



NEENAH PLAN COMMISSION

Tuesday, July 29, 2025

4:00 P.M.

Hauser Room, City Administration Building

Virtual Meeting Option: This meeting is available virtually. To access the virtual meeting (Requires Microsoft Teams), please click on the link below:

[Join the meeting now](#)

Meeting ID: 234 721 642 503 2

Passcode: NW9Nc2xQ

-
1. Approval of Minutes: **July 8, 2025**
 2. Public Appearances (Ten minutes divided among those wishing to speak on topics pertinent to the Plan Commission)
 3. Public Hearings: None
 4. Action Items:
 - a. **Site Plan #13-25 - 601 S. Commercial Street - Building Expansion**
 - b. **Site Plan #14-25 - 1080 Breezewood Lane - Fire Station 31 Improvements**
 5. Discussion Items:
 - a. Tourist Housing Ordinance
 - b. Neenah Housing Study and Needs Assessment
 6. Announcements and future agenda items:
 - a. Next Meeting: August 12, 2025

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Neenah will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance, or reasonable accommodation in participating in this meeting or event due to a disability as defined under the ADA, please call the Community Development Department Administrative Assistant at 920-886-6125 or the City's ADA Coordinator at (920) 886-6106 or e-mail attorney@NeenahWI.gov at least 48 hours prior to the scheduled meeting or event to request an accommodation.

MINUTES OF THE NEENAH PLAN COMMISSION

Tuesday, July 8, 2025

4:00 p.m.

Present:

Mayor Jane Lang, Chairperson	PRESENT	Gerry Kaiser, Director of Public Works	PRESENT	Alderman Dan Steiner	PRESENT
Kate Hancock-Cooke	PRESENT	Karen Genett	PRESENT	Frank Cuthbert	ABSENT
Gerry Andrews	PRESENT	Lindsay Clark	PRESENT		

Also Present:

Brad Schmidt, Deputy Director of Community Development	Kayla Kubat, Administrative Assistant of Community Development	Michael Burrows, Intern of Community Development
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Minutes: MSC Andrews/Genett, the Plan Commission, to approve the June 24, 2025 meeting minutes. All voting aye. Motion passed. Member Hancock-Cooke abstained.

Public Appearances: Chairperson Mayor Lang opened public appearances to topics not related to the agenda.

No one in attendance spoke. Chairperson Mayor Lang closed public appearances.

Public Hearings: None

Action Items:

a. Final Plat #2-25 – Courtside Fields

Deputy Director Schmidt went over the final plat for the Courtside Fields subdivision. He went over that since the preliminary plat, a drainage plan has now been submitted with the final plat. Outlot 2 will be deeded to the city for a regional stormwater pond with a trail going around the pond and connecting to the existing sidewalk.

Member Andrews asked what the price of the lots will be. Deputy Director Schmidt stated he is unsure of the price at this time.

Member Genett asked if there will be sidewalk all around this subdivision. Deputy Director Schmidt stated there would be sidewalks placed when Elm and Reed are reconstructed. Member Genett asked when these roads are planned to be reconstructed. Director Kaiser stated he is currently working on the budget for next year and deciding when this project will take place.

MSC Hancock-Cooke/Andrews, the Plan Commission, recommends Common Council approve the Final Plat for the Courtside Fields subdivision. All voting aye. Motion passed.

Discussion Items:

a. Neenah Housing Study and Needs Assessment

Deputy Director Schmidt stated Intern Burrows has gathered more specifics on how surrounding communities regulate ADUs, Greenville, Appleton, DePere, and Oshkosh.

Plan Commission Minutes

July 8, 2025

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Intern Burrows gave a presentation comparing and contrasting each community. He highlighted that each differs in the size of the ADU allowed, whether a permit is required, and how parking is handled. He also gave an update on a Senate bill that is going through the legislature that would direct all municipalities to allow ADUs and prohibit municipalities from placing restrictive requirements.

Member Genett questioned why this bill is being brought forth. Intern Burrows stated that it seems the legislature is trying to move forward on getting more housing in communities.

Member Andrews asked about what was found in terms of free standing ADUs and tying into existing sewer. Intern Burrows stated in talking with our building inspectors, the utilities are not much of a concern.

Deputy Director Schmidt stated he reached out to these four communities and discussed how many ADUs have been permitted in their municipality and what have been the challenges.

Member Steiner suggested the committee start looking at both attached ADUs and detached for the upcoming meetings.

Announcements and Future Agenda Items: Next meeting is scheduled for July 29, 2025

Adjournment: The Commission adjourned its meeting at 4:35 p.m. MSC Genett/Andrews. All voting Aye. Motion passed.

Respectfully Submitted,



Kayla Kubat

Administrative Assistant, Department of Community Development



DATE: July 29, 2025
TO: Mayor Lang and Members of Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: Site Plan Review – 601 S Commercial Street – Building Expansion

Request

Galloway Company has submitted a site plan to construct a building expansion and construct trailer parking and off-street parking on property located at 601 S. Commercial Street.

Consideration

Galloway Company (Galloway) is proposing to construct a 47,817 square foot building expansion to support refrigerated product storage, packaging and shipping functions. In addition, a new trailer parking lot is proposed to accommodate 31 trailer spaces, and an expansion of the existing off-street parking lot will add 77 stalls. Finally, two loading docks on the north side of the building are being replaced with a dumpster enclosure.

The proposed site plan includes four parcels owned by Galloway that are currently zoned R-2, Two-Family Residence District. Prior to construction, the four R-2 zoned parcels are required to be rezoned to the I-2, General Industrial District and consolidated into the larger Galloway parcel.

Development Standards

The I-2 District development standards are listed below. The proposed dimension or size is listed in parentheses next to the standard.

Structure Setbacks:

Front Yard – 10 feet (**271 feet – S. Commercial Street**)
Front Yard – 10 feet (**226 feet – Henry Street**)
Side Yard – 10 feet (**309 feet – south property line**)

Parking Setbacks

Front Yard – 25 feet (**25 feet – Tyler Street**)

Maximum Height:

Building – 100 feet (**51 feet**)

Maximum Building Coverage:

Building – 60% (**20%**)

Minimum Green Space Coverage:

Building – 5% (11%)

Building Expansion

The proposed building expansion is located on the southwest portion of the main facility and includes 12 loading docks on the west side of the building. The maximum height of the building is 51 feet, while the majority of the building is about 36 feet tall. The expansion will be constructed with pre-cast concrete walls which match the main building.

Off-Street Parking

A new off-street parking lot is proposed adjacent to the existing parking lot (91 stalls) along Tyler Street and S. Commercial Street. An additional 77 stalls are proposed to support parking for employees. Access to the parking lot comes from a single driveway internal to the site and a driveway off Tyler Street. No new access points are proposed. The parking lot maintains a 25-foot setback from Tyler Street.

Trailer Parking

An additional trailer parking lot is proposed east of the existing trailer parking lot on the corner of Tyler Street and Henry Street. A total of 55 parking stalls are proposed in both parking lots. The proposed trailer parking lot maintains a 25-foot setback from Tyler Street.

Traffic Circulation

Semi-truck traffic entering the site typically enters Henry Street and exists the site on S. Commercial Street. One access point is located on Henry Street and two access points located on S. Commercial Street. Adequate space is provided to accommodate semi-truck turning movements on the site and within the loading area on the west side of the proposed building expansion.

Landscaping

The Zoning Code landscape standards for frontage landscaping and parking lot landscaping are applicable for this site plan. Frontage landscaping standards along Tyler Street (adjacent to the trailer parking lot and off-street parking lot) require a minimum of a 10-foot green area including a minimum of one shade tree and three shrubs planted for every 40 feet of lineal frontage. The frontage distance on Tyler Street is about 415 feet. A minimum of 11 street trees and 33 shrubs are required. The site plan includes 11 street trees and 70 shrubs. The interior or parking lot landscape requires a minimum of one street tree per parking lot island to be planted. The landscape plan does not identify any plantings on the islands within the proposed off-street parking lot.

Consideration shall be given to installing a 6-foot-high sight-tight fence or evergreen trees adjacent to the trailer parking lot to provide additional buffering from residential properties along Tyler Street.

Two loading docks on the north side of the existing building are proposed to be replaced with a dumpster enclosure. The west and east sides of the dumpster enclosure will be constructed with a masonry wall while the north side will include sight-tight gates.

Storm Water Management

Storm water is collected via catch basins in the proposed trailer parking lot and off-street parking lot drains to storm water facilities along Tyler Street, north of the proposed parking lots. The remainder of the site plan drains south and is collected in the City's Douglas storm water pond.

Lighting Plan

Outdoor lighting poles and building lights are proposed, however, detail on the pole heights and a lighting plan have not been submitted. Prior to the issuance of building permits, a lighting plan with fixture details shall be submitted.

Recommendation

An appropriate action at this time is for Plan Commission to approve the site plan to construct a building expansion, trailer parking and an off-street parking lot on property located at 601 S Commercial Street subject to the conditions of the Site Plan Review Letter.



City of Neenah Community Development
211 Walnut Street
Neenah WI 54956
Ph 920.886.6130

July 24, 2025

TROY BEYER
GALLOWAY COMPANY
601 S COMMERCIAL STREET
NEENAH, WI 54956

RE: Site Plan #13-25 - 601 S Commercial St - Galloway Co Site Plan - Major Review () Status Approved

Dear TROY BEYER:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment
bschmidt@neenahwi.gov
920-886-6126

Plan Review Comments

Fire Department - Jerry Mavroff - 886-6204
GMavroff@nmfire.org

Approved

Review Comments:

Inspections - Building Commercial - Kyle Pederson - 920-886-6131
kpederson@neenahwi.gov

Approved

Review Comments:

Planning - Brad Schmidt -
bschmidt@neenahwi.gov

Approved

Review Comments:

1. Prior to issuing building permits, 122, 126, 134, and 138 Tyler St shall be rezoned from R-2 Two-Family District to I-2 General Industrial District and said parcels shall be consolidated with the larger 601 S Commercial St parcel.
2. Submit a landscape plan showing the proposed street tree plantings within the parking lot islands.
3. Consider installing a sight tight fence or a row of evergreen trees along Tyler Street adjacent to the trailer parking areas in-lieu of a chainlink fence to provide additional buffering from residential properties along Tyler St.
4. Submit an outdoor lighting plan showing lighting levels and information on lighting pole heights and fixture information. Full-cut-off fixtures are required.
5. State Plan approval is required for this project. The City works with e-Plan for state plan review.
6. A parking lot permit and fence permit are required prior to installation.

Engineering - Heath Kummerow - 920-886-6245
hkummerow@neenahwi.gov

Approved

Review Comments:

Community Development - Kelly Nieforth -
knieforth@neenahwi.gov

Approved

Review Comments:

Water Utility - Anthony Mach - 920-886-6180
amach@neenahwi.gov

Approved

Review Comments:

Ensure that no loops or possible flow-through conditions are created by the interconnection of private mains or services on the property or within a building. These require separate approval and require check valves to ensure protection of the distribution system.

Ensure that no interconnections between any well or non-potable source and the distribution system or water services exists or is created by construction activity. Any existing wells shall be properly abandoned or permitted through Neenah Water Utility.

Please contact the Neenah Water Utility Distribution Manager at (920) 886-6191 or the Director at (920) 886-6182 for notifications or if you have any questions.

Contractor is responsible for obtaining safe bacteriological samples of large services at a certified lab per Neenah Water Utility specifications. Please see the attached Water Main and Large Service Testing document.

Please provide the results of any bacteriological testing to Tim Jens and Anthony L. Mach at: tjens@neenahwi.gov and amach@neenahwi.gov

Please see the attached Neenah Water Utility Specifications for details regarding all installations.

Please let us know what size meter will be used for the building.

PROJECT INFORMATION

PROPOSED MIX COOLER EXPANSION:
GALLOWAY COMPANY
601 COMMERCIAL STREET • NEENAH, WI 54946

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR CONSTRUCTION

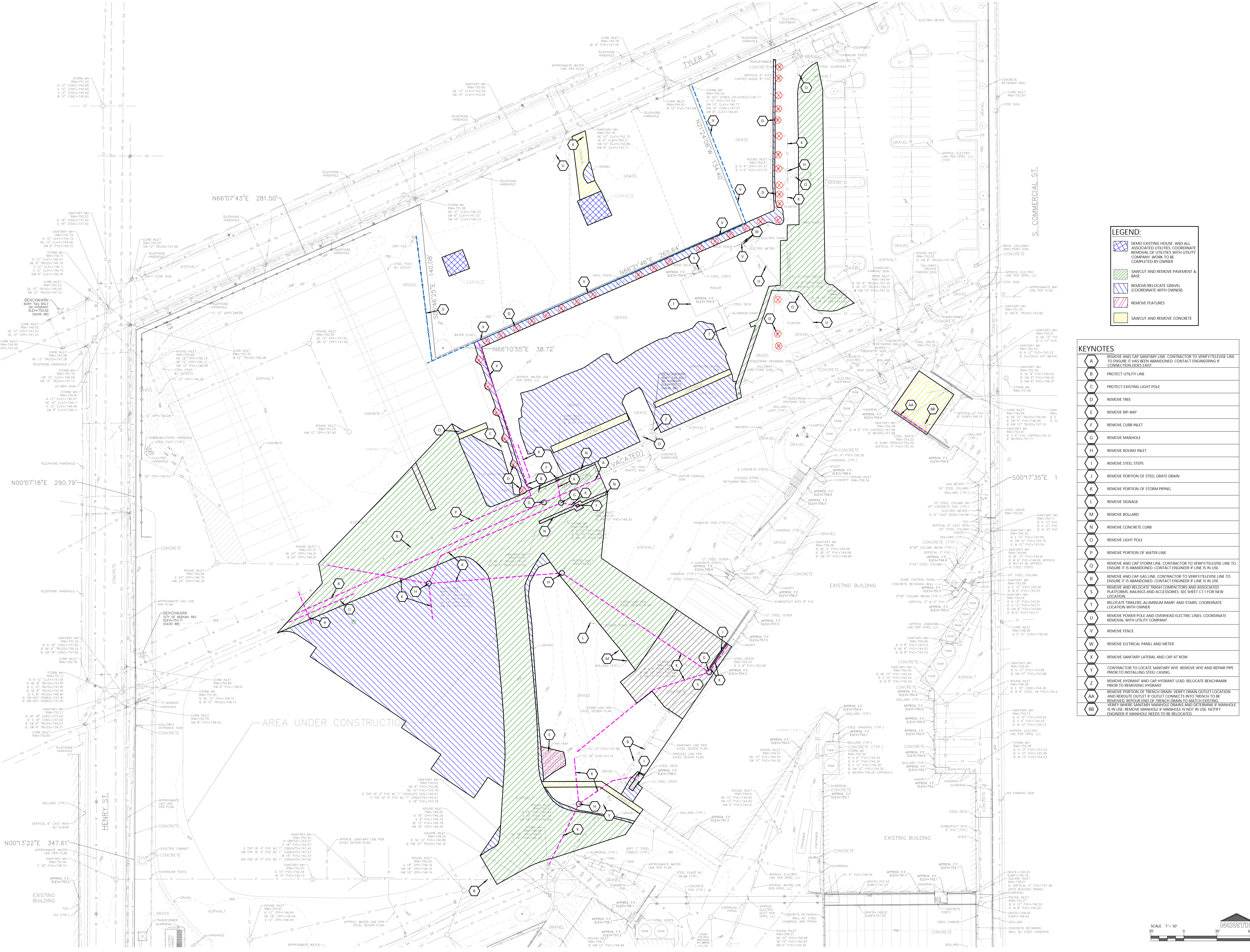
IFC JULY 3, 2025

JOB NUMBER

240334200

SHEET NUMBER

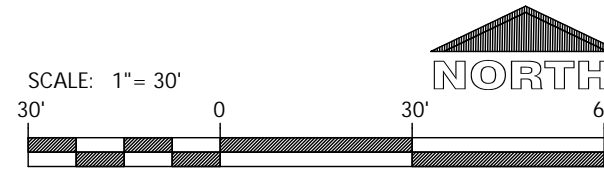
C1.0



LEGEND:

- DEMOLITION HOUSE AND ALL ASSOCIATED UTILITIES. COORDINATE REMOVAL OF UTILITIES WITH UTILITY COMPANY. WORK TO BE COMPLETED BY OWNER.
- SAVING AND REMOVE PAVEMENT & BASE
- REMOVE/RELOCATE GRAVEL (COORDINATE WITH OWNER)
- REMOVE FEATURES
- SAVING AND REMOVE CONCRETE

KEYNOTES	
A	REMOVE AND CAP SANITARY LINE. CONTRACTOR TO VERIFY/TELEVIEW LINE TO ENSURE IT HAS BEEN ABANDONED. CONTACT ENGINEERING IF CONNECTION DOES EXIST
B	PROTECT UTILITY LINE
C	PROTECT EXISTING LIGHT POLE
D	REMOVE TREE
E	REMOVE RIP-RAP
F	REMOVE CURB INLET
G	REMOVE MANHOLE
H	REMOVE ROUND INLET
I	REMOVE STEEL STEPS
J	REMOVE PORTION OF STEEL GRATE DRAIN
K	REMOVE PORTION OF STORM PIPING
L	REMOVE SIGNAGE
M	REMOVE BOLLARD
N	REMOVE CONCRETE CURB
O	REMOVE LIGHT POLE
P	REMOVE PORTION OF WATER LINE
Q	REMOVE AND CAP STORM LINE. CONTRACTOR TO VERIFY/TELEVIEW LINE TO ENSURE IT IS ABANDONED. CONTACT ENGINEER IF LINE IS IN USE.
R	REMOVE AND CAP GAS LINE. CONTRACTOR TO VERIFY/TELEVIEW LINE TO ENSURE IT IS ABANDONED. CONTACT ENGINEER IF LINE IS IN USE.
S	REMOVE AND RELOCATE TRASH COMPACTORS AND ASSOCIATED PLATFORMS, RAILINGS AND ACCESSORIES. SEE SHEET C1.1 FOR NEW LOCATION.
T	RELOCATE TRAILERS, ALUMINUM RAMP, AND STAIRS. COORDINATE LOCATION WITH OWNER.
U	REMOVE POWER POLE AND OVERHEAD ELECTRIC LINES. COORDINATE REMOVAL WITH UTILITY COMPANY.
V	REMOVE FENCE
W	REMOVE ELECTRICAL PANEL AND METER
X	REMOVE SANITARY LATERAL AND CAP AT ROW
Y	CONTRACTOR TO LOCATE SANITARY WYE. REMOVE WYE AND REPAIR PIPE PRIOR TO INSTALLING STEEL CASING.
Z	REMOVE HYDRANT AND CAP HYDRANT LEAD. RELOCATE BENCHMARK PRIOR TO REMOVING HYDRANT.
AA	REMOVE PORTION OF TRENCH DRAIN. VERIFY DRAIN OUTLET LOCATION AND RELOCATE IF OUTLET CONNECTS INTO TRENCH TO BE REMOVED. REPAIR END OF TRENCH DRAIN TO MATCH EXISTING.
BB	VERIFY WHERE SANITARY MANHOLE DRAINS AND DETERMINE IF MANHOLE IS IN USE. REMOVE MANHOLE IF MANHOLE IS NOT IN USE. NOTIFY ENGINEER IF MANHOLE NEEDS TO BE RELOCATED.



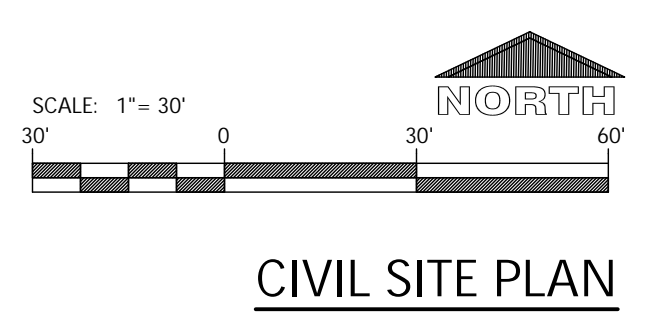
CIVIL EXISTING SITE AND DEMOLITION PLAN

LEGEND:	
HATCH	PAVEMENT SECTION
	STANDARD DUTY ASPHALT
	HEAVY DUTY ASPHALT
	STANDARD CONCRETE
	HEAVY DUTY CONCRETE
	STANDARD GRAVEL

KEYNOTES	
1	CONCRETE STOOP (SEE STRUCTURAL PLANS FOR DETAILS)
2	PAINT STRIPING (TYP, COLOR TO MATCH PARKING STALL STRIPING)
3	STEEL GRATE STAIRS (SEE ARCH PLANS FOR DETAILS)
4	CONCRETE SILO PAD (SEE STRUCTURAL PLANS FOR DETAILS)
5	SILO (SEE ARCH PLANS FOR DETAILS)
6	RELOCATED TRASH COMPACTOR (SEE ARCH FOR DETAILS)
7	TRASH COMPACTOR, PROVIDE STAINLESS STEEL SKID PLATES UNDER COMPACTOR ROLLERS (SEE ARCH FOR DETAILS)
8	CONCRETE BOLLARD
9	18" CURB AND GUTTER
10	CURB TAPER
11	DUMPSTER ENCLOSURE, SEE ARCH PLANS FOR DETAIL
12	CURB CUT
13	6" HIGH CHAINLINK FENCE TO MATCH EXISTING
14	HANDICAP SIGN (4 TYP)
15	DUMPSTER
16	6" VERTICAL CURB
17	CONCRETE EQUIPMENT PAD
18	30" CURB AND GUTTER TO MATCH EXISTING

EXISTING SITE DATA			
BUILDING FLOOR AREA	AREA (AC)	AREA (SF)	RATIO
PAVEMENT (ASP. & CONC.)	0.00	0	0.0%
TOTAL IMPERVIOUS	1.60	69,736	80.4%
LANDSCAPE/ OPEN SPACE	0.39	16,977	19.6%
PROJECT SITE	1.99	86,713	100.0%

PROPOSED SITE DATA			
BUILDING FLOOR AREA	AREA (AC)	AREA (SF)	RATIO
PAVEMENT (ASP. & CONC.)	1.10	47,817	55.1%
TOTAL IMPERVIOUS	0.89	38,896	44.9%
LANDSCAPE/ OPEN SPACE	0.00	0	0.0%
PROJECT SITE	1.99	86,713	100.0%

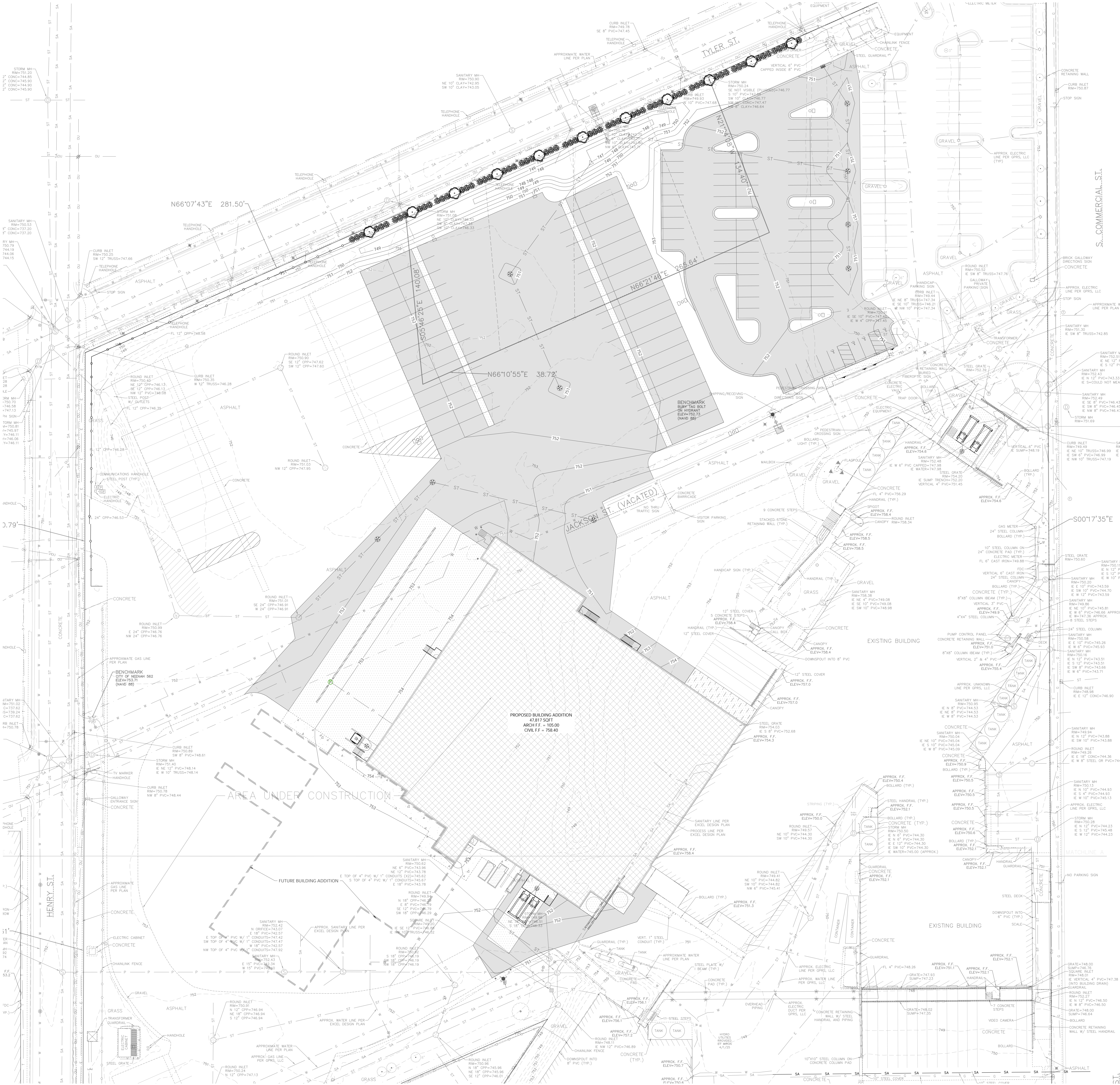


PROFESSIONAL SEAL

SHEET DATES
ISSUED FOR CONSTRUCTION
IFC JULY 3, 2025

JOB NUMBER
240334200

SHEET NUMBER
C1.1



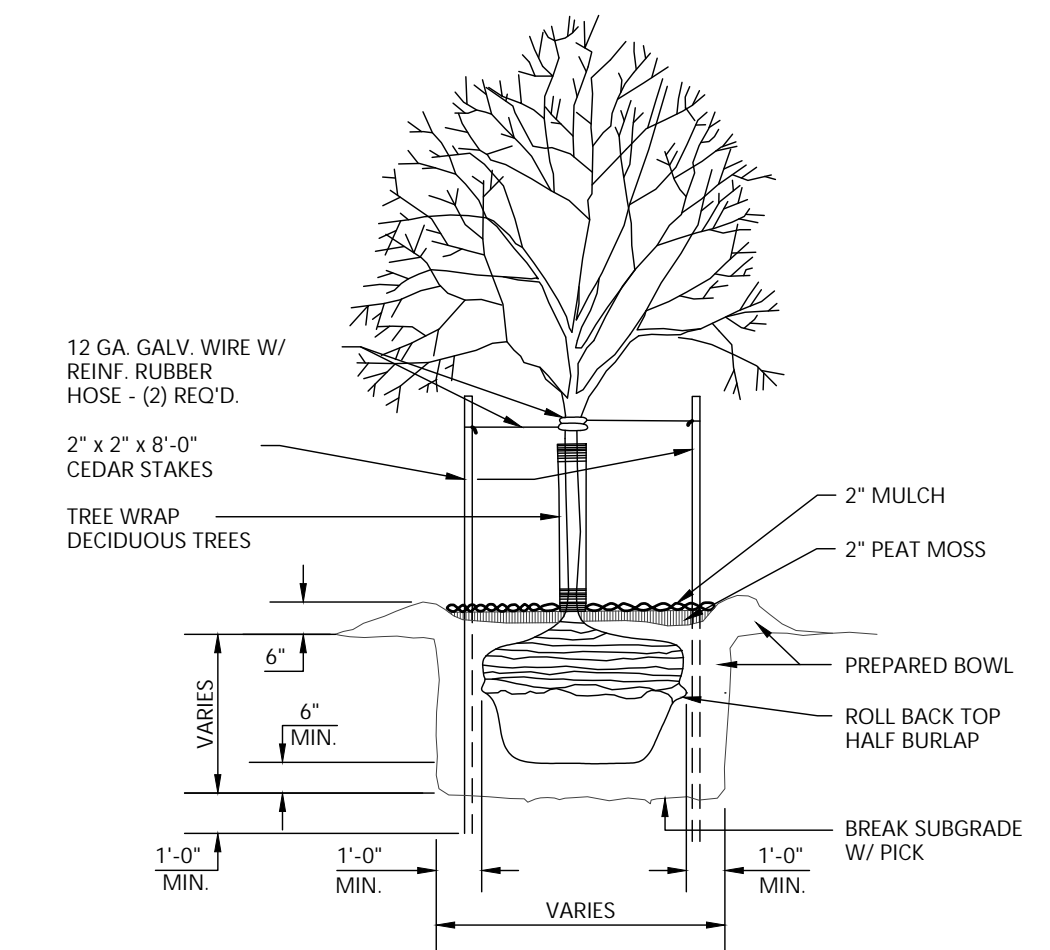
GENERAL NOTES:

XXXXXXX

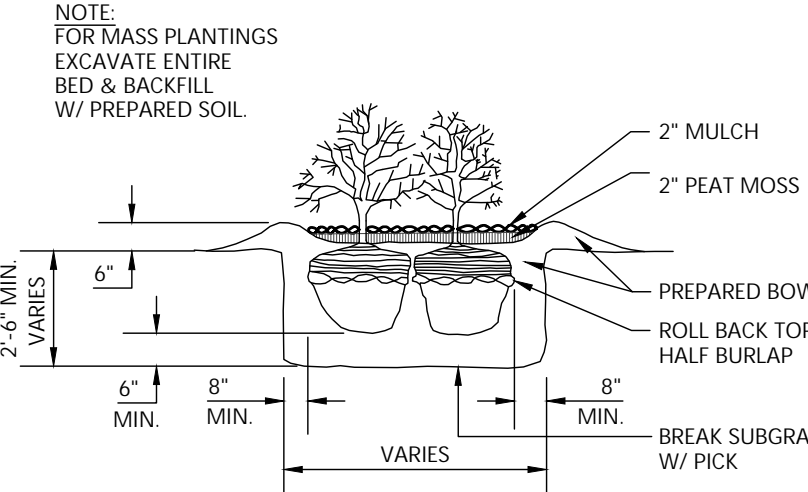
HATCH KEY:

HATCH	LANDSCAPE MATERIAL
[Hatch Pattern]	ORGANIC MULCH
[Hatch Pattern]	MINERAL MULCH
[Hatch Pattern]	SEEDED LAWN
[Hatch Pattern]	SODDED LAWN
[Hatch Pattern]	EROSION MATTING (NAG S150) OVER SEEDED LAWN < 8% - 4:1 SLOPES OUTSIDE OF SWM
[Hatch Pattern]	EROSION MATTING (NAG C125) OVER SEEDED LAWN (SWALE BOTTOMS & SWM)

LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
	Red Oak	Quercus rubra	3"	11
DECIDUOUS SHRUBS				
	Emerald Mound Honeysuckle	Lonicera x xylosteum 'Emerald Mound'	15"-18"	70



TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

SCALE: 1" = 20'

NORTH

CIVIL LANDSCAPE PLAN

Excel

Always a Better Plan

100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED MIX COOLER EXPANSION:

GALLOWAY COMPANY

601 COMMERCIAL STREET • NEENAH, WI 54946

PROFESSIONAL SEAL

SHEET DATES

ISSUED FOR CONSTRUCTION

IFC JULY 3, 2025

JOB NUMBER

240334200

SHEET NUMBER

C1.4



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PROPOSED MIX COOLER EXPANSION:
GALLOWAY COMPANY
601 COMMERCIAL ST. • NEENAH, WI 54956

PRELIMINARY DATES

MAR. 21, 2025
MAY 5, 2025
JUNE 18, 2025
JULY 3, 2025

240334200

100

A2.0

NOT FOR CONSTRUCTION

1281— SEE WALL SECTIONS FOR EXTERIOR WALL CONSTRUCTION.

- REFERENCE EXTERIOR ELEVATIONS FOR VENEER CONTROL JOINTS. SEE STRUCTURAL PLANS FOR CMU CONTROL JOINT LOCATIONS. VENEER CONTROL JOINTS AND CMU CONTROL JOINTS ARE NOT REQUIRED TO ALIGN.

- 12'-0" PRECAST CONCRETE**
FINISH: EXPOSED AGGREGATE
COLOR: GRAY/BUFF MATCH EXISTING FACILITY

8'-0" PRECAST CONCRETE
FINISH: EXPOSED AGGREGATE
COLOR: GRAY/BUFF MATCH EXISTING FACILITY

CAST IN PLACE CONCRETE
(2) COATS MASTERSEAL S81
COLOR: GRAY

PRE-FINISHED METAL TRIM
METAL: LPA
COLOR: CLEAR ANODIZED

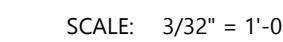
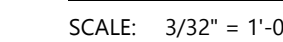
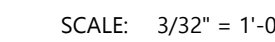
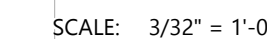
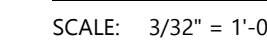
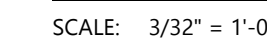
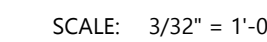
GLAZING
SEE WINDOW ELEVATIONS

PAINTED REVEALS
COLOR: MATCH EXISTING FACILITY

CONCRETE MASONRY UNIT
COLOR: SPLIT FACE CMU

METAL PANEL ROOF
STANDING SEAM METAL PANEL ROOF
COLOR: TO MATCH EXISTING

MASONRY STONE CAP



ARCHITECTURAL EXTERIOR ELEVATIONS



DATE: July 29, 2025
TO: Mayor Lang and Members of Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: Site Plan Review – 1080 Breezewood Lane – Fire Station 31 Renovations

Request

The Neenah-Menasha Fire Department is requesting a site plan review for the renovation and expansion of Fire Station 31 and to construct a storage building and a new training tower on property located at 1080 Breezewood Lane.

Consideration

Fire Station 31 was constructed in 1995 and houses the Neenah-Menasha Fire Department and includes the City's medical clinic. The existing building, which is located on the north side of the property, is approximately 14,500 square feet in size. The site also includes the police evidence storage building, and a fire training center with several training buildings.

The proposal includes a 1,700 square-foot building expansion on the east side of the building to provide additional storage space and an exercise room. The site plan also includes a 580 square-foot tower addition for the purpose of drying hoses and training purposes.

On the training facility portion of the site, the site plan proposes to construct a 42' by 80' storage building (3,360 square feet) and 1,500 square-foot multi-story fire training building. The gravel area around the existing training facility will be paved with high strength concrete.

Development Standards

The I-1 District development standards are listed below. The proposed dimension or size is listed in parentheses next to the standard.

Structure Setbacks:

Front Yard – 30 feet (**52 feet – Breezewood Lane**)
Front Yard – 10 feet (**65 feet – Tullar Road**)
Side Yard – 10 feet (**18 feet – east property line**)

Parking Setbacks

Front Yard – 10 feet (**10 feet – Tullar Road**)

Maximum Height:

Building – 100 feet (**43 feet**)

Maximum Building Coverage:

Building – 30% (**7%**)

Minimum Green Space Coverage:

Building – 10% (**21%**)

Minimum Off-Street Parking Requirements:

Medical Office – 4 per 1,000 square feet of gross floor area (**8 parking spaces**)

Fire Department – 1 for each employee on the largest shift (**5 parking spaces**)

Building Expansion

The existing building is constructed with CMU block. The western portion of the building, which includes the medical clinic and living area for the Fire Department, is proposed to be clad in metal siding and a concrete stone veneer around the building. The garage portion of the building will remain CMU with the expectation that it will be painted. Finally, the new hose tower will be clad in concrete stone. Renderings of the building are included in the agenda packet.

The proposed storage building, located south of the existing parking lot, will be constructed with metal panels and match the proposed color of the Fire Station. The proposed fire training facility will also include metal side panels. The training facility building is a multi-level building which is intended to be used for fire training purposes.

Off-Street Parking

The reconfigured parking lot will provide 35 off-street parking spaces including 2 handicap accessible stalls. Parking stalls on the east side of the property (south of the Fire Station) are proposed to be eliminated and the area returned to green space. The parking lot design, stall dimensions, and drive aisle widths all meet and exceed minimum parking standards.

Traffic Circulation

Vehicles enter the property via two driveways along Tullar Road. The main driveway on the north end of the property provides access to the Fire Station and medical clinic while a secondary driveway, further south, provides access to the training facilities. A driveway along Breezewood Lane is strictly used for fire trucks leaving the site.

Landscaping

The frontage landscaping standards are required to be met since the building expansion exceeds 10 percent of the total building floor area. The Zoning Code requires a minimum of 1 shade tree and 6 shrubs for each 40 feet of linear frontage. In this case, a minimum of 11 shade trees and 66 shrubs are required within the landscape strip along Breezewood Lane and Tullar Road, adjacent to the building. Currently, 8 street trees are located within the landscape strip, but no shrubs are present. Please submit a landscape plan identifying the location, type and size of all plantings proposed within the frontage landscape strip.

Storm Water Management

Storm water is collected on-site via catch basins in the existing parking lot adjacent to the fire station building and proposed catch basin in the training facility paved area. A new drainage swale is proposed south of the training facility to collect storm water from the paved area around the training facility. The drainage swale directs storm water to an existing drainage swale which brings storm water to the City's storm water pond along Tullar Court.

Lighting Plan

An outdoor lighting plan was submitted, and the lighting levels meet the standards for commercial property. The outdoor lighting identified in the submittal includes building security lighting with full cut-off fixtures.

Recommendation

An appropriate action at this time is for Plan Commission to approve the site plan to construct a building expansion and accessory structures on property located at 1080 Breezewood Lane subject to the conditions of the Site Plan Review Letter.



City of Neenah Community Development
211 Walnut Street
Neenah WI 54956
Ph 920.886.6130

July 24, 2025

BRAD HARTJES
RA SMITH
100 W LAWRENCE ST
APPLETON, WI 54911

RE: Site Plan #14-25 - 1080 Breezewood Lane - Fire Station Site Plan - Major Review () Status Approved

Dear BRAD HARTJES:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment
bschmidt@neenahwi.gov
920-886-6126

Plan Review Comments

Fire Department - Jerry Mavroff - 886-6204
GMavroff@nmfire.org

Approved

Review Comments:

Inspections - Building Commercial - Kyle Pederson - 920-886-6131
kpederson@neenahwi.gov

Approved

Review Comments:

State Building Plan Review is required prior to the issuance of building permits.
A parking lot permit is required prior to the construction or reconstruction of any parking areas on the site.
A sign permit is required for all new ground signs or wall signs.

Planning - Brad Schmidt -
bschmidt@neenahwi.gov

Approved

Review Comments:

Submit a landscape plan meeting the frontage landscape requirements - 1 shade tree and 6 shrubs for every 40 linear feet of frontage along Tullar Road and Breezewood Lane. Only frontage adjacent to the main building and parking lot should be included.
Sign permits are required for any new ground or building wall signs.
Modifications to this site plan shall be reviewed by Community Development.

Community Development - Kelly Nieforth -
knieforth@neenahwi.gov

Approved

Review Comments:

Water Utility - Anthony Mach - 920-886-6180
amach@neenahwi.gov

Approved

Review Comments:

Contractor is responsible for obtaining safe bacteriological samples of large services at a certified lab per Neenah Water Utility specifications. Please see the attached Water Main and Large Service Testing document.

Please provide the results of any bacteriological testing to Tim Jens and Anthony L. Mach at: tjens@neenahwi.gov and amach@neenahwi.gov

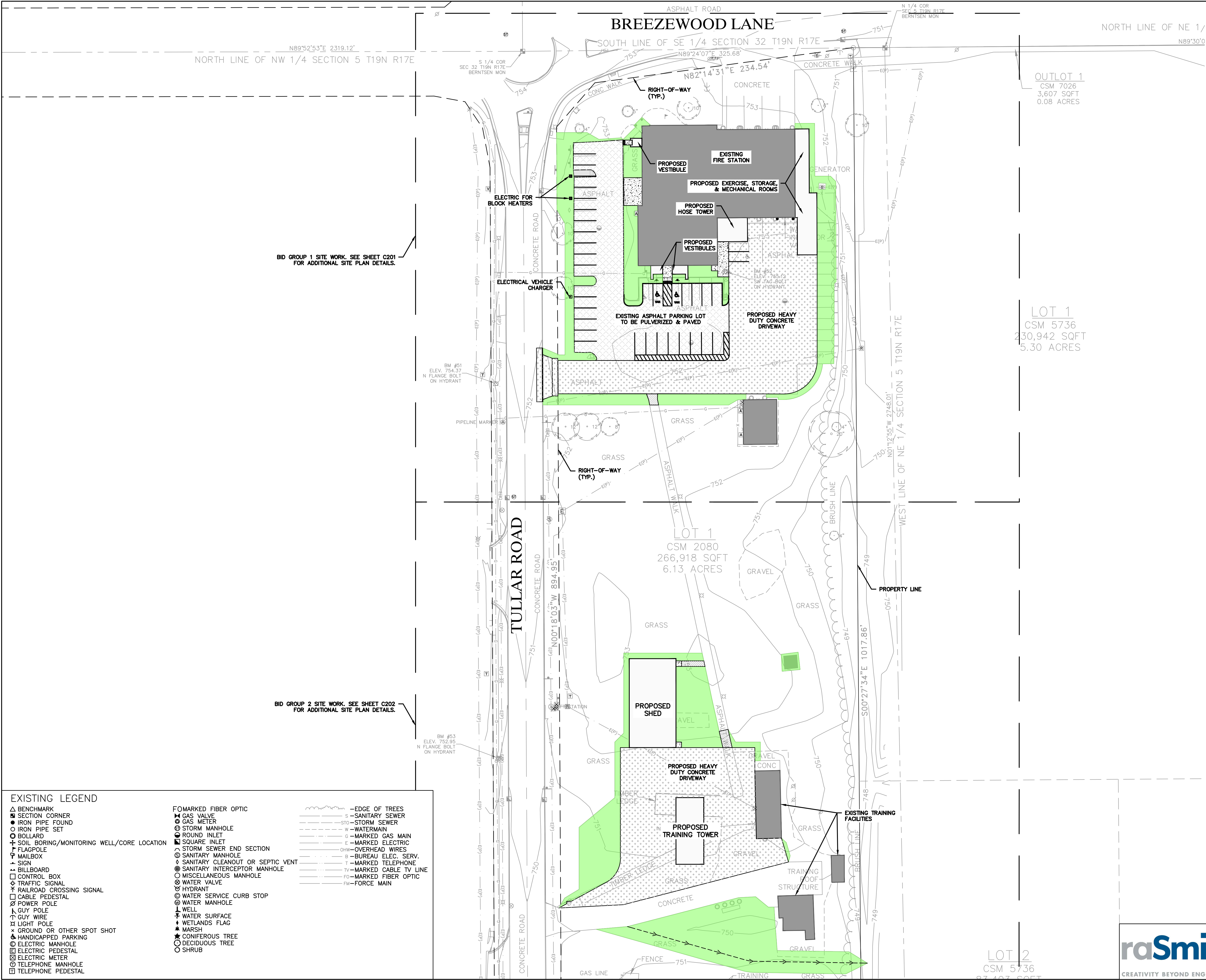
Please see the attached Neenah Water Utility Specifications for details regarding all installations.

Any new distribution connections shall be supervised by Water Utility staff. Please give us at least two working days of notice before any connections are made.

Ensure that no loops or possible flow-through conditions are created by the interconnection of private mains or services on the property or within a building. These require separate approval and require check valves to ensure protection of the distribution system.

Ensure that no interconnections between any well or non-potable source and the distribution system or water services exists or is created by construction activity. Any existing wells shall be properly abandoned or permitted through Neenah Water Utility.

Please contact the Neenah Water Utility Distribution Manager at (920) 886-6191 or the Director at (920) 886-6182 for notifications or if you have any questions.



PROPOSED LEGEND

- PROPOSED FULL DEPTH STANDARD DUTY BITUMINOUS PAVEMENT
- PULVERIZE & PAVE EXISTING BITUMINOUS PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED BUILDING ADDITION
- EXISTING BUILDING FOOTPRINT
- PROPOSED CONCRETE SIDEWALK
- 4" TOPSOIL, SEED, & MULCH

- NOTES:**
- SEE SHEET C502 FOR TYPICAL PAVEMENT SECTION, PAVEMENT MARKING, AND SIGNAGE DETAILS.
 - DIMENSIONS ARE TO FACE-OF-CURB OR EDGE-OF-PAVEMENT.
 - RADIUS DIMENSIONS ARE TO FACE-OF-CURB OR EDGE-OF-PAVEMENT.
 - CONTRACTOR TO REMOVE PULVERIZED MATERIAL AS NECESSARY TO ACHIEVE FINISHED PAVEMENT ELEVATIONS.
 - CONTRACTOR SHALL SUBMIT A JOINTING PLAN FOR HEAVY DUTY PAVEMENT AREAS TO THE ENGINEER PRIOR TO CONSTRUCTION.

EXISTING LEGEND

- △ BENCHMARK
- SECTION CORNER
- IRON PIPE FOUND
- IRON PIPE SET
- BOLLARD
- ✦ SOIL BORING/MONITORING WELL/CORE LOCATION
- ✦ FLAGPOLE
- ✦ MAILBOX
- ✦ SIGN
- ✦ BILLBOARD
- CONTROL BOX
- ✦ TRAFFIC SIGNAL
- ✦ RAILROAD CROSSING SIGNAL
- CABLE PEDESTAL
- POWER POLE
- ✦ LIGHT POLE
- ✦ GUY WIRE
- ✦ LIGHT POLE
- ✦ GROUND OR OTHER SPOT SHOT
- ✦ HANDICAPPED PARKING
- ELECTRIC MANHOLE
- ELECTRIC PEDESTAL
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL

FO MARKED FIBER OPTIC

- GAS VALVE
- GAS METER
- STORM MANHOLE
- ROUND INLET
- SQUARE INLET
- ✦ STORM SEWER END SECTION
- SANITARY MANHOLE
- ✦ SANITARY CLEANOUT OR SEPTIC VENT
- SANITARY INTERCEPTOR MANHOLE
- MISCELLANEOUS MANHOLE
- WATER VALVE
- HYDRANT
- WATER SERVICE CURB STOP
- WATER MANHOLE
- ✦ WELL
- ✦ WATER SURFACE
- ✦ WETLANDS FLAG
- ✦ MARSH
- ✦ CONIFEROUS TREE
- DECIDUOUS TREE
- SHRUB

— EDGE OF TREES

- S—SANITARY SEWER
- STO—STORM SEWER
- W—WATERMAIN
- G—MARKED GAS MAIN
- E—MARKED ELECTRIC
- OHW—OVERHEAD WIRES
- B—BUREAU ELEC. SERV.
- T—MARKED TELEPHONE
- TV—MARKED CABLE TV LINE
- FO—MARKED FIBER OPTIC
- FM—FORCE MAIN

raSmith
CREATIVITY BEYOND ENGINEERING

100 West Lawrence Street, Suite 412
Appleton, WI 54911-5754
rasmith.com

SEH

Project Owner

**CITY OF NEENAH
NEENAH-MENASHA FIRE STATION**

1080 BREEZEWOOD LANE
NEENAH, WI

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SEH Project 181239
Checked By BLH
Drawn By JWF

Project Status CONSTRUCTION DOCUMENTS
Issue Date 07/25/25

REVISION SCHEDULE

REV. #	DESCRIPTION	DATE
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FULL SITE PLAN

C200

811

Know what's below.
Call before you dig.

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NW PERSPECTIVE



ELEVATIONS

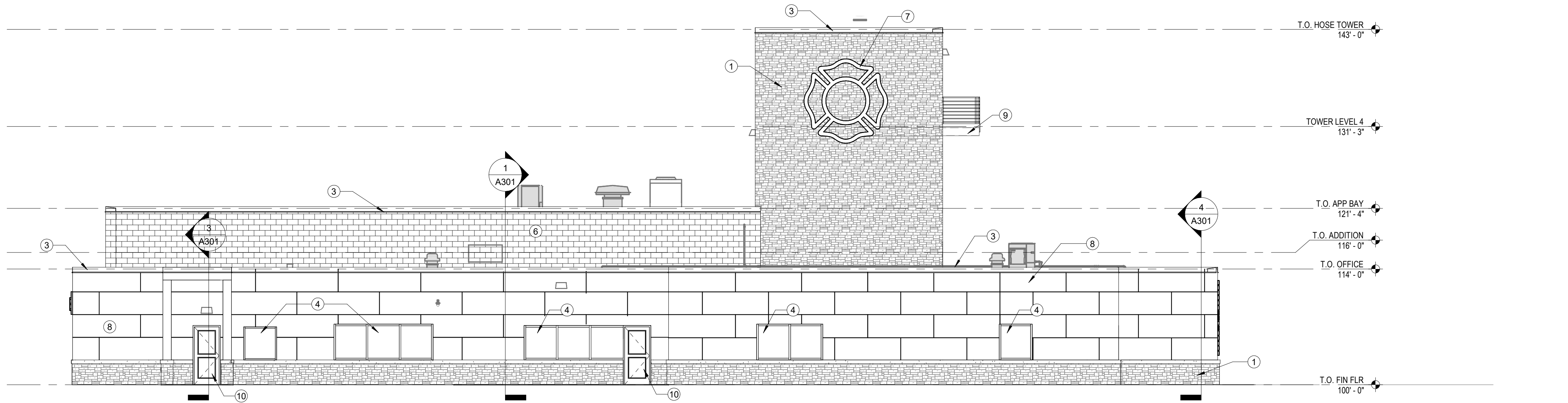


ELEVATIONS

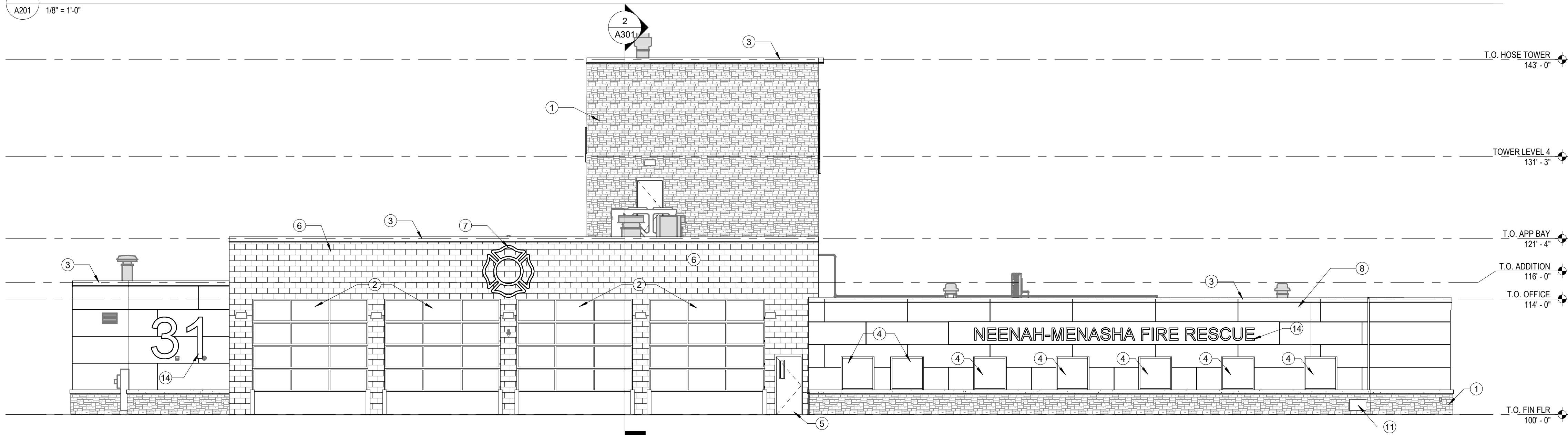


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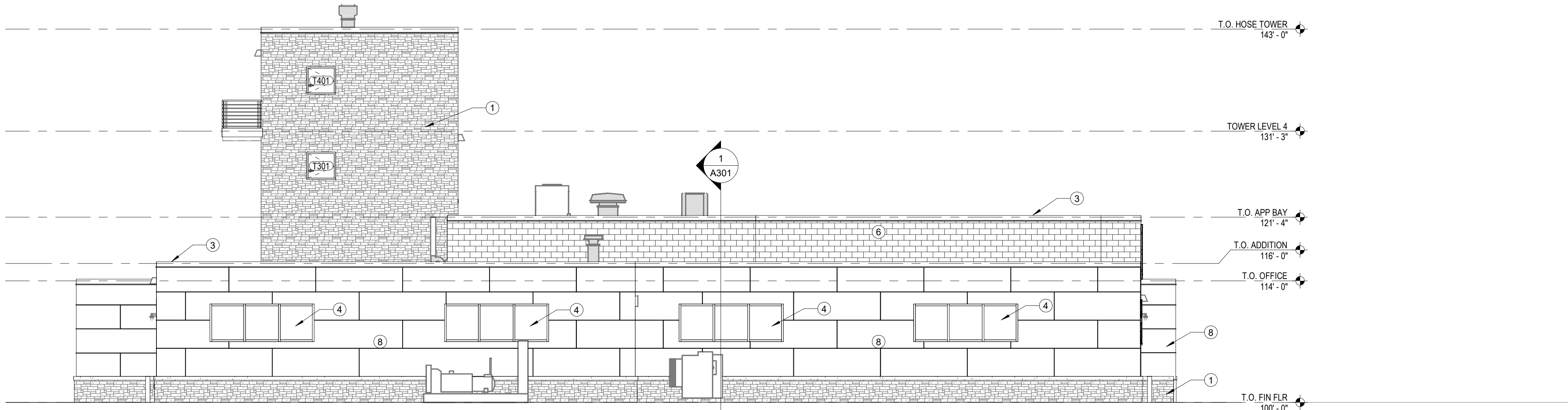
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3
A201
EXTERIOR ELEVATION - West
1/8" = 1'-0"



2
A201
EXTERIOR ELEVATION - North
1/8" = 1'-0"



1
A201
EXTERIOR ELEVATION - East
1/8" = 1'-0"

EXTERIOR ELEVATIONS NOTES	
1	CONCRETE STONE
2	12 LITE (3/SECTION) SECTIONAL OVERHEAD DOORS (PAINT RED)
3	CONTINUOUS PERIMETER METAL PARAPET COPING
4	ALUMINUM STOREFRONT OPENINGS
5	HOLLOW METAL DOOR (INSULATED) & FRAME. PAINT TO MATCH ALUM. WINDOW FRAMES
6	EXISTING CONC. BLOCK, PAINTED
7	BACK-LIT MALTESE CROSS (FLAT BLACK)
8	METAL PANEL. THE METAL WALL PANEL SYSTEM JOINTS ARE SHOWN FOR THE PURPOSE OF DESIGN INTENT. FINAL PANEL DIMENSIONS AND LAYOUT ARE TO BE DETERMINED DURING SHOP DRAWING SUBMITTAL.
9	RESCUE BALCONY
10	ALUM. ENTRY DOOR. MATCH ALUM. WINDOW FRAMES
11	TIME CAPSULE / DATE STONE SEE 5/A502
12	BACK LIT RAISED LETTER SIGNAGE

Project Owner

NEENAH-MENASHA FIRE RESCUE
FIRE STATION 31 RENOVATION

1080 Brezewood Ln, Neenah,
WI 54956

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Drawn By	TCD

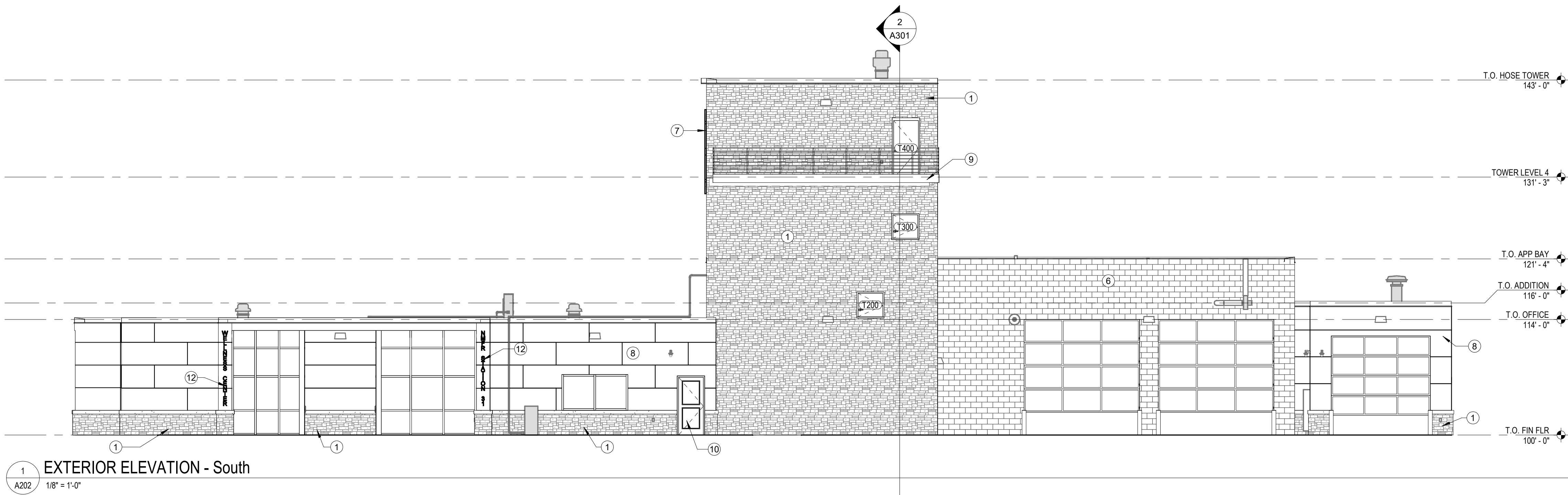
Project Status	Issue Date
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REVISION SCHEDULE		
REV. #	DESCRIPTION	DATE

EXTERIOR ELEVATIONS

A201

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EXTERIOR ELEVATIONS NOTES	
①	CONCRETE STONE
②	12 LITE (3/SECTION) SECTIONAL OVERHEAD DOORS (PAINT RED)
③	CONTINUOUS PERIMETER METAL PARAPET COPING
④	ALUMINUM STOREFRONT OPENINGS
⑤	HOLLOW METAL DOOR (INSULATED) & FRAME. PAINT TO MATCH ALUM. WINDOW FRAMES
⑥	EXISTING CONC. BLOCK, PAINTED
⑦	BACK-LIT MALTESE CROSS (FLAT BLACK)
⑧	METAL PANEL. THE METAL WALL PANEL SYSTEM JOINTS ARE SHOWN FOR THE PURPOSE OF DESIGN INTENT. FINAL PANEL DIMENSIONS AND LAYOUT ARE TO BE DETERMINED DURING SHOP DRAWING SUBMITTAL.
⑨	RESCUE BALCONY
⑩	ALUM. ENTRY DOOR. MATCH ALUM. WINDOW FRAMES
⑪	TIME CAPSULE / DATE STONE SEE 5/A502
⑫	BACK LIT RAISED LETTER SIGNAGE

Project Owner

NEENAH-MENASHA FIRE RESCUE
FIRE STATION 31 RENOVATION

1080 Breezewood Ln, Neenah,
WI 54956

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REVISION SCHEDULE		
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EXTERIOR ELEVATIONS

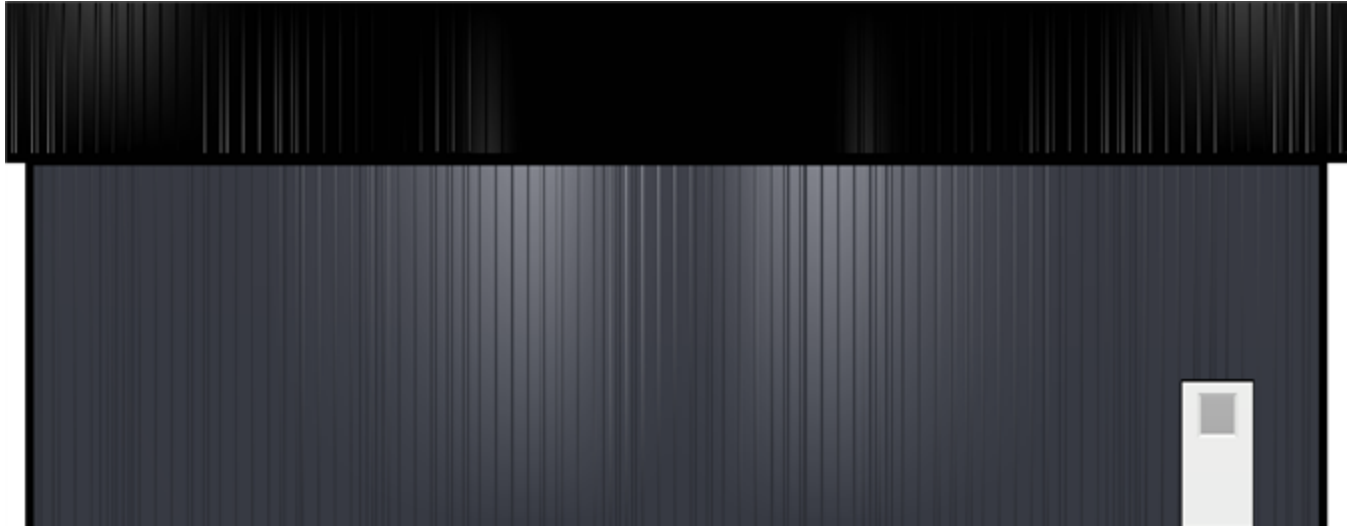
A202



P.O Box 930220
Verona, WI 53593-0220
Phone: (608) 845-9700
Fax: (608) 845-7070

6/3/2025
KRUEGER, SHANE
Doc ID: 7046620250603151134

Cleary/Owner Project Proposal - Erected



South Side Wall 1 on Neenah/Menasha Fire Dept

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

Side Wall 1 on Neenah/Menasha Fire Dept

Siding: Premium Steel Panel

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

House Wrap: None

Wainscot: None

Eave Filler Strips: None

Treated Plank Filler Strips: None

Ventilation

Side Wall 1 on Neenah/Menasha Fire Dept

Overhang: 12" Aluminum soffit (Sidewall) with vented soffit

Insulation Baffle will be used with this overhang to prevent ceiling insulation from moving into the soffit area.

Accessories

Side Wall 1 on Neenah/Menasha Fire Dept

Walk Door(s):

Standard, Steel Jamb 3 1/2" 3'-0"x6'-8"

Distance from left edge of wall to left edge: 53' 5 15/16"

Distance from 100'+0" mark to bottom of door plus: 0"

Anchor: ANCHOR KIT (WOOD)

Closer: CLOSER, HEAVY DUTY

Dead Bolt: Interconnected Dead Bolt

Door Chain: No Chain

Embossment: No Embossment

Frame: 2x6

Hinge: 4" 304 STAINLESS STEEL FIXED PIN



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Cleary/Owner Project Proposal - Erected

Jamb: 3 1/2" Insulated Jamb
Kick Plate: No Kick Plate
Latch Guard: No Latch Guard
Latch: None
Lockset: Interconnected Lever/Dead Bolt
Panic Hardware: No Panic Hardware
Skin: Lite Kit
Swing: Left Hand Swing Out Single Door
Window: 20"x24" Insulated - Thermo Pane
Keyed Alike. Group 1

Interior Finishes / Insulation

Side Wall 1 on Neenah/Menasha Fire Dept

Condensation Control: None

Insulation: None

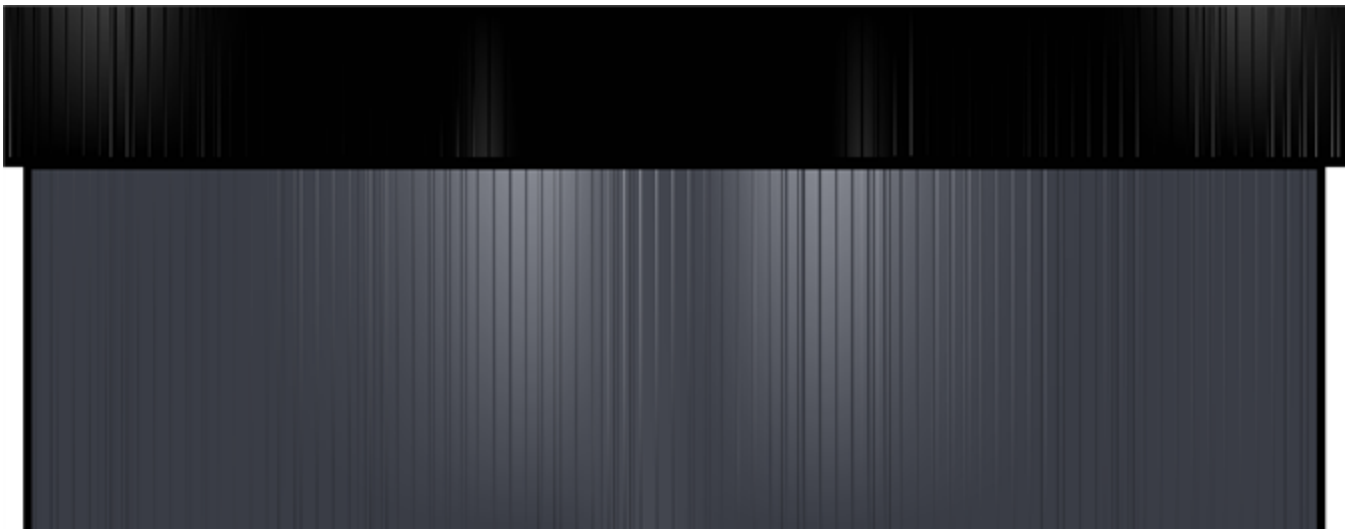
Interior Nailers: 2" x 4" Nailers 24" oc

Liner: Liner Steel Panel Steel (Snow color only)

Distance from 100'+0" mark to bottom of liner plus: 0' 0"

Bottom Trim: Included

A total of 20 cut outs are included in this total project (for electrical/plumbing, etc) in the interior finishes, any additional cut outs will be an extra charge.



North Side Wall 2 on Neenah/Menasha Fire Dept

Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.

Exterior Finishes

Side Wall 2 on Neenah/Menasha Fire Dept

Siding: Premium Steel Panel

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.



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Cleary/Owner Project Proposal - Erected



East End Wall 1 on Neenah/Menasha Fire Dept

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Exterior Finishes

End Wall 1 on Neenah/Menasha Fire Dept

Siding: Premium Steel Panel

- Lifetime Film Integrity Warranty, 35 Year Fade and Chalk Warranty, and G-90 Galvanizing Up to 1.0 ounce of Zinc Protection.

House Wrap: None

Wainscot: None

Gable Filler Strips: Gable filler strips not included.

Treated Plank Filler Strips: None

Ventilation

End Wall 1 on Neenah/Menasha Fire Dept

Overhang: 12" Aluminum soffit (Endwall) with vented soffit

Accessories

End Wall 1 on Neenah/Menasha Fire Dept

Overhead Frame Out(s):

20' 0" Width x 14' 0" Height

Headroom Available: 1' 11"

Additional Header material required: Overhead Frame Out with 13" to 20" of Required Headroom with Liner



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Cleary/Owner Project Proposal - Erected

Distance from left edge of wall to left edge: 10' 0 1/4"

Distance from 100'+0" mark to bottom of the overhead frame out plus: 0"

OVERHEAD DOOR NOT INCLUDED UNLESS OTHERWISE NOTED IN WRITING IN THE ADDITIONAL BUILDING COMPONENTS OR CLOPAY BUILDING PRODUCTS SECTION.

Interior Finishes / Insulation

End Wall 1 on Neenah/Menasha Fire Dept

Condensation Control: None

Insulation: None

Interior Nailers: 2" x 4" Nailers 24" oc

Liner: Liner Steel Panel Steel (Snow color only)

Distance from 100'+0" mark to bottom of liner plus: 0' 0"

Bottom Trim: Included

A total of 20 cut outs are included in this total project (for electrical/plumbing, etc) in the interior finishes, any additional cut outs will be an extra charge.



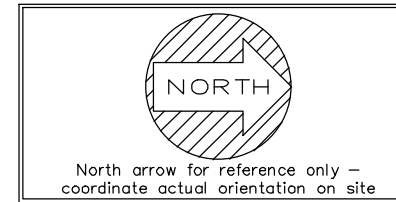
West End Wall 2 on Neenah/Menasha Fire Dept

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Exterior Finishes

End Wall 2 on Neenah/Menasha Fire Dept

Siding: Premium Steel Panel



ROOF LIVE LOAD: 100 PSF
FLOOR LIVE LOAD: 100 PSF
WIND LOAD: LOCAL
SEISMIC DESIGN CAT: LOCAL
SITE CLASS: LOCAL
DESIGN CODE: LOCAL & NFPA 1402

SCALE: $1/4" = 1'-0"$

Architectural floor plan of Burn Room #2. The plan shows a rectangular room with a staircase on the left and a large open area on the right. The staircase has a width of 7'-3" and a depth of 3'-0". The risers are 6.67" and the treads are 11". The staircase is labeled "UP" and "DOWN". The room is lined with Westec insulation and stainless steel panels. The overall dimensions are 48'-8" by 22'-0". The room is divided into sections with dimensions 11'-4", 11'-4", and 12'-0" along the bottom edge. The right wall is 14'-0" high. The staircase is 3'-3 1/4" wide. The room is labeled "BURN ROOM #2" and "INTERIOR OF ROOM IS LINED WITH WESTEC INSULATION & STAINLESS STEEL PANELS".

SCALE: $1/4" = 1'-0"$

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Typical
WESCO MODEL FF-4

FLOOR PLANS

Doc: 022119

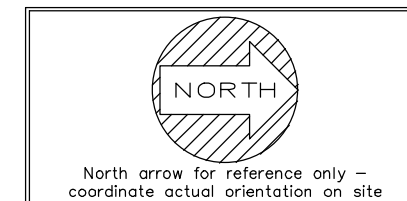
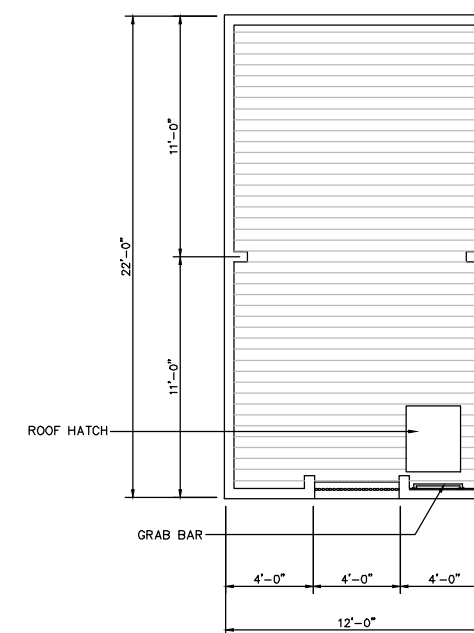
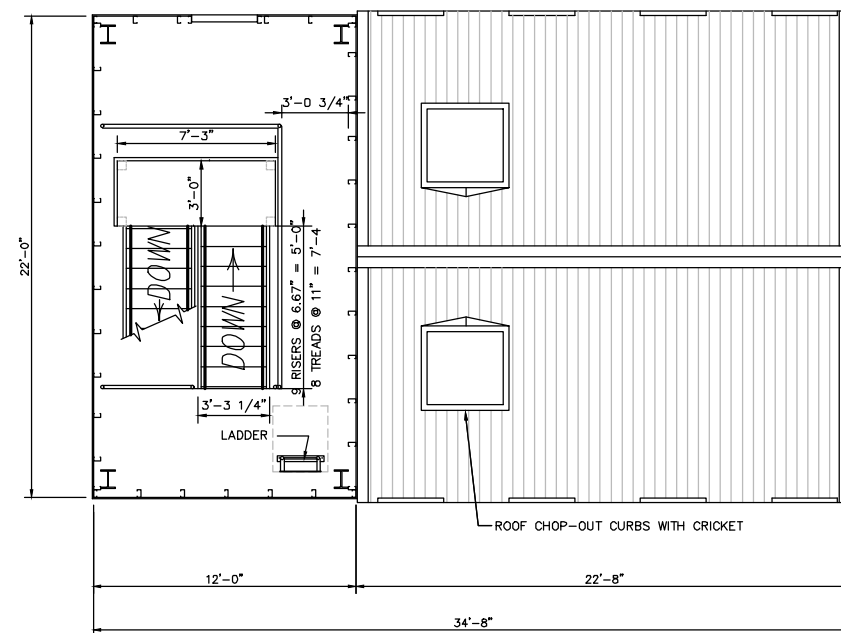
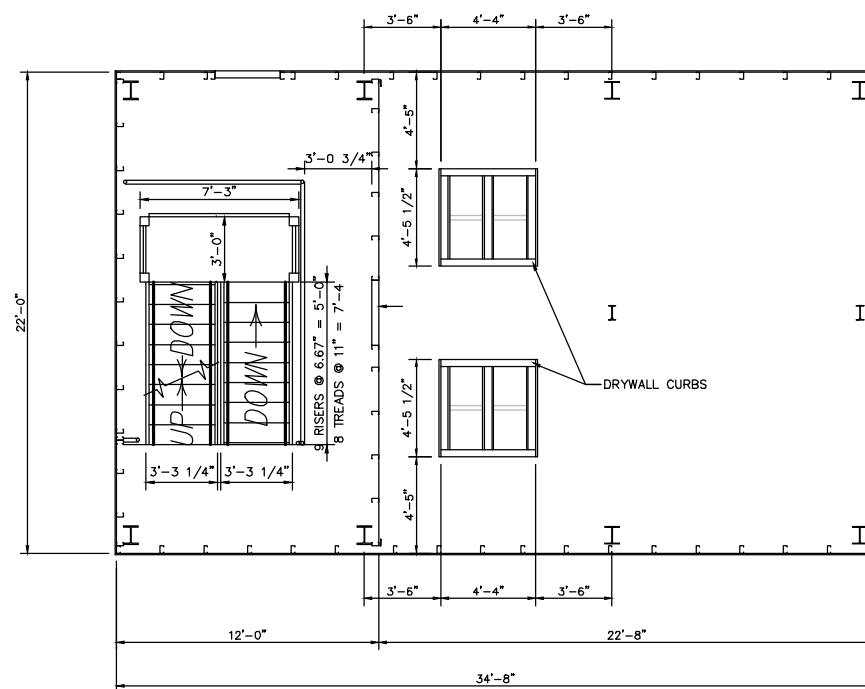
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Sheet No. _____

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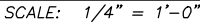
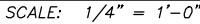
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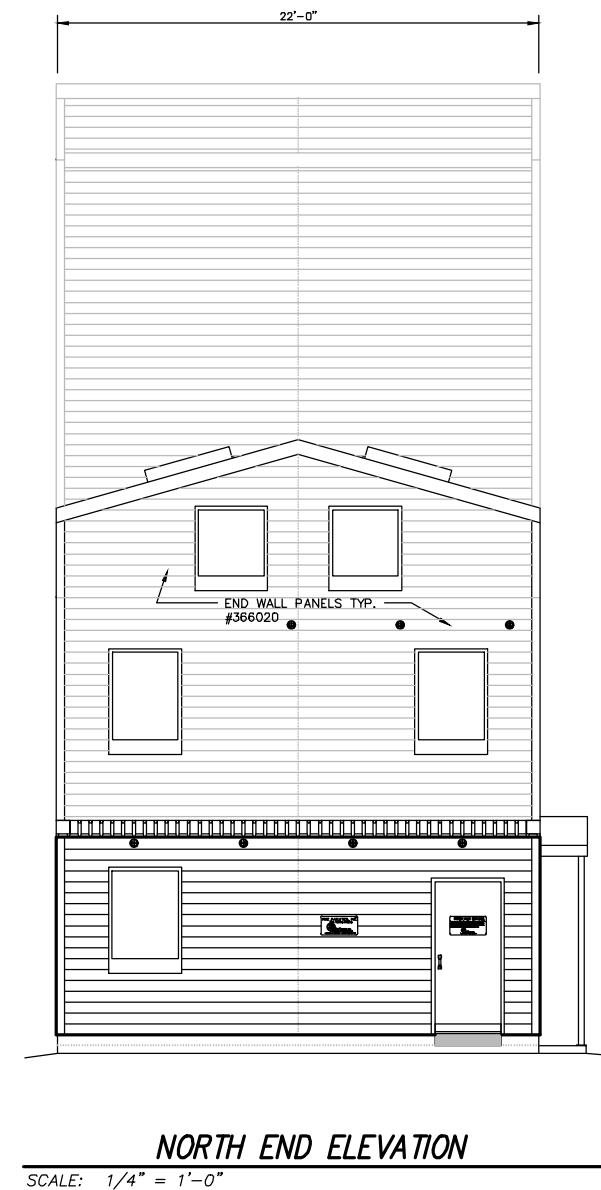
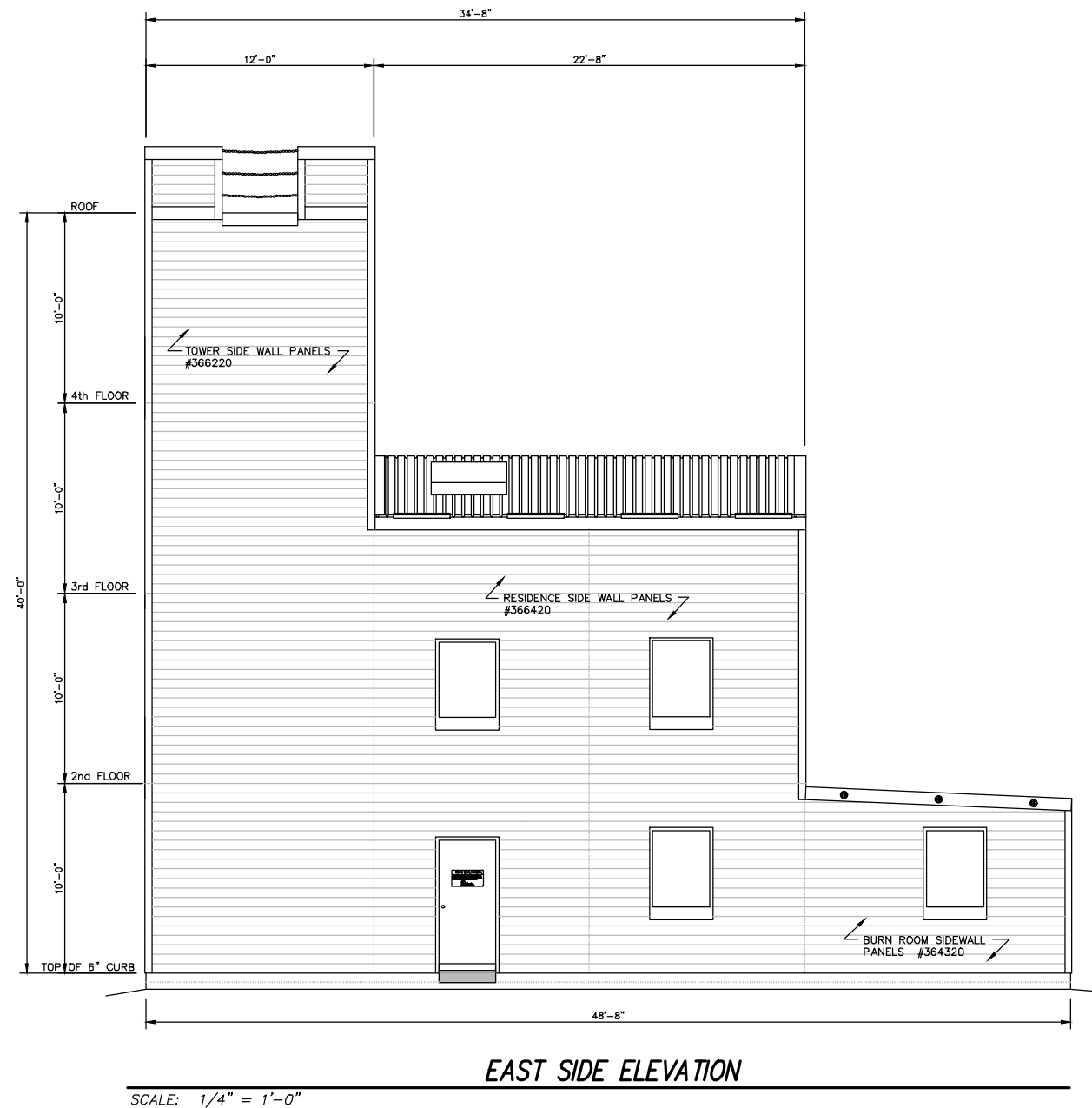


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03 of 04

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b. Description:

WESCO MODEL FF-4

TYPICAL

Sheet Title:
ELEVATIONS

Doc: 022119

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Sheet No.

