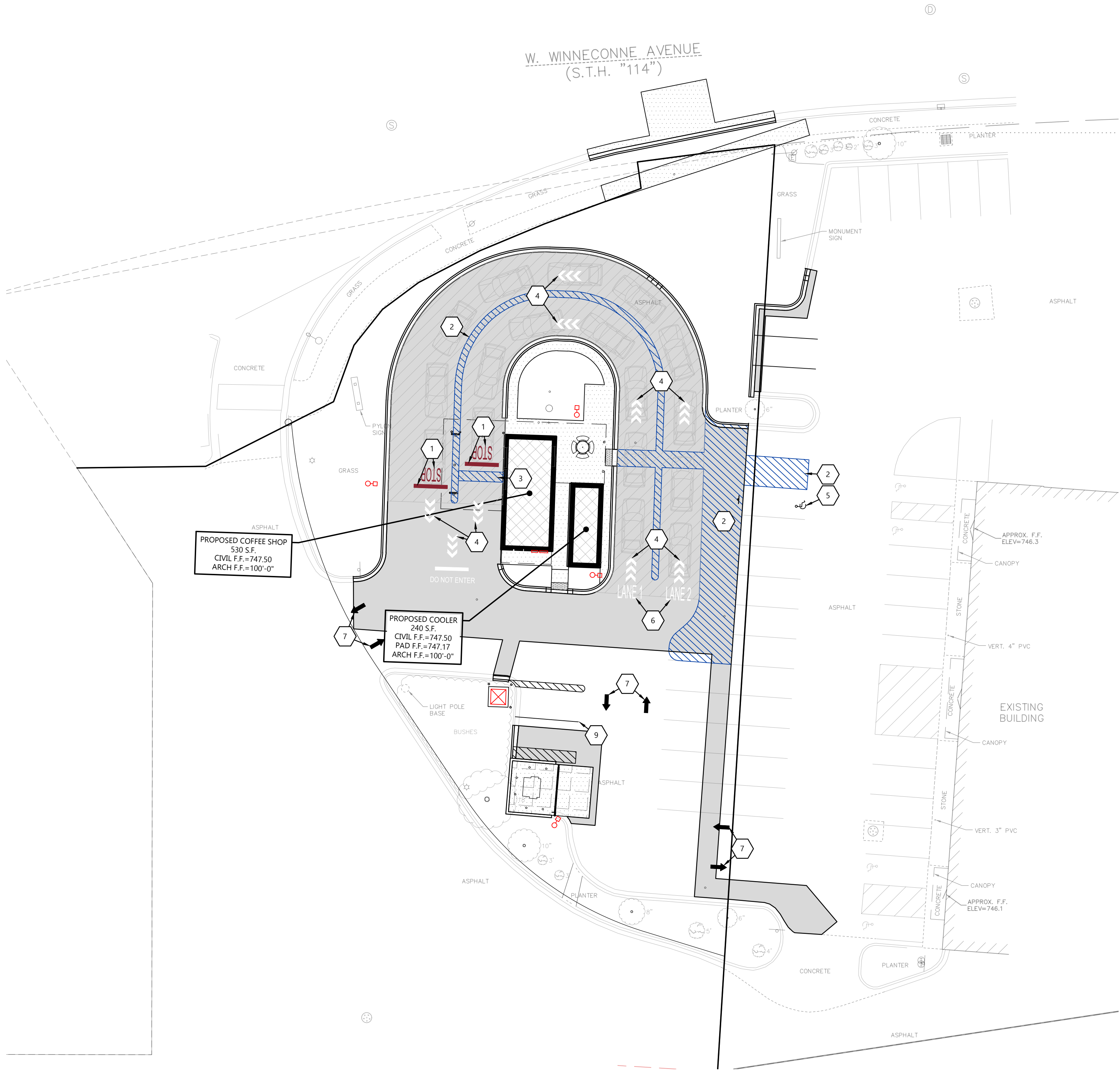
IFA JULY 29, 2025

JOB NUMBER

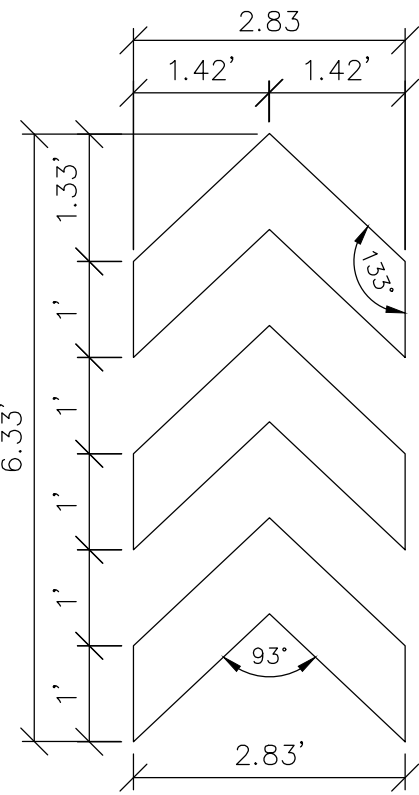
250203200

SHEET NUMBER

C1.1B



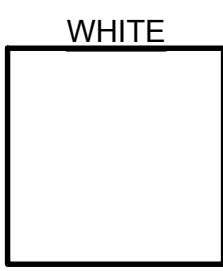
7 BREW ARROW TEMPLATE



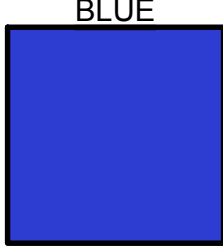
STRIPING PAINT COLORS:

SUBSTITUTION TO COLORS MUST BE APPROVED BY 7 BREW

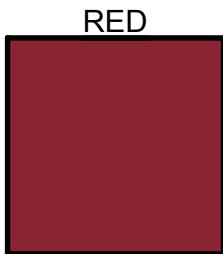
PMS 000C  
C: 0%  
M: 0%  
Y: 0%  
K: 0%  
R: 255  
G: 255  
B: 255  
HEX: FFFFFF



PMS 293  
C: 100%  
M: 63%  
Y: 0%  
K: 35%  
R: 0  
G: 61  
B: 165  
HEX: 003DA5



PMS 202  
C: 29.54%  
M: 95.11%  
Y: 74.72%  
K: 29.59%  
R: 138  
G: 36  
B: 50  
HEX: 8A2432



PAINT TYPE:

SHERWIN- WILLIAMS PRO PARK, SETFAST, HOTLINE OR AN APPROVED EQUAL.

STRIPING PLAN KEYNOTES

1	12" TALL RED STOP BAR WITH 48-INCH TALL "STOP" TEXT PAINTED IN RED
2	4" SOLID BLUE PAVEMENT MARKER, TYPICAL MIDLINES SPACED AT 24" O.C.
3	ALIGN 4" SOLID BLUE CROSS WALK MARKER WITH SLIDING DOOR PANEL AT FRONT OPENING
4	SOLID WHITE TRIPLE ARROW PAVEMENT MARKER
5	WHITE PAINTED ADA ACCESSIBLE PARKING SYMBOL
6	48-INCH TALL "LANE #"
7	SOLID YELLOW DIRECTIONAL ARROW PAVEMENT MARKING (MATCH EXISTING)
9	4" SOLID YELLOW PAVEMENT MARKER (TO MATCH EXISTING), TYPICAL



CIVIL STRIPING PLAN









OVERVIEW	
Lumen Package	7,000 - 55,000
Wattage Range	48 - 438
Efficacy Range (LPW)	115 - 162
Weight lbs(kg)	30 (13.6)
Control Options	IMSBT, ALB, ALS, 7-Pin, PCI

Ordering Guide   Performance   Photometrics   Dimensions

## FEATURES & SPECIFICATIONS

## Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip<sup>®</sup> polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

### Optical System

- State-of-the-Art one piece silicone optic shell delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 4, 5W, FT, FTA, AM, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93-95%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral lower (IL) and integral half lower (IH) options available for enhanced backlight control.

## Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.

- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 Vac)  
Input 50/60 Hz or optional High Voltage  
(347-480 Vac).

- L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
- Total harmonic distortion: <20%

- Operating temperature: -40°C to +50°C (-40°F to +122°F), 42L and 48L lumen packages rated to +40°C. 55L lumen package rate to +35°C.

- Power factor: >.90
- Input power stays constant over life.

- Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

- High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
- Components are fully encased in potting

- material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.

- Optional integral passive infrared Bluetooth™ motion. Fixtures operate

- independently and can be commissioned via iOS or Android configuration app

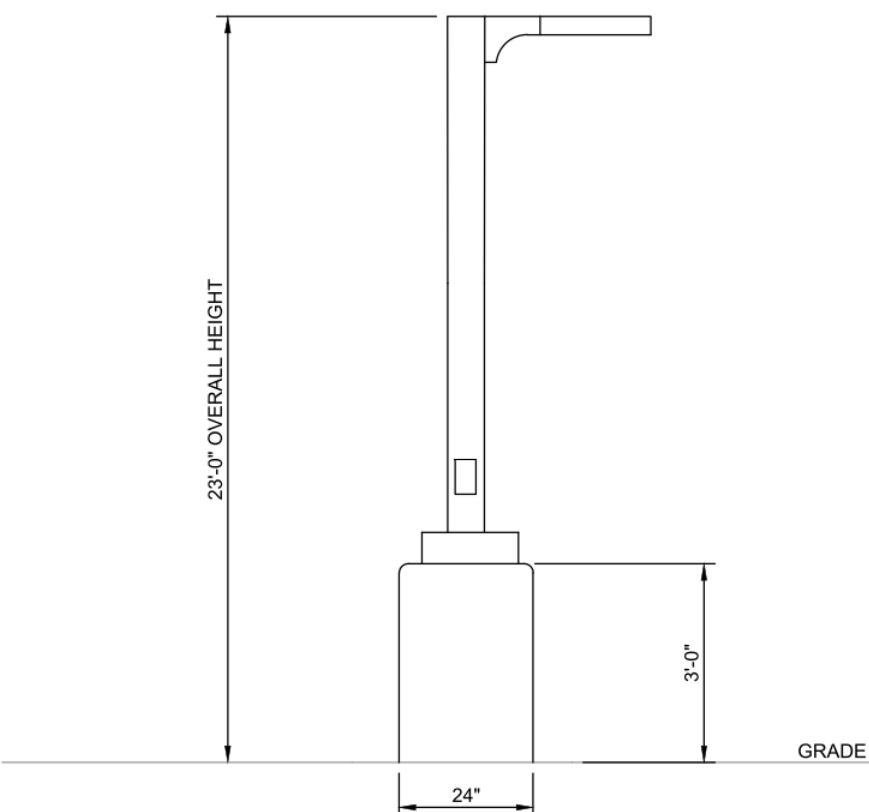
- costs while optimizing light quality 24/7.  
(see controls section for more details).

## Installation





- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

### Warranty

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- Dark Sky compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Rugged construction.
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are classified.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product are DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/DPL](http://www.designlights.org/DPL) to confirm which versions are qualified.
- Patented Silica Optics (US Patent No. 10,816,658.2)
- IK08 rated luminaire per IEC 66622 mechanical impact code



## NO SCALE

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	<b>B</b>	32	Juno Lighting	6RL G4 10LM 27K 90CRI 120 FRPC WWH M6	1	1043	0.8	11.7
	<b>L13</b>	2	LSI INDUSTRIES, INC.	MRM-LED-09L-SIL-3-30-70CRI	1	9930	0.8	62
	<b>L14H</b>	1	LSI INDUSTRIES, INC.	MRM-LED-09L-SIL-4-30-70CRI-IL	1	6146	0.8	62
	<b>L14</b>	1	LSI INDUSTRIES, INC.	MRM-LED-09L-SIL-4-30-70CRI	1	9185	0.8	62

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.4 fc	4.9 fc	0.0 fc	N/A	N/A
CANOPY	+	8.7 fc	12.3 fc	4.1 fc	3.0:1	2.1:1
PARKING LOT	X	1.4 fc	4.9 fc	0.5 fc	9.8:1	2.8:1



# CIVIL SITE PHOTOMETRIC PLAN & DETAILS



100 Camelot Drive  
Fond du Lac, WI 54935  
920-926-9800  
excelengineer.com

## PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:

# 7-BREW NEENAH

808 W. WINNECONNE • NEENAH, WI 54956

PROFESSIONAL SEAL

## SHEET DATES

**ISSUED FOR APPROVAL**

IFA      JULY 29, 2025

**JOB NUMBER**

250203200

**SHEET NUMBER**

# C3.1



PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:

7-BREW NEENAH

808 W. WINNECONNE AVE. • NEENAH, WI 54956

PROFESSIONAL SEAL

SHEET DATES	
ISSUED FOR APPROVAL	
IFA	JULY 29, 2025

JOB NUMBER
250203200

SHEET NUMBER
--------------

A2.4

EXTERIOR ELEVATION KEYNOTES	
Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED), TY: REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; SEE SYSTEMS PLAN
4	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	FROST-PROOF FLUSH HOSE BIB
7	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
8	THROUGH WALL SCUPPER ROOF DRAIN
9	SURFACE MOUNTED LIGHTED SIGN BOX
10	SAMSUNG DIGITAL DISPLAYS -INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
11	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR
12	HVAC EQUIPMENT
13	OUTLINE OF MECHANICAL UNIT BEYOND
14	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
15	CANOPY HEATER
16	36" COOLER DOOR
17	COOLER LOCK & CONTROLS
18	
19	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL

EXTERIOR ELEVATION MATERIALS LEGEND	
Note Number	Note Text
A	FIBER-CEMENT PANEL SIDING (BRK-2)
B	FIBER-CEMENT PANEL SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
H	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
J	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
K	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
L	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
M	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORM WATER COLLECTION SYSTEM; REF CIVIL



1 NORTH ELEVATION

A2.4

SCALE: 3/8" = 1'-0"



PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:  
**7-BREW NEENAH**  
808 W. WINNECONNE AVE. • NEENAH, WI 54956

PROFESSIONAL SEAL

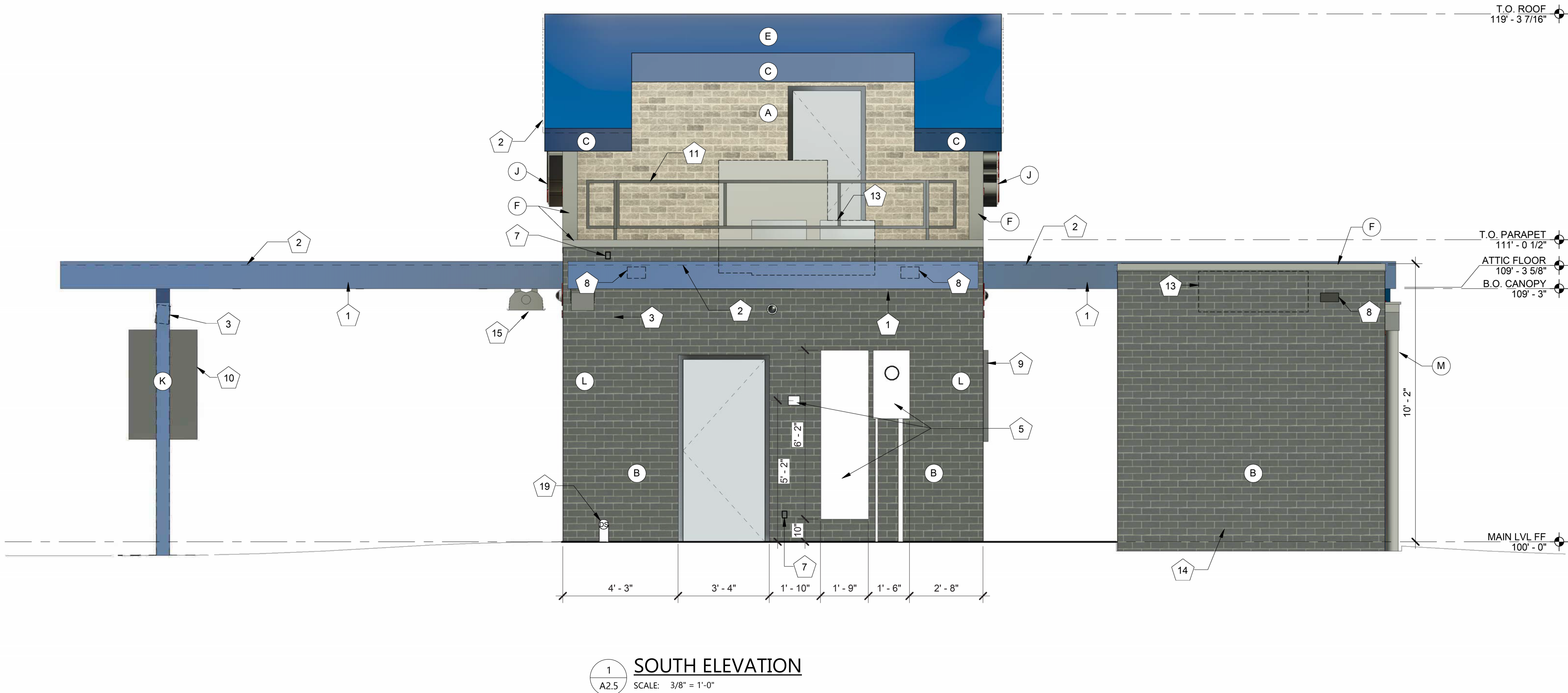
SHEET DATES	
ISSUED FOR APPROVAL	
IFA	JULY 29, 2025

JOB NUMBER
250203200

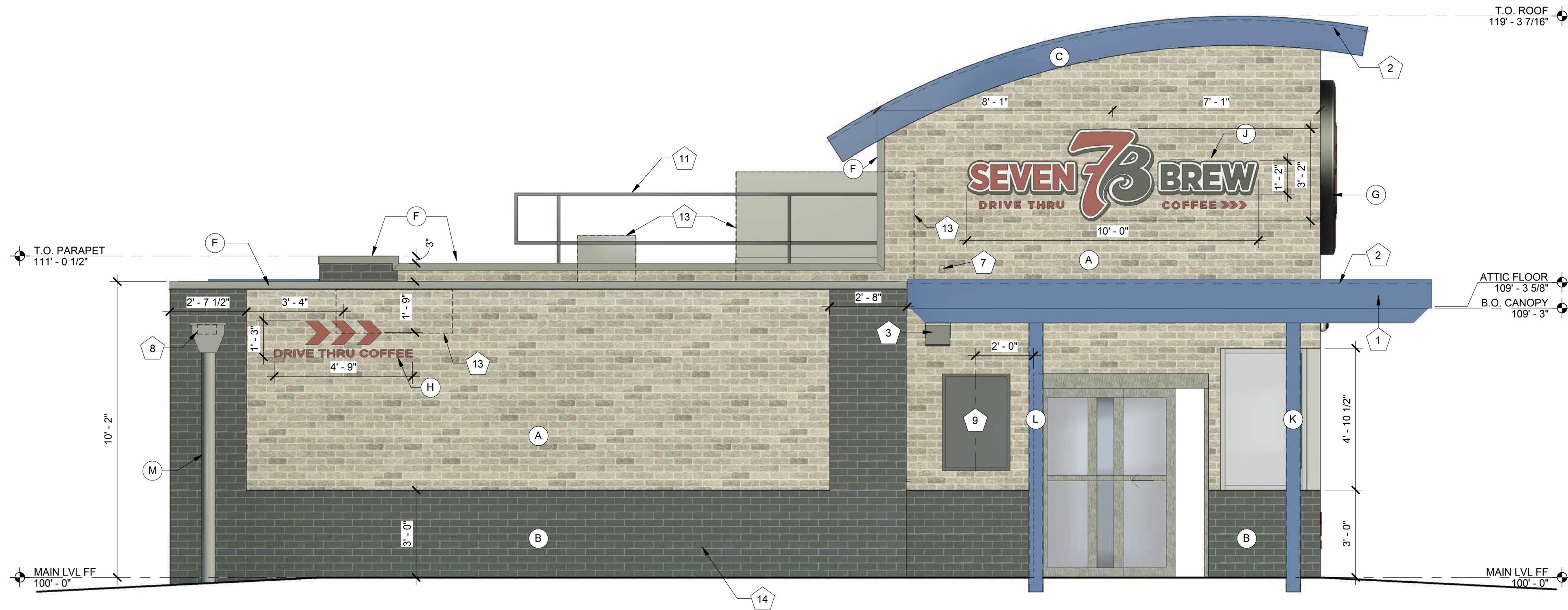
SHEET NUMBER
A2.5

EXTERIOR ELEVATION KEYNOTES	
Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED); TY; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; SEE SYSTEMS PLAN
4	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	FROST-PROOF FLUSH HOSE BIB
7	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
8	THROUGH WALL SCUPPER ROOF DRAIN
9	SURFACE MOUNTED LIGHTED SIGN BOX
10	SAMSUNG DIGITAL DISPLAYS -INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
11	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR
12	HVAC EQUIPMENT
13	OUTLINE OF MECHANICAL UNIT BEYOND
14	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
15	CANOPY HEATER
16	36" COOLER DOOR
17	COOLER LOCK & CONTROLS
18	
19	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL

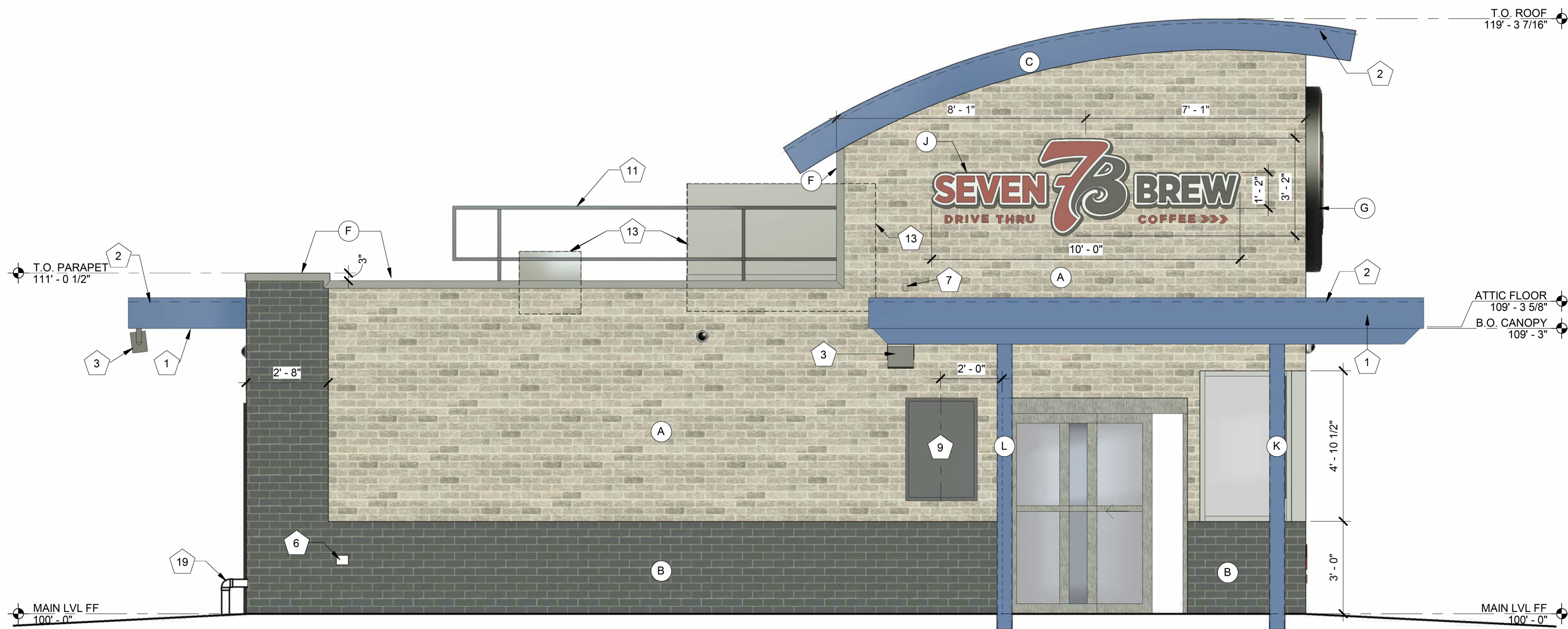
EXTERIOR ELEVATION MATERIALS LEGEND	
Note Number	Note Text
A	FIBER-CEMENT PANEL SIDING (BRK-2)
B	FIBER-CEMENT PANEL SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
H	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
J	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
K	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
L	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
M	EXPOSED DOWNSPOUT; GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORM WATER COLLECTION SYSTEM; REF CIVIL







2 EAST ELEVATION - w/ COOLER  
A2.6 SCALE: 3/8" = 1'-0"



1 EAST ELEVATION  
A2.6 SCALE: 3/8" = 1'-0"

EXTERIOR ELEVATION KEYNOTES	
Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED); TY: REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; SEE SYSTEMS PLAN
4	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	FROST-PROOF FLUSH HOSE BIB
7	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
8	THROUGH WALL SCUPPER ROOF DRAIN
9	SURFACE MOUNTED LIGHTED SIGN BOX
10	SAMSUNG DIGITAL DISPLAYS -INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
11	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR
12	HVAC EQUIPMENT
13	OUTLINE OF MECHANICAL UNIT BEYOND
14	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
15	CANOPY HEATER
16	36" COOLER DOOR
17	COOLER LOCK & CONTROLS
18	
19	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL

EXTERIOR ELEVATION MATERIALS LEGEND	
Note Number	Note Text
A	FIBER-CEMENT PANEL SIDING (BRK-2)
B	FIBER-CEMENT PANEL SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
H	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
J	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
K	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
L	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
M	EXPOSED DOWNSPOUT, GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORM WATER COLLECTION SYSTEM; REF CIVIL

PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:  
**7-BREW NEENAH**  
808 W. WINNECONNE AVE. • NEENAH, WI 54956

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA JULY 29, 2025

JOB NUMBER

250203200

SHEET NUMBER

A2.6



PROJECT INFORMATION

PROPOSED COFFEE SHOP FOR:  
**7-BREW NEENAH**  
808 W. WINNECONNE AVE. • NEENAH, WI 54956

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR APPROVAL

IFA JULY 29, 2025

JOB NUMBER

250203200

SHEET NUMBER

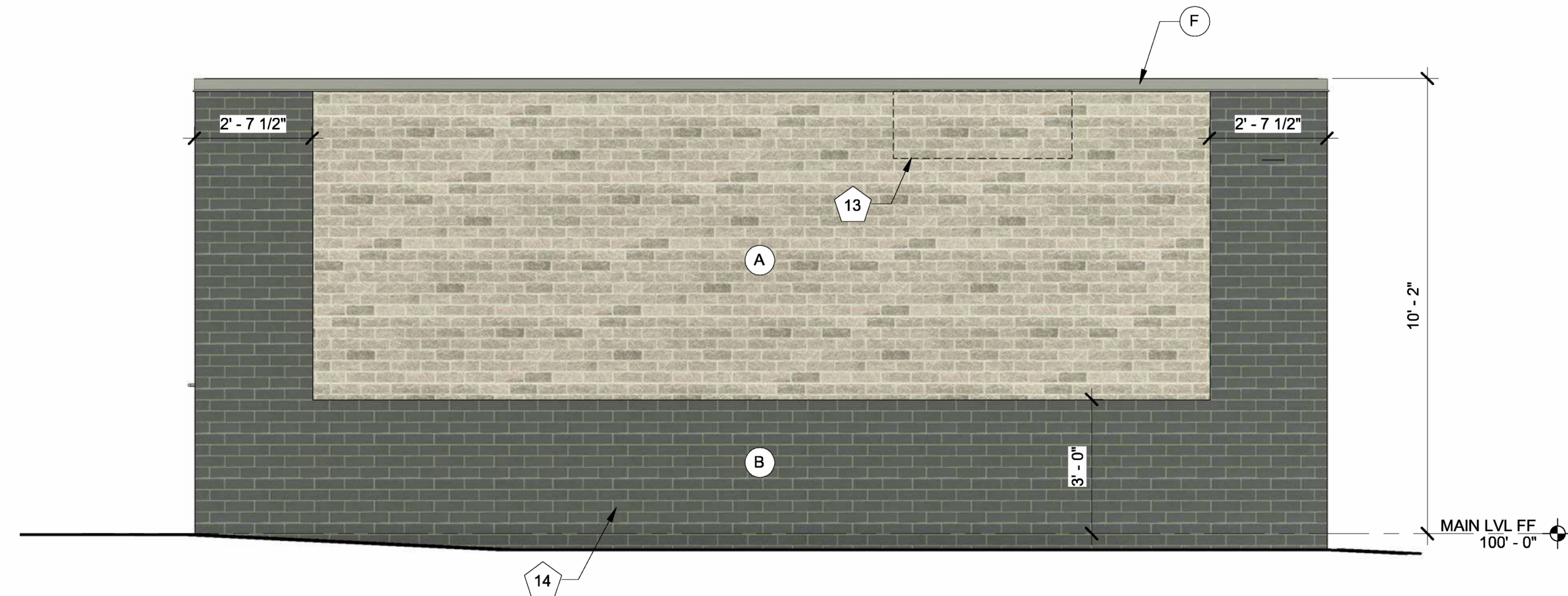
A2.7

EXTERIOR ELEVATION KEYNOTES

Note Number	Note Text
1	PRE-ENGINEERED ALUMINUM CANOPY BY OTHERS; REF STRUCTURAL
2	SURFACE-MOUNTED LED NEON FLEX LIGHTING AS INDICATED (SHOWN DASHED); TY; REF ELECTRICAL
3	MOUNTED SPEAKER SYSTEM; SEE SYSTEMS PLAN
4	ADDRESS NUMBERS TO BE 8" TALL x 2" BRUSH STROKE
5	ELECTRICAL EQUIPMENT, PAINTED TO MATCH BUILDING; REF ELECTRICAL
6	FROST-PROOF FLUSH HOSE BIB
7	EXTERIOR WEATHER-PROOF OUTLET; REF ELECTRICAL
8	THROUGH WALL SCUPPER ROOF DRAIN
9	SURFACE MOUNTED LIGHTED SIGN BOX
10	SAMSUNG DIGITAL DISPLAYS -INSTALLED IN FIELD BY IT PROVIDER; CHASE FOR DATA CABLE INSTALLED AT BUILDING MANUFACTURING FACILITY
11	GUARDRAIL; 3' - 6" ABOVE ATTIC FLOOR
12	HVAC EQUIPMENT
13	OUTLINE OF MECHANICAL UNIT BEYOND
14	PREFABRICATED COOLER BY NATIONAL MODULAR MANUFACTURING; COORD LOCATION & SPECS WITH CIVIL & STRUCT
15	CANOPY HEATER
16	36" COOLER DOOR
17	COOLER LOCK & CONTROLS
19	DOWNSPOUT OUTLET; CONNECT TO SUBGRADE STORMWATER CONNECTION; REF CIVIL

EXTERIOR ELEVATION MATERIALS LEGEND

Note Number	Note Text
A	FIBER-CEMENT PANEL SIDING (BRK-2)
B	FIBER-CEMENT PANEL SIDING (BRK-1)
C	BRAKE METAL FASCIA (MP-2)
D	SOFFIT PANELS (MP-2)
E	STANDING SEAM ROOF PANELS (MP-2)
F	METAL BRAKE CAP (MP-3)
G	ROUND STOREFRONT SIGN; SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
H	1/4" THICK ACRYLIC SIGNAGE APPLIED TO SIDING WITH VH DOUBLE SIDE TAPE
J	ILLUMINATED STOREFRONT SIGNAGE BY SIGN CONTRACTOR
K	PAINTED STRUCTURAL CANOPY COLUMN; RAINWATER DOWNSPOUT WITHIN; CONNECT BASE OF CANOPY COLUMN DOWNSPOUT TO STORMWATER MANAGEMENT SYSTEM; REF CIVIL
L	PAINTED STRUCTURAL CANOPY COLUMN; REF CIVIL
M	EXPOSED DOWNSPOUT; GALVANIZED, PAINTED; CONNECT TO SUB-GRADE STORM WATER COLLECTION SYSTEM; REF CIVIL



2 WEST COOLER ELEVATION  
SCALE: 3/8" = 1'-0"



1 WEST ELEVATION  
SCALE: 3/8" = 1'-0"





**DATE:** August 12, 2025  
**TO:** Mayor Lang and Members of Plan Commission  
**FROM:** Brad Schmidt, AICP, Deputy Director  
**RE:** Special Use Permit – 600 Elm Street – Playground

---

### **Request**

New Springs Christian Academy has submitted a special use permit to construct a playground on property located at 600 Elm Street for the private school's use.

### **Consideration**

The subject site is approximately 9.6 acres in size and includes the former Shattuck Middle School building. New Springs Christian Academy recently signed a lease to occupy the west wing and several areas within the former school building. The applicant is proposing to construct a playground north of the west wing on the corner of Elm Street and Division Street. The property is zoned R-1, Single-Family Residence District.

The R-1 district identifies playgrounds as a Special Use. Each zoning district includes a list of Permitted Uses or uses allowed by right and Special Uses or uses that possess special characteristics or uniqueness which require thorough review of their location and configuration relative to the surrounding neighborhood. Specifically, the City's Zoning Code requires that the Plan Commission consider the following findings when deciding on a Special Use:

1. The use shall be compatible with the adjacent land uses so that the existing uses will not be depreciated in value and there will be no deterrents to development of vacant land.
  - a. The property has been used as a school with outdoor play areas and athletic fields for nearly 100 years. A new proposed playground is compatible with adjacent land uses, which are primarily single-family residences.
2. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
  - a. The proposed play equipment is modern and consistent with other school and neighborhood parks. The appearance, location and scale of the play equipment will not have adverse effects on adjacent property.
3. The use shall be reasonably related to the overall needs of the City and to existing land use patterns.
  - a. Playgrounds are typically associated with public and private schools in the City.
4. The use will not cause traffic hazards or congestion.

- a. The playground will maintain a minimum 25-foot setback from Elm Street and Reed Street, consistent with the minimum building setbacks in the R-1 District. The playground and play equipment are also located outside the vision clearance triangle on Elm Street and Division Street.
5. The use shall have adequate utilities, access roads, drainage, and other necessary facilities.
  - a. The proposed playground has little to no impact on drainage or public utilities.

The applicant has submitted a site plan identifying the location of a playground associated with the school which includes eight pieces of play equipment. The area of the proposed playground is located north of the west wing of the main building, which is the primary location of the New Springs Christian Academy. No fencing, at this point, is proposed around the playground. Pea gravel may be installed under some of the play equipment, but most of the area will remain as grass. Children from the school will access the playground from the north side of the west wing via the existing sidewalk. All play equipment shall maintain a 25-foot setback from Elm Street and Division Street sidewalk.

#### **Recommendation**

**Plan Commission finds that the proposed use meets the findings of fact for a Special Use Permit (Sec. 26-48) and recommends Common Council approve a Special Use Permit for a playground located at 600 Elm Street subject to the conditions of the Special Use Review Letter.**



City of Neenah Community Development  
211 Walnut Street  
Neenah WI 54956  
Ph 920.886.6130

August 04, 2025

JUSTIN STAMBUK  
NEW SPRINGS CHRISTIAN ACADEMY  
PO BOX 11  
NEENAH, WI 54957

**RE: Special Use Permit #3-25 - 604 Elm Street - Playground Special Use Review () Status Approved**

Dear JUSTIN STAMBUK:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt  
Deputy Director of Community Development and Assessment  
bschmidt@neenahwi.gov  
920-886-6126

## Plan Review Comments

**Planning - Brad Schmidt -**  
**[bschmidt@neenahwi.gov](mailto:bschmidt@neenahwi.gov)**

**Approved**

**Review Comments:**

1. Modifications to the proposed use or site plan may require additional review and approval. Please contact the Community Development Department if you make any changes to the site plan.
2. Maintain a 25-foot setback of all play equipment from the sidewalk along Elm Street.

**Advisory Comments:**

1. Consider adding another bench north of the play area help frame the play area for teachers to watch school children along the busier road (Elm Street).

---

**Community Development - Kelly Nieforth -**  
**[knieforth@neenahwi.gov](mailto:knieforth@neenahwi.gov)**

**Approved**

**Review Comments:**

---

**Fire Department - Jerry Mavroff - 886-6204**  
**[GMavroff@nmfire.org](mailto:GMavroff@nmfire.org)**

**Approved**

**Review Comments:**

---

**Inspections - Building Commercial - Kyle Pederson - 920-886-6131**  
**[kpederson@neenahwi.gov](mailto:kpederson@neenahwi.gov)**

**Approved**

**Review Comments:**

---

**Public Works - Gerry Kaiser -**  
**[gkaiser@neenahwi.gov](mailto:gkaiser@neenahwi.gov)**

**Approved**

**Review Comments:**

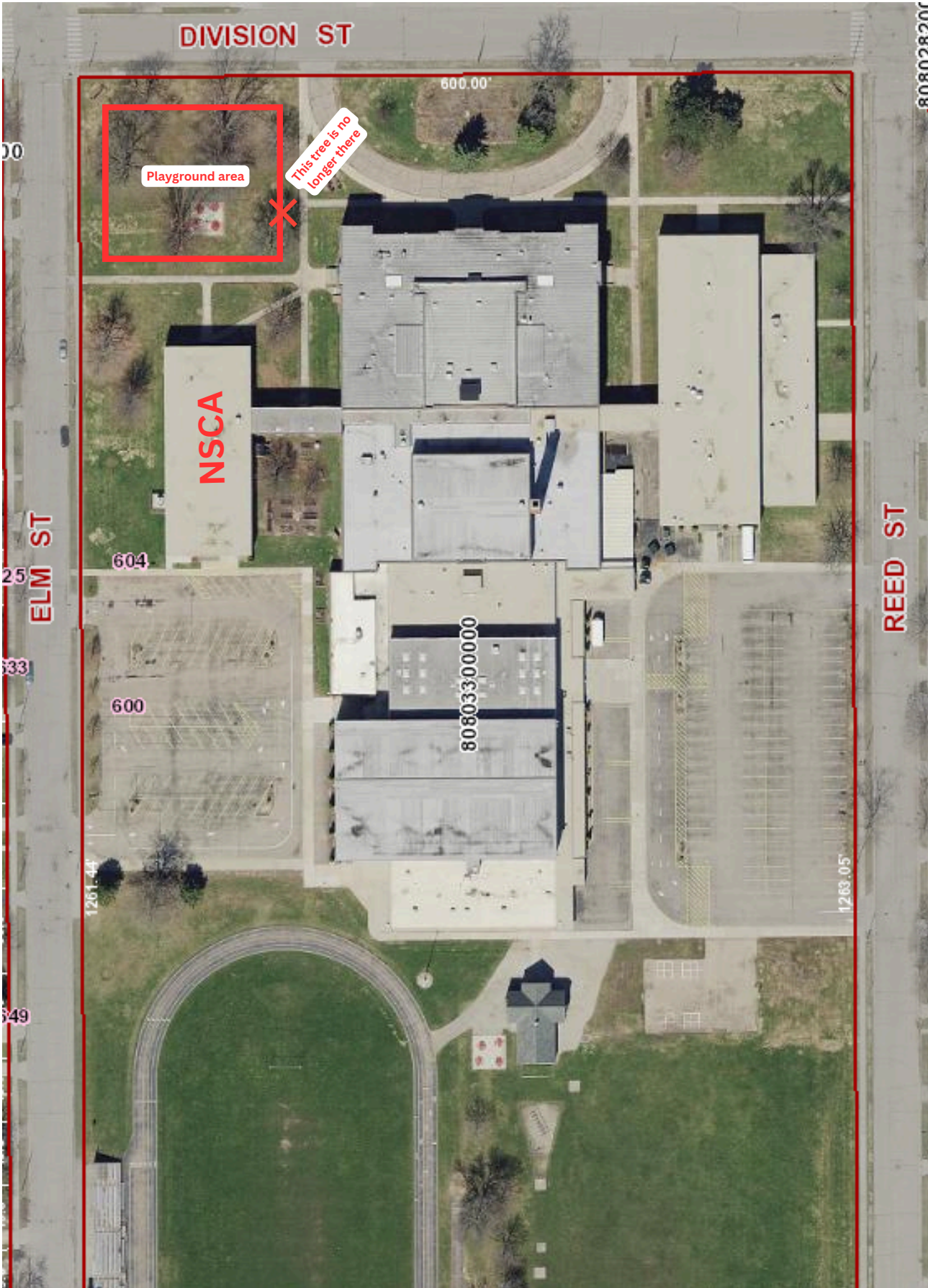
---

# New Springs Christian Academy Playground Proposal

600 Elm Street, Neenah, WI 54956 - West Wing

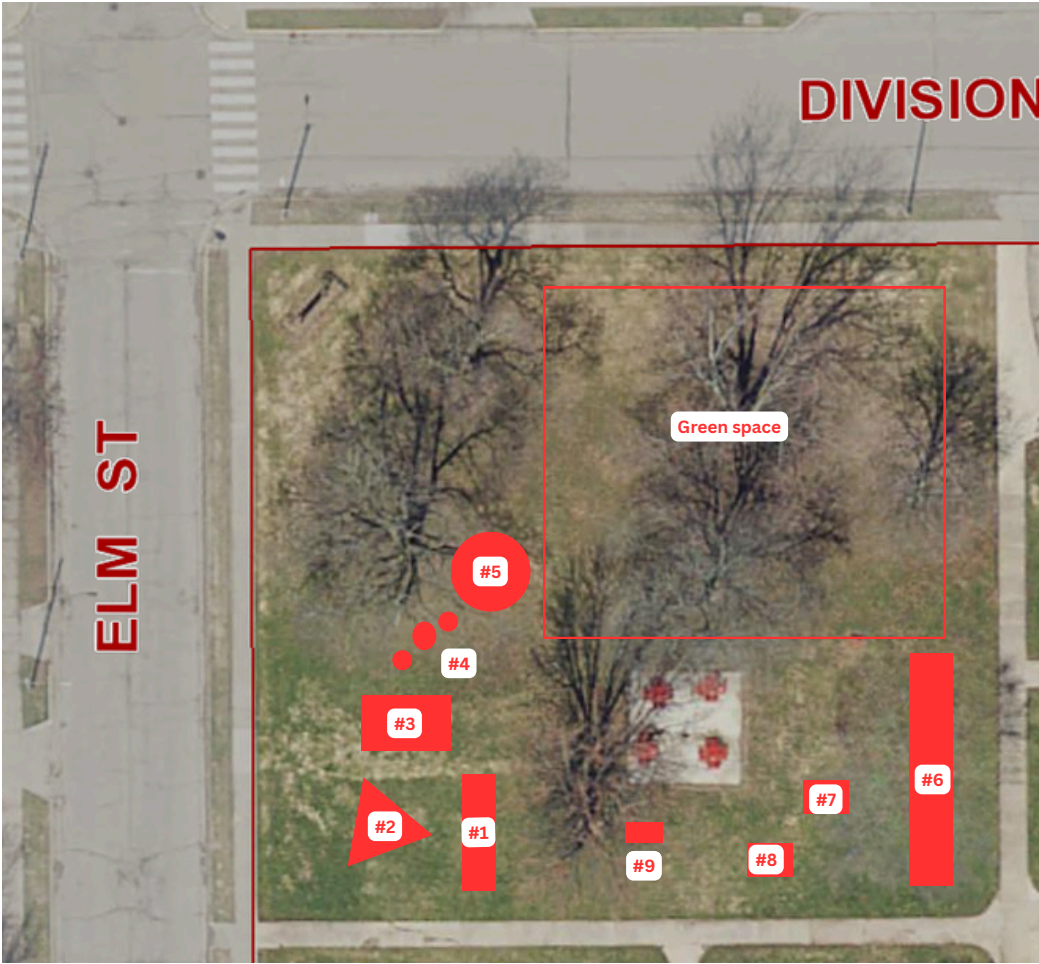
No fencing at this time.

Lanscaping will potentially be pea-gravel under playground items #1 - #5





Guidelines per the manufacturer is that all equipment is 6-feet apart and 6 feet off from anything. The exception is #3 and #5 because of the stepping pods.



These stepping blocks link #3 and #4





---

## M E M O R A N D U M

---

**DATE:** August 12, 2025  
**TO:** Mayor Lang and Plan Commission  
**FROM:** Brad Schmidt, Deputy Director of Community Development  
**RE:** Site Plan Review – 202 N Green Bay Road – Storage Building

---

### **Request**

Bergstrom Chevrolet-Buick-Cadillac, Inc. (Bergstrom), has submitted a site plan to construct a 5,000 square-foot storage building located at 202 N Green Bay Road.

### **Location**

The subject property is located along the northwest corner of N. Green Bay Road and North Street. The property is 0.75 acres in area and currently includes an 8,500 square-foot building which was used by Monroe Studios. When Monroe Studios closed, the property was purchased by Bergstrom and used for storage as part of the automotive sales business. Bergstrom plans to demolish the existing building and construct a 5,000 square-foot storage building.

### **Surrounding Property**

The subject property is zoned C-1, General Commercial district. Land north is zoned C-1, General Commercial district and includes a credit union and dentist office. The land to the south includes the Bergstrom Chevrolet-Buick-Cadillac dealership. Land east and west of the subject property includes single-family residences and I-41 in the Village of Fox Crossing.

### **Proposed Storage Building**

The proposed storage building is 5,000 square feet in area (50' x 100') and has a wall height of 17.5 feet. The building is intended to be used as a storage building in conjunction with the vehicle dealership to the south. The building includes four overhead doors on the south side of the building. The building is located within the footprint of the existing building which is proposed to be demolished. The building is setback 30 feet from the east property line, 27.5 feet from the west property line, 72 feet from the north property line, and about 71 feet from the south property line.

The property has two access points, one along North Street and the other along N. Green Bay Road. No changes to the access points are proposed, however, a new drive aisle along the east side of the property is proposed. An existing six-stall off-street parking lot along North Street will also remain.

New building construction requires the frontage landscaping requirements to be brought up to current standards. A landscape plan shall be submitted identifying the frontage

landsacpe requirements along Green Bay road are met. A minimum of 1 shade tree and 6 shrubs is required for every 40 feet of linear frontage (exluding driveway openings).

**Recommendation**

**At this time the Community Development Department recommends the Plan Commission approve the site plan to construct a storage building located at 202 N. Green Bay Road subject to the site plan approval letter.**





City of Neenah Community Development  
211 Walnut Street  
Neenah WI 54956  
Ph 920.886.6130

August 06, 2025

RYAN LORRIGAN  
LORRIGAN CONSTRUCTION  
437 MANITOWOC ST  
REEDSVILLE, WI 54230

**RE: Site Plan #15-25 - 202 N Green Bay Rd - Storage Building Site Plan - Major Review () Status Approved**

Dear RYAN LORRIGAN:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt  
Deputy Director of Community Development and Assessment  
bschmidt@neenahwi.gov  
920-886-6126

## Plan Review Comments

**Fire Department - Jerry Mavroff - 886-6204**  
**GMavroff@nmfire.org**

**Approved**

**Review Comments:**

---

**Inspections - Building Commercial - Kyle Pederson - 920-886-6131**  
**kpederson@neenahwi.gov**

**Approved**

**Review Comments:**

---

**Planning - Brad Schmidt -**  
**bschmidt@neenahwi.gov**

**Approved**

**Review Comments:**

1. Submit a landscape plan showing tree plantings and shrubs along Green Bay Road (within the 10-foot landscape area between the drive aisle and right-of-way line. The landscape plan shall identify the location, size and type of each planting. The frontage landscaping requires a minimum of 1 shade tree and 6 shrubs for every 40 feet of linear frontage (excluding driveway openings). The total frontage is 180 feet which equates to 5 street trees and 30 shrubs.
2. A building permit is required prior to construction.
3. A building demolition permit is required prior to demolition.

---

**Engineering - Heath Kummerow - 920-886-6245**  
**hkummerow@neenahwi.gov**

**Approved**

**Review Comments:**

---

















BILL LORRIGAN CONSTRUCTION INC.  
RESERVES THE RIGHTS TO DRAWINGS  
AND SPECIFICATIONS FOR THIS  
PROJECT.  
NO REPRODUCTIONS, COPIES,  
ALTERATIONS  
OR MODIFICATIONS ARE TO BE MADE  
WITHOUT PRIOR WRITTEN CONSENT  
OF  
BILL LORRIGAN CONSTRUCTION, INC.

PROJECT INFO:

**25-592**

[illegible]

DATE:	JULY 23, 202
PRELIMINARY NO:	25-07232
CONTRACT NO:	25-59
PROJECT MANAGER:	R. LORRIGA
SUPERVISOR:	LORRIGA
DRAWN BY:	EJA

# A500