



NEENAH PLAN COMMISSION

Tuesday, May 27, 2025

4:00 P.M.

3rd Floor Conference Room, City Administration Building

Virtual Meeting Option: This meeting is available virtually. To access the virtual meeting (Requires Microsoft Teams), please click on the link below:

[Join the meeting now](#)

Meeting ID: 241 029 026 218 9

Passcode: 4YU7Br7c

-
1. Approval of Minutes: **May 13, 2025**
 2. Public Appearances (Ten minutes divided among those wishing to speak on topics pertinent to the Plan Commission)
 3. Public Hearings: None
 4. Action Items:
 - a. CSM #2-25 - 982 Byrd Avenue - 2 Lot (Zero Lot Line Development)
 - b. CSM #3-25 - 2455 Schultz Drive - 2 Lot CSM
 - c. Site Plan #7-25 - 2111 Marathon Avenue - Police Station Shed
 5. Discussion Items:
 - a. Neenah Housing Study and Needs Assessment - Accessory Dwelling Units (ADUs)
 6. Announcements and future agenda items:
 - a. Next Meeting: June 10, 2025

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Neenah will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance, or reasonable accommodation in participating in this meeting or event due to a disability as defined under the ADA, please call the Community Development Department Administrative Assistant at 920-886-6125 or the City's ADA Coordinator at (920) 886-6106 or e-mail attorney@NeenahWI.gov at least 48 hours prior to the scheduled meeting or event to request an accommodation.

MINUTES OF THE NEENAH PLAN COMMISSION
Tuesday, May 13, 2025
4:00 p.m.

Present:

Mayor Jane Lang, Chairperson	PRESENT	Gerry Kaiser, Director of Public Works	PRESENT	Alderman Dan Steiner	PRESENT
Kate Hancock-Cooke	PRESENT	Karen Genett	ABSENT	Frank Cuthbert	PRESENT
Gerry Andrews	PRESENT	Lindsay Clark	ABSENT		

Also Present:

Brad Schmidt, Deputy Director of Community Development	Kayla Kubat, Administrative Assistant of Community Development	Michael Burrows- Community Development Intern
Alderman Cari Lendrum	Alderman William Pollnow	Alderman Flo Bruno
Judd Stevenson- 1467 Whitetail Dr	Scott Roh- 821 Kensington Rd	Kevin and Maribeth McCann- 671 Elm St
Jeff Hill- 321 9 th St	Scott Becher- 1061 Green Acres Ln	Umer Sheikh

Minutes: MSC Andrews/Kaiser, the Plan Commission, to approve the April 29, 2025 meeting minutes. All voting aye. Motion passed.

Public Appearances: Chairperson Mayor Lang opened public appearances to topics not related to the agenda.

Scott Becher 1061 Green Acres Ln- He supports the Courtside Fields proposal, citing the recent housing study showing a demand for more single-family homes.

Judd Stevenson 1467 Whitetail Ln- He is glad the developer is keeping the integrity of the Shattuck Middle School neighborhood and the current zoning. He is in support of the Courtside Fields plan.

No one else in attendance spoke. Chairperson Mayor Lang closed public appearances.

Public Hearings:

- a. **Zoning Code Amendments-** Residential Development Standards & Permitted Uses in Commercial Districts – **Ord No. 2025-04**

No one in attendance spoke. Chairperson Mayor Lang closed public hearings.

Action Items:

- a. **Zoning Code Amendments** – Residential Development Standards & Permitted Uses in Commercial Districts – **Ord No. 2025-04**

Deputy Director Schmidt went over minor changes recommended to the zoning code, including removing the 20-foot minimum dwelling width and reducing side setbacks in the R2 district. This is to hopefully reduce the number of variances requested with the current standards and allow substandard lot width more flexibility to build or add onto their existing homes. He also recommended permitting single-family and two-family houses in commercial districts to address

ORDINANCE
2025-04

non-conforming residential properties. These properties have had a difficult time obtaining mortgages.

Member Cuthbert asked if there is already a 6-foot setback for R1 since this update is for R2. Deputy Director Schmidt stated the R1 district would still require the 6-foot and 10-foot setback. Most of the lots in the R1 district or new lots usually are over 60 feet.

Member Cuthbert asked if this update would create a new named R2 district. Deputy Director Schmidt stated we will keep it named R2 since that encompasses both single-family and two-family development.

Member Andrews asked if the side setback is 5-6 feet. Deputy Director Schmidt stated the suggestion was to look at 5-6 feet, however, based on research in other communities, 6-feet seems to be standard.

Member Hancock-Cooke asked if there was a reason we would not have this update in the R1 district. Deputy Director Schmidt stated based on research in our R1 district, most lots are above 60 feet in width so there are not the same issues with setbacks as in the R2 district, which tend to have smaller lot sizes.

MSC Steiner/Andrews, the Plan Commission, to recommend Common Council approve Ordinance No. 2025-04, amending Chapter 26 of the Code of Ordinances relating to residential development standards and permitted uses in commercial districts. All voting aye. Motion passed.

b. Certified Survey Map #1-25 – 2 Lot CSM – 600 Elm Street

Deputy Director Schmidt went over the CSM regarding splitting the north end of the Shattuck lot into two lots. The purpose of the CSM to separate the portion of the property with the former Shattuck school building from the green space to the south.

MSC Kaiser/Cuthbert, the Plan Commission, to approve the 2 lot CSM for the property located at 600 Elm Street. All voting aye. Motion passed.

c. Preliminary Plat #1-25 – Courtside Fields – 600 Elm Street

Deputy Director Schmidt went over the preliminary plat for Courtside Fields. There are 31 lots planned, all zoned R1 single-family district. He went over the 3 outlots, which includes recreational green space, potentially a regional storm pond south of Laudan Blvd, and sidewalk access to the tennis courts. The lot sizes range from 66 feet to 85 feet. There is no plan for additional infrastructure, all the storm water, water main and sanitary sewer is all within Reed St and Elm St.

Member Steiner asked about the discussion during the concept plan review about the potential to have a road through the middle with additional homes. Deputy Director Schmidt stated there is no intent by the current owner to do this, the intended use of outlot one would be recreational green space, however, it is set-up for the opportunity for redevelopment in the future.

Member Andrews asked what the area next to lots 31 and 1 are intended for. Deputy Director Schmidt stated those are part of outlot one.

Member Hancock-Cooke asked if the little building on the property was going to stay. Deputy Director Schmidt stated it is going to stay as-is and any future change would require a review.

MSC Hancock-Cooke/Kaiser, the Plan Commission, to recommend Common Council approve the Preliminary Plat for Courtside Fields subdivision subject to the conditions on the preliminary plat review letter. All voting aye. Motion passed.

d. Final Plat #1-25 – 2nd Addition to Freedom Acres – 1900 Liberty Avenue

Deputy Director Schmidt went over the final plat to the 2nd Addition to Freedom Acres. There would be 26 lots with one street, which is the extension of Freeman Drive. There is a stormwater pond that serves both the 2nd Addition of Freedom Acres and the 4th Addition to the Homes at Freedom Meadows. There are wetlands on the east side, which is why those lots are deeper and slightly larger.

Member Steiner brought up from the housing study the need for about 90 new units each year over the next few years. He suggested it would be helpful to keep a count of how many new units are being built throughout the years. Deputy Director Schmidt he has been keeping track the past few years but the challenge is the need for more land.

MSC Steiner/Andrews, the Plan Commission, to recommend the Common Council approve the Final Plat for the 2nd Addition to Freedom Acres subdivision. All voting aye. Motion passed.

Discussion Items:

a. Neenah Housing Study and Needs Assessment – Strategy Implementation

Deputy Director Schmidt went over the list he compiled from what the commission members had provided. The higher priority items to be looked at would be affordable multi-family housing, missing middle, ADUs, city-owned land inventory.

Member Hancock-Cooke asked about ADUs and if homeowners associations cannot permit them or if the city has any overarching authority. Deputy Director Schmidt stated the city does not have the authority to overrule any private covenants.

Member Steiner asked even within the municipal code; it is only the state that can override a private covenant. Deputy Director Schmidt stated yes.

Member Cuthbert asked if the ADU must be an outside structure or can it be inside a basement or home. Deputy Director Schmidt stated it can be either outside the home or inside the home.

Member Andrews brought up the item of vacant or dilapidated lots and that it could possibly go along with city-owned land and could have the same priority.

CONSENT
AGENDA

Plan Commission Minutes

May 13, 2025

Page 4

Announcements and Future Agenda Items: Next meeting is scheduled for May 27, 2025.

Adjournment: The Commission adjourned its meeting at 4:27 p.m. MSC Kaiser/Steiner. All voting Aye. Motion passed.

Respectfully Submitted,

A handwritten signature in cursive script that reads "Kayla Kubat".

Kayla Kubat

Administrative Assistant, Department of Community Development



M E M O R A N D U M

DATE: May 27, 2025
TO: Mayor Lang and Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: CSM #2-25 – 982 Byrd Avenue – Zero-Lot Line Duplex

Compassion Homes LLC proposes subdividing the existing lot located at 982 Byrd Avenue into two lots for the construction of a single-family attached (zero lot line) development. The subject property is zoned R-2, Two-Family Residence district which permits zero lot line development. A zero-lot line development allows the sale of each side of the duplex and each side of the duplex is on a separate parcel. Unlike condominium development, there is no shared/common space; each owner owns their parcel and their side of the duplex with a common lot line down the building.

The Zoning Code includes specific requirements for approving a zero-lot line development. From a land division standpoint, the proposed lots must meet area and width requirements. The minimum lot size is 3,600 square feet and the minimum lot width is 30 feet. The proposed CSM meets and exceeds these minimum requirements. In addition, the CSM must include a note stating the following: *"When single-family attached dwelling units are created, matters of mutual concern to the adjacent property owners due to construction, catastrophe, use, repair and maintenance shall be guarded against by private/restrictive covenants and deed restrictions, and no approving authority shall be held responsible for the enforcement of same."* The CSM does include the note. Finally, a copy of the restrictive covenants shall be submitted prior to final approval of the CSM. The restrictive covenants must address shared drive maintenance and use standards, maintenance and repair responsibilities for the building, and mediation process for setting disputes.

There are other requirements specific to the construction of zero-lot line developments including separate utilities to each lot and architectural standards for the construction of the building. Those items are reviewed separately and are not part of this review.

Recommendation

Appropriate action at this time is for Plan Commission to approve the proposed 2 Lot CSM at 982 Byrd Avenue subject to the CSM review letter.



City of Neenah Community Development
211 Walnut Street
Neenah WI 54956
Ph 920.886.6130

May 19, 2025

ANDY SHIE
FOX VALLEY LAND SURVEYING
4321 W. COLLEGE AVENUE
APPLETON, WI 54914

RE: CSM #2-25 - 982 Byrd Ave - Zero Lot Line Certified Survey Map Review () Status Approved

Dear ANDY SHIE:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment
bschmidt@neenahwi.gov
920-886-6126

Plan Review Comments

Inspections - Building Commercial - Kyle Pederson - 920-886-6131
kpederson@neenahwi.gov

Approved

Review Comments:

Planning - Brad Schmidt -
bschmidt@neenahwi.gov

Approved

Review Comments:

A. Include a City of Neenah City Clerk and City Treasurer certificate on the CSM.

B. Restrictive covenants shall be recorded at the county register of deeds, providing declarations and or bylaws similar to those typically recorded on a declaration of condominium.

1.If the driveway is shared, the maintenance and use standards for the shared driveway shall be part of said covenants.

2.Include a note that reads, "The parties hereto agree that the aesthetics of the units are important to the value of the building. Therefore, any subsequent repairs or maintenance performed by a unit owner to the exterior of their portion of the single-family attached dwelling shall use at a minimum materials similar with those materials already incorporated into the building if identical materials are not incorporated into the repair or maintenance project. Each party may agree in writing to change the original color of the building so long as the color change applies to each unit. No party may change the color of the building so that it is different than the other unit."

3.Said covenants shall provide for mediation of any and all disputes between owners of each dwelling unit and third party with regard to construction, use and maintenance of the real property.

4.Said covenants shall specifically state the City of Neenah and all approving authorities shall not be held responsible for same, and that said covenants shall insure to all heirs and assigns.

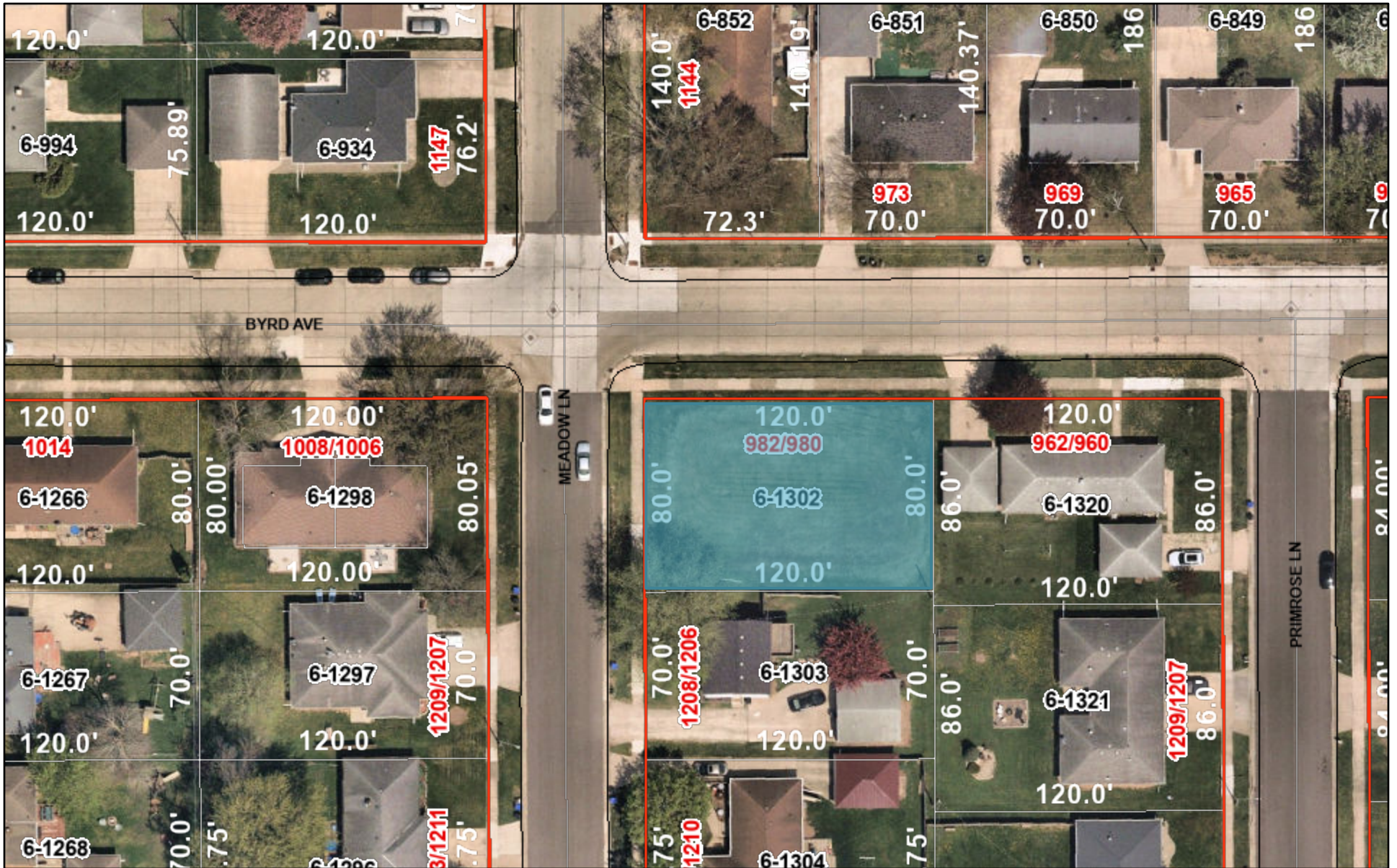
5.Proof of said recorded covenants or subsequently amended shall be submitted to the Community Development and Assessment Department.

Engineering - Heath Kummerow - 920-886-6245
hkummerow@neenahwi.gov

Approved

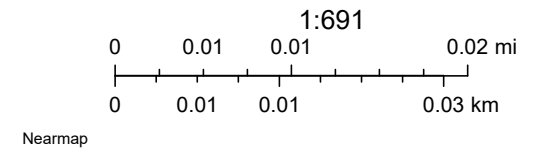
Review Comments:

Intranet GIS Web Map



5/19/2025, 10:36:06 AM

- Parcels, Winnebago County
- Street Centerline
- Right-Of-Way
- Municipal Boundary
- Pavement Edge



CERTIFIED SURVEY MAP

LOT 1 OF BLOCK 25 OF REPLAT OF PART OF BLOCK 24 AND
 BLOCK 25 - 6TH GREEN ACRES, IN SECTION 32, TOWNSHIP
 20 NORTH, RANGE 17 EAST, CITY OF NEENAH, WINNEBAGO
 COUNTY, WISCONSIN.

SURVEY FOR:
 COMPASSION HOMES
 1082 HONEYSUCKLE LANE
 NEENAH, WI 54956

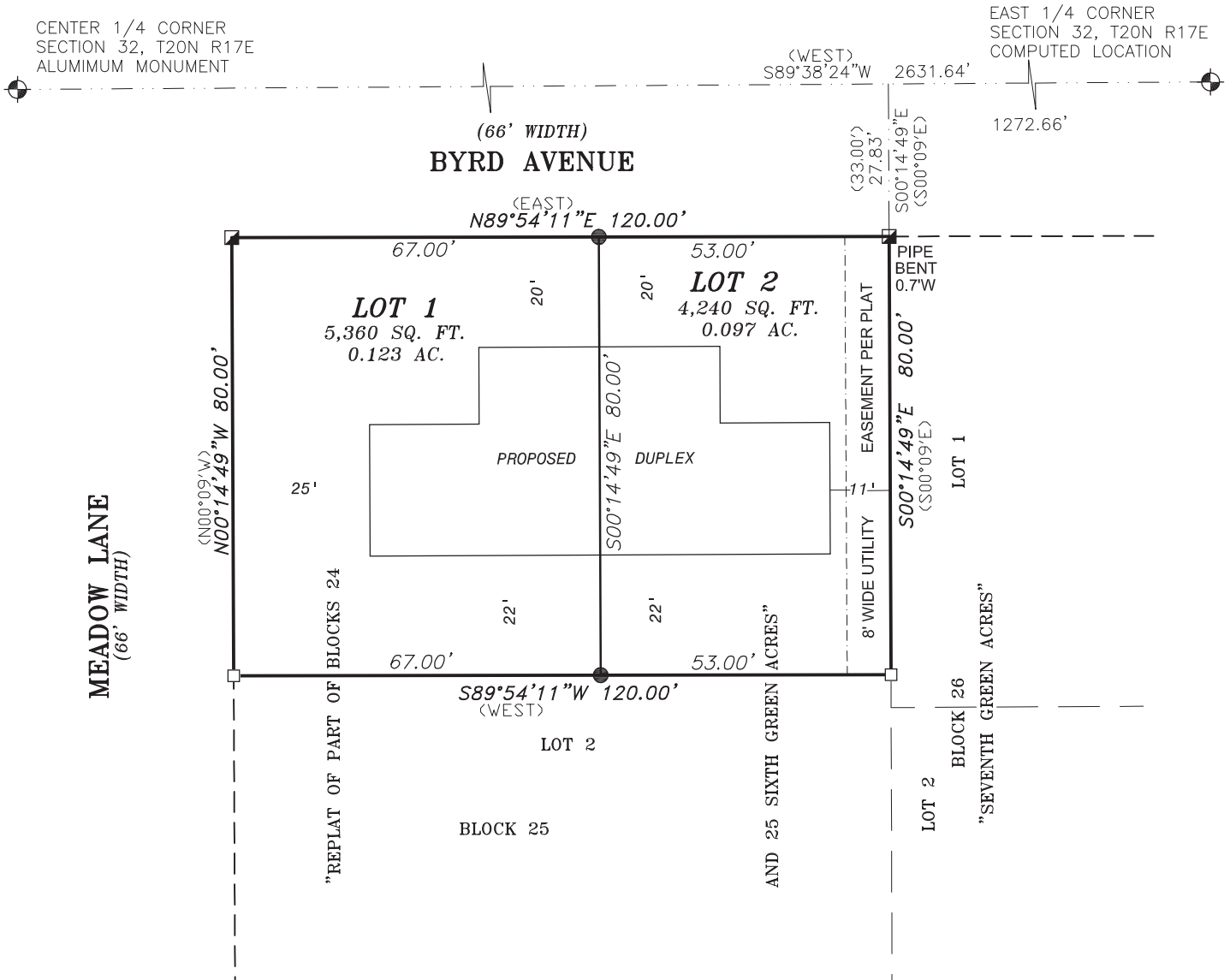
NOTE PER CITY OF NEENAH:
 -WHEN SINGLE-FAMILY ATTACHED DWELLING UNITS ARE CREATED,
 MATTERS OF MUTUAL CONCERN TO THE ADJACENT PROPERTY OWNERS
 DUE TO CONSTRUCTION, CATASTROPHE, USE, REPAIR, AND
 MAINTENANCE SHALL BE GUARDED AGAINST BY PRIVATE/RESTRICTIVE
 COVENANTS AND DEED RESTRICTIONS, AND NO APPROVING AUTHORITY
 SHALL BE HELD RESPONSIBLE FOR THE ENFORCEMENT OF SAME.

SURVEY IS OF TAX PARCEL
 80613020000



BEARINGS ARE REFERENCED TO THE
 WINNEBAGO COUNTY COORDINATE SYSTEM
 WITH THE NORTH LINE OF THE SE 1/4
 OF SECTION 32 BEARING S 89°38'24" W

Scale 1 inch = 30 feet



FOX VALLEY LAND SURVEYING

4321 W. College Ave., Suite 200
 Appleton, WI 54914
 920-474-5025

PROJECT NO. 201732-3
 SHEET 1 OF 2

LEGEND

- 5/8" SOLID ROUND REBAR SET - 18" LONG,
WEIGHING 1.02 LBS./LIN. FT.
- 1-1/4" O.D. IRON PIPE FOUND
- ▣ 2-1/2" O.D. IRON PIPE FOUND
- ⊕ GOVERNMENT CORNER
- () RECORDED AS



M E M O R A N D U M

DATE: May 27, 2025
TO: Mayor Lang and Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: CSM #3-25 – 2455 Schultz Drive – Two Lot CSM

Neenah Door Properties LLC and American Colloid Company are proposing a CSM to subdivide 2455 Schultz Drive into two lots. The purpose of the CSM is to transfer ownership of a small piece of land (0.53 acres) from Neenah Door Properties to American Colloid company due to American Colloid's encroachment onto 2455 Schultz Drive. American Colloid operates a manufacturing facility south of proposed Outlot 1 in the Town of Neenah. The new lot is identified as an outlot since it has no access to a public street and no ability for it to be further developed.

Recommendation

Appropriate action at this time is for Plan Commission to approve the proposed 2 Lot CSM at 2455 Schultz Drive subject to the CSM review letter.



City of Neenah Community Development
211 Walnut Street
Neenah WI 54956
Ph 920.886.6130

May 16, 2025

MIKE ROUBAL
MARTENSON AND EISELE
1377 MIDWAY ROAD
MENASHA, WI 54952

RE: CSM #3-25 -2455 Schultz Dr - 2 Lot CSM Certified Survey Map Review () Status Approved

Dear MIKE ROUBAL:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment
bschmidt@neenahwi.gov
920-886-6126

Plan Review Comments

Planning - Brad Schmidt -
bschmidt@neenahwi.gov

Approved

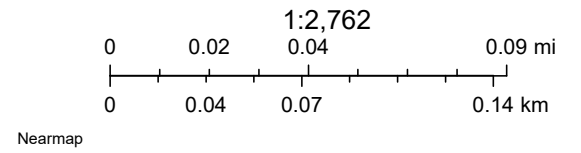
Review Comments:

Intranet GIS Web Map



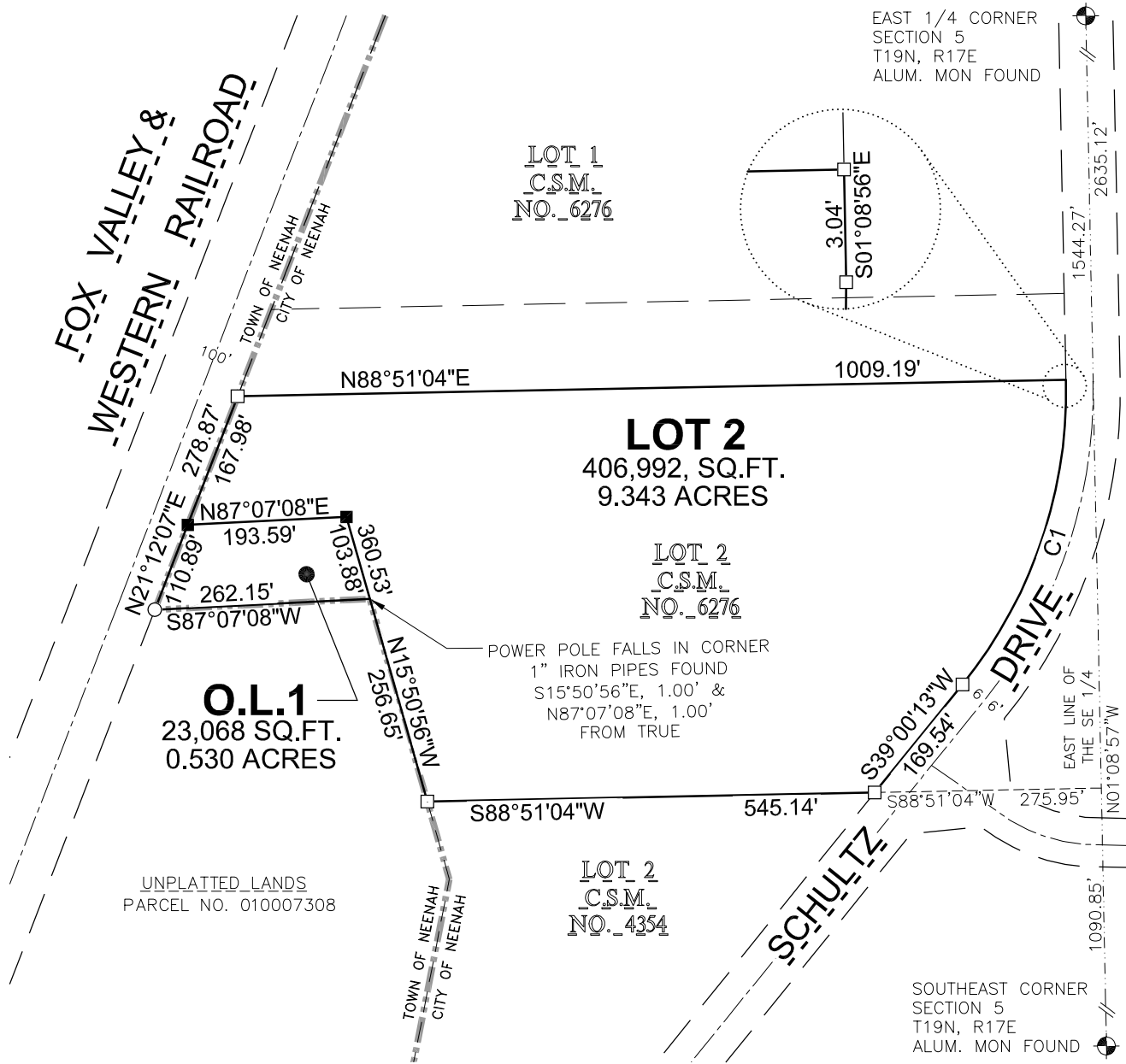
5/19/2025, 10:58:59 AM

- Parcels, Winnebago County
- Right-Of-Way
- Railroad
- Pavement Edge
- Street Centerline
- Municipal Boundary



CERTIFIED SURVEY MAP NO. _____

LOT 2, CERTIFIED SURVEY MAP NO. 6276 RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS ON PAGE 6276, AS DOCUMENT NO.1481001, BEING PART OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 AND THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 5, TOWNSHIP 19 NORTH, RANGE 17 EAST, CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN.

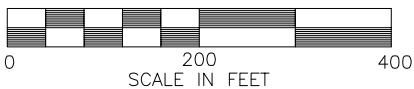


CURVE	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD
1	567.00'	040°09'10"	397.25'	S18°55'38"W (S17°53'22"W)	389.27'



BEARINGS ARE REFERENCED TO THE WINNEBAGO COUNTY COORDINATE SYSTEM IN WHICH THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 5 BEARS N01°08'57"W

1" = 200'



LEGEND

- 1" O.D. IRON PIPE SET, 18" LONG, WEIGHING 1.130 LBS. PER LIN. FOOT
- 1" O.D. IRON PIPE FOUND
- 3/4" REBAR FOUND
- ⊕ GOVERNMENT MONUMENT
- () RECORDED AS

Martenson & Eisele, Inc.



1377 Midway Road
Menasha, WI 54952
www.martenson-eisele.com
info@martenson-eisele.com
920.731.0381 1.800.236.0381

Planning
Environmental
Surveying
Engineering
Architecture

SURVEY FOR
AMERICAN COLLOID COMPANY
901 ACCO AVE
NEENAH WI 54956

PROJECT NO. 1-2025-001
FILE 1-2025-001csm.dwg SHEET 1 OF 2
THIS INSTRUMENT WAS DRAFTED BY: L.LUCHT



M E M O R A N D U M

DATE: May 27, 2025
TO: Mayor Lang and Plan Commission
FROM: Brad Schmidt, Deputy Director of Community Development
RE: Site Plan Review – 2111 Marathon Avenue – Police Department Shed

Request

The City of Neenah Police Department has submitted a site plan to construct a 2,855 square-foot accessory building southwest of the existing police station located at 2111 Marathon Avenue.

Location

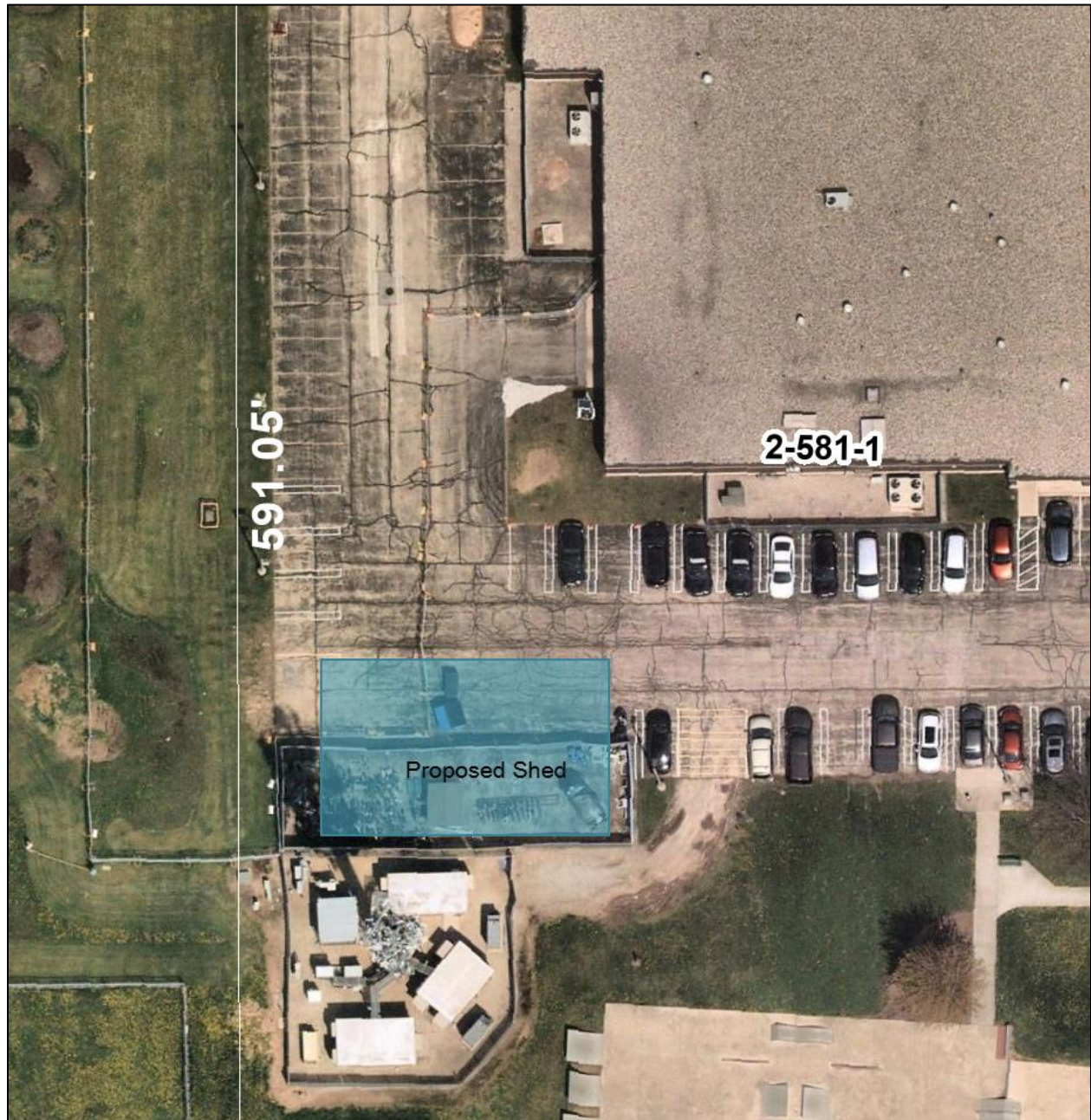
The subject property is located along the southwest corner of Marathon Avenue and Byrd Avenue. The property is 4.06 acres in area and currently includes the police station building, off-street parking and green space south of the building.

Surrounding Property

The subject property is zoned R-1, Single-Family Residence district. Land north and east is zoned C-1, General Commercial district and includes the Boys and Girls Club to the north and multi-family residences to the east. Land to the south includes single-family and two-family uses and land to the west includes the City's dog park and community gardens.

Proposed Accessory Building

The proposed accessory building is 2,855 square feet in area and has a wall height of about 15 feet. The building is intended to be used as a storage for police trailers and other police equipment. The building includes five overhead doors on the north side of the building. The building is located within the footprint of the current location of the outdoor storage area. The building is setback 30 feet from the west (side) property line and about 42 feet from the police station building. An area west of the building will be paved and fenced for additional outdoor storage. The dumpster enclosure is proposed to be relocated slightly north of its existing location along the west property line.



Recommendation

At this time the Community Development Department recommends the Plan Commission approve the site plan to construct an accessory building located at 2111 Marathon Avenue subject to the site plan approval letter.



City of Neenah Community Development
211 Walnut Street
Neenah WI 54956
Ph 920.886.6130

May 19, 2025

MICHAEL LEIDIG
ROBERT E LEE AND ASSOCIATES
1250 CENTENNIAL CENTRE BLVD
HOBART, WI 54155

RE: Site Plan #7-25 - 2111 Marathon Avenue - Police Station Shed Site Plan - Minor Review () Status Approved

Dear MICHAEL LEIDIG:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment
bschmidt@neenahwi.gov
920-886-6126

Plan Review Comments

**Planning - Brad Schmidt -
bschmidt@neenahwi.gov**

Approved

Review Comments:

1. Prior to construction a building permit is required. Please contact the Community Development Department at 886-6131.
2. The proposed dumpster enclosure area shall be screened with a minimum 6-foot high, sight-tight fence.
3. Verify access easements to the cell tower are being met. It appears off-street parking stalls are located in the area which previously provided access to the cell tower.

**Inspections - Building Commercial - Kyle Pederson - 920-886-6131
kpederson@neenahwi.gov**

Approved

Review Comments:

**Public Works - Gerry Kaiser -
gkaiser@neenahwi.gov**

Approved

Review Comments:

OWNER INFORMATION:

NEENAH POLICE DEPARTMENT
2111 MARATHON AVE.
NEENAH, WI 54956

920-886-6000

CONTACT: AARON OLSON

CONTRACTOR INFORMATION:

BAYLAND BUILDINGS, INC.
PO BOX 13571
GREEN BAY, WI 54307-3571

920-498-3900

CONTACT: DAVE O'BRIEN

BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.
NO.	DESCRIPTION	EL.
50	BURY TAG ON HYDRANT	755.88
51	CUT SQUARE IN CONCRETE LIGHT POLE	757.31
52	CUT SQUARE IN CONCRETE LIGHT POLE	757.25

DEMOLITION NOTES

- EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
- EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
- ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.
- DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB OPENINGS SHALL BE CLOSED IN ACCORDANCE WITH STANDARD DETAIL "CURB REMOVAL", SEE DETAIL SHEETS.

UTILITY INFORMATION:

UTILITIES PRESENT:
CITY OF NEENAH DEPARTMENT OF PUBLIC WORKS,
WISCONSIN PUBLIC SERVICE CORP., AT & T, TDS METROCOM,
NET LEC, AND WINNEBAGO COUNTY.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKETS NUMBERED 20251704479 AND 20251704490, BOTH DATED 04/21/2025 AND 05/01/2025, VISIBLE OBSERVATION AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE.

TELECOMMUNICATIONS:
NET LEC / NSIGHT / CELLCOM
C/O MI TECH SERVICES
221 W. WASHINGTON ST.
APPLETON, WI 54911

(920) 739-7659

TELECOMMUNICATIONS:
AT & T / SBC
221 W. WASHINGTON ST.
APPLETON, WI 54911

(920) 221-5969

GAS & ELECTRIC:
WE ENERGIES
800 S. LYNNDALE DR.
APPLETON, WI 54914

(800) 242-9137

WATER/SANITARY/STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
CITY OF NEENAH
211 WALNUT ST.
NEENAH, WI 54956

(920) 886-6130

TELECOMMUNICATIONS:
TDS METROCOM / TDS TELECOM
1029 W. MASON ST.
GREEN BAY, WI 54303

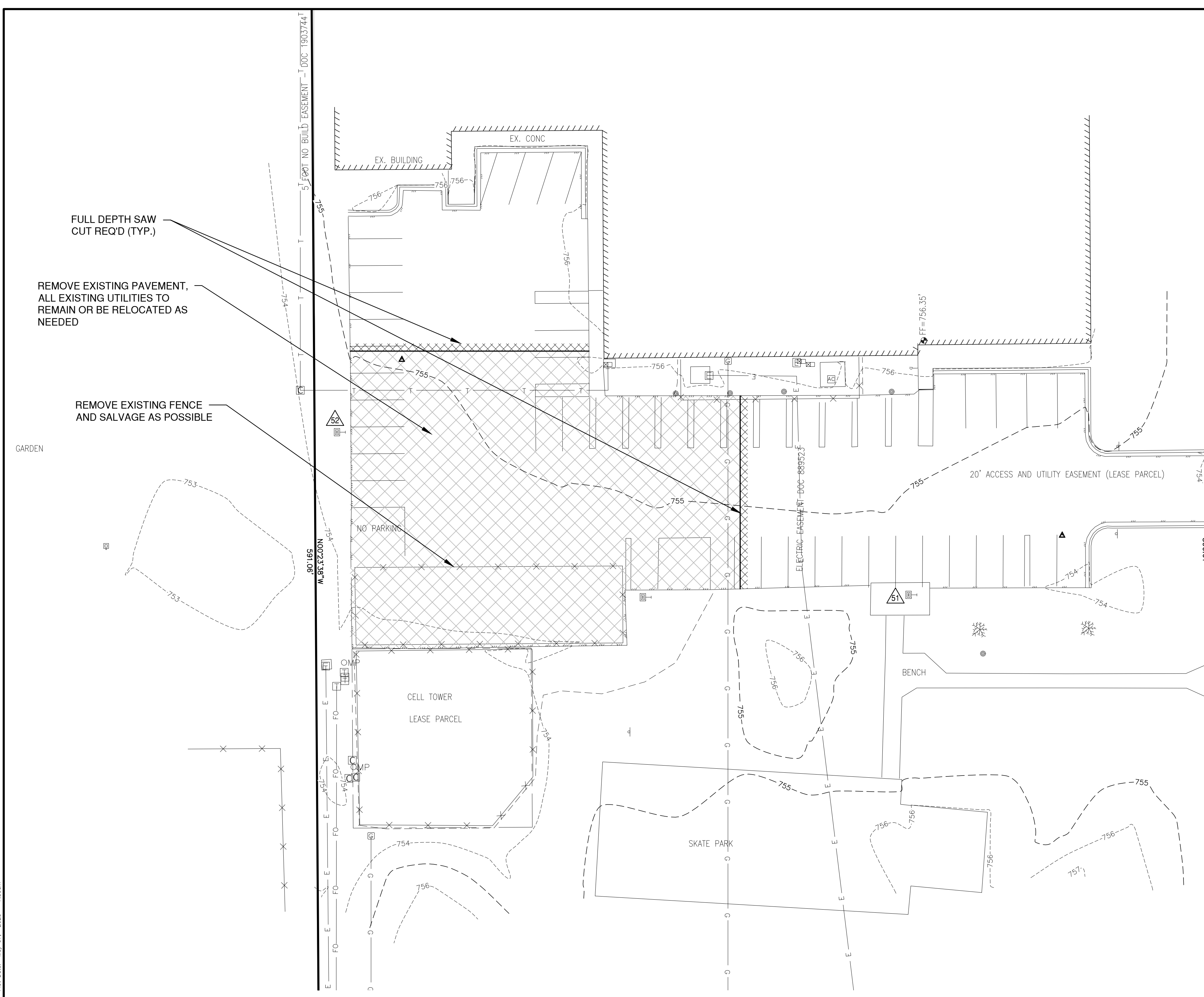
(920)884-3340

TELECOMMUNICATIONS:
SPECTRUM / TIME WARNER / CHARTER
12405 POWERSCOURT DR.
ST. LOUIS MO 63131

(262) 446-9821

WATER/SANITARY/STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
WINNEBAGO COUNTY
901 W. COUNTY ROAD Y
OSHKOSH, WI 54901

(920) 727-8640



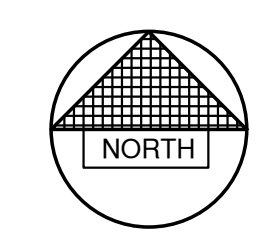
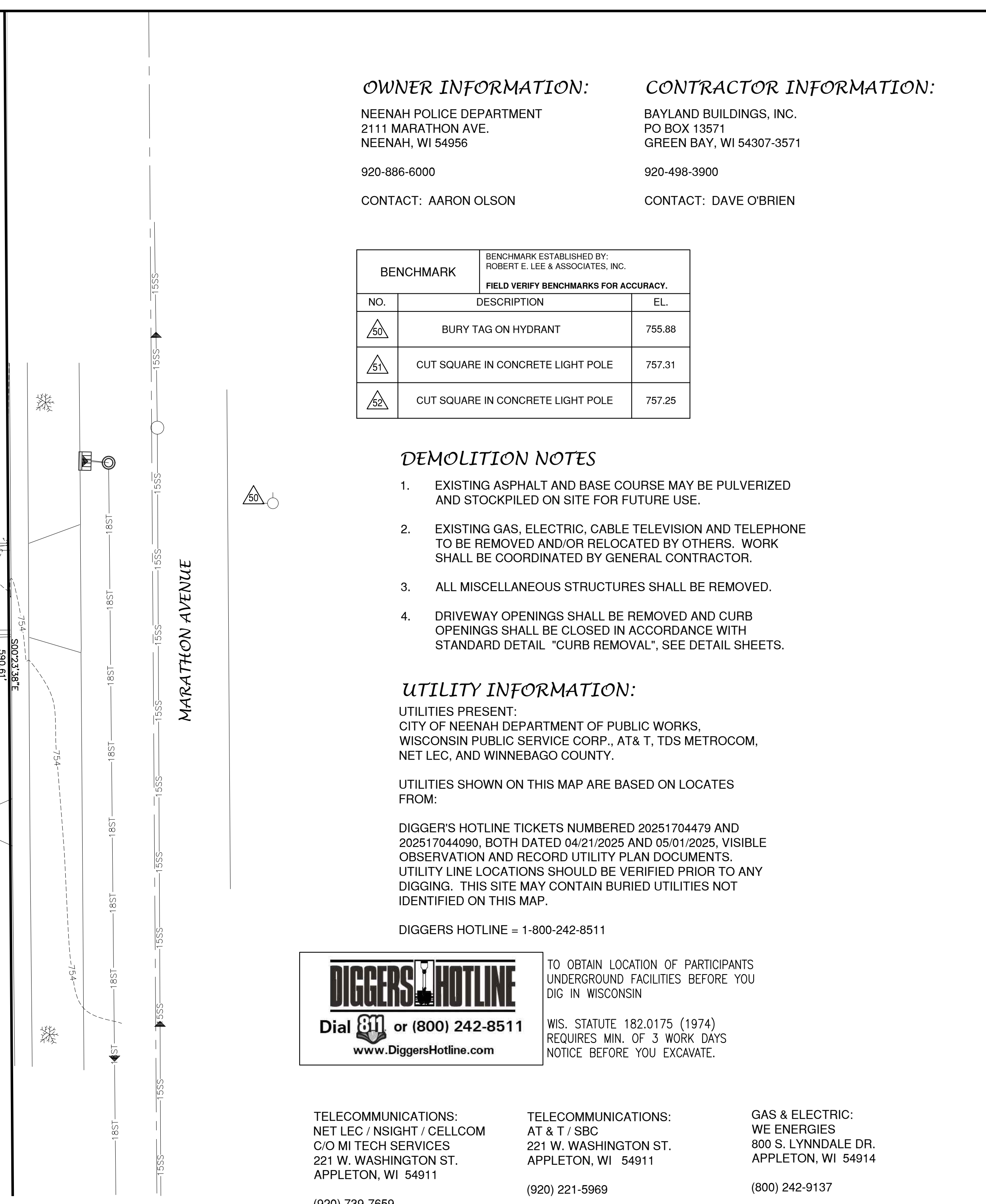
FULL DEPTH SAW CUT REQD (TYP.)

REMOVE EXISTING PAVEMENT, ALL EXISTING UTILITIES TO REMAIN OR BE RELOCATED AS NEEDED

REMOVE EXISTING FENCE AND SALVAGE AS POSSIBLE

LEGEND

- | | | | |
|--|---|---|---|
| <ul style="list-style-type: none"> ○ FIRE HYDRANT ⊗ WATER VALVE/CURB STOP ▽ REDUCER/INCREASER ○ SANITARY MANHOLE ⊙ STORM MANHOLE ⊕ OPEN STORM MANHOLE ⊖ STORM INLET ⊗ STORM INLET MANHOLE ⊕ SOIL BORING ■ POST ● IRON PIPE/ROD ▲ PK NAIL | <ul style="list-style-type: none"> ⊕ POWER POLE ⊕ POWER POLE W/GUY WIRE ⊕ LIGHT POLE ⊕ ELECTRIC METER ⊕ TELEPHONE PEDESTAL ⊕ CABLE TV PEDESTAL ⊕ GAS VALVE ⊕ GAS METER ⊕ MAILBOX ⊕ SIGN ⊕ BOLLARD ○ DECIDUOUS TREE ○ CONIFEROUS TREE ○ BUSH | <ul style="list-style-type: none"> — 8SS — SANITARY SEWER (SIZE NOTED) — 4FM — FORCEMAIN (SIZE NOTED) — 10ST — STORM SEWER (SIZE NOTED) — 6W — 6W — WATERMAIN (SIZE NOTED) — G — GAS LINE — OT — OVERHEAD TELEPHONE LINE — T — UNDERGROUND TELEPHONE LINE — OE — OVERHEAD ELECTRIC LINE — E — UNDERGROUND ELECTRIC LINE — — EDGE OF ASPHALT — — EDGE OF GRAVEL — — TREE/BRUSH LINE — 750 — CONTOUR LINE — X — FENCE | <ul style="list-style-type: none"> — OTV — OVERHEAD CABLE TV LINE — TV — CABLE TV LINE — FO — FIBER OPTIC LINE — — R/W LINE — — PROPERTY LINE — — EASEMENT LINE — — BUILDING SETBACK LINE — — SECTION LINE ○ RIP RAP — — CULVERT ⊕ WETLANDS ○ HANDICAP PARKING ✕ TO BE REMOVED ⊕ TO BE DEMOLISHED |
|--|---|---|---|



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

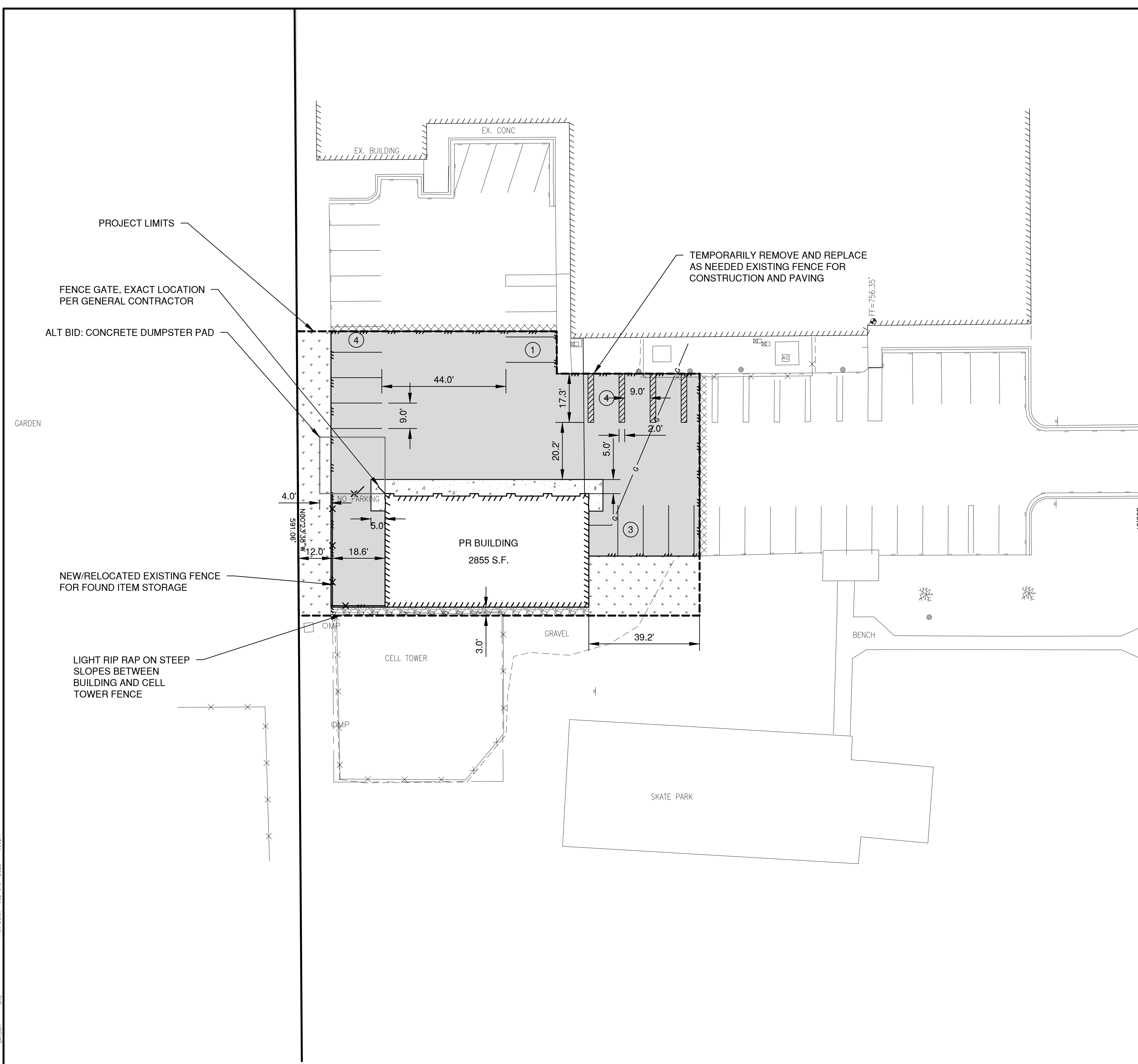
NEENAH POLICE DEPARTMENT IMPROVEMENTS
FOR BAYLAND BUILDING, INC.
CITY OF NEENAH
WINNEBAGO COUNTY, WISCONSIN

EXISTING SITE CONDITIONS AND DEMO PLAN

DATE	04/20/25
FILE	2035561T
JOB NO.	2035561

SHEET NO.
1

File: C:\Users\jlee\OneDrive\Temp\Map\Map_361761_20355610.dwg
 Plot Date: May 07, 2025 4:00pm
 SITE
 LAYOUT



- LEGEND**
- LIGHT RIP RAP (274 S.F.)
 - CONCRETE PAVEMENT (521 S.F.)
 - ASPHALT PAVEMENT (7,916 S.F.)
 - GREEN SPACE
 - TRAFFIC FLOW ARROW
 - SIGN
 - WALL PACK
 - INDICATES NUMBER OF PARKING STALLS

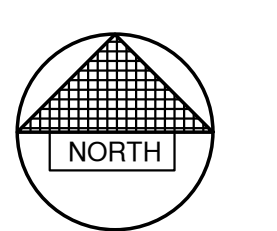
SITE DATA (PROJECT LIMIT ONLY)
 TOTAL AREA = 0.31 ACRES, 13,579 S.F.
 BUILDING AREA = 0.07 ACRES, 2,855 S.F. (21.0%)
 SIDEWALK/PARKING LOT AREA = 0.19 ACRES, 8,438 S.F. (64.1%)
 GREEN SPACE = 0.05 ACRES, 2,286 S.F. (14.9%)

ZONING
 R-1

PARCEL NO.
 80205810100

PARKING DATA (AREA SHOWN ON PLAN)
 TOTAL EXISTING PARKING STALLS = 49
 TOTAL PROPOSED PARKING STALLS = 45

NOTE
 ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN MPNB	CHECKED	DESIGNED MFL

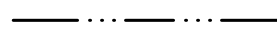
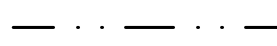




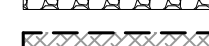

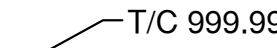
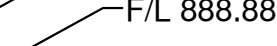
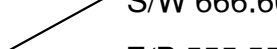
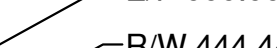
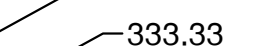

**NEENAH POLICE DEPARTMENT IMPROVEMENTS
 FOR BAYLAND BUILDING, INC.
 CITY OF NEENAH
 WINNEBAGO COUNTY, WISCONSIN**

SITE PLAN

DATE 04/20/25	FILE 2035561D
JOB NO. 2035561	

REL Robert E. Lee & Associates, Inc.
1250 Centennial Centre Blvd | Hobart, WI | 920-662-9641 | releinc.com

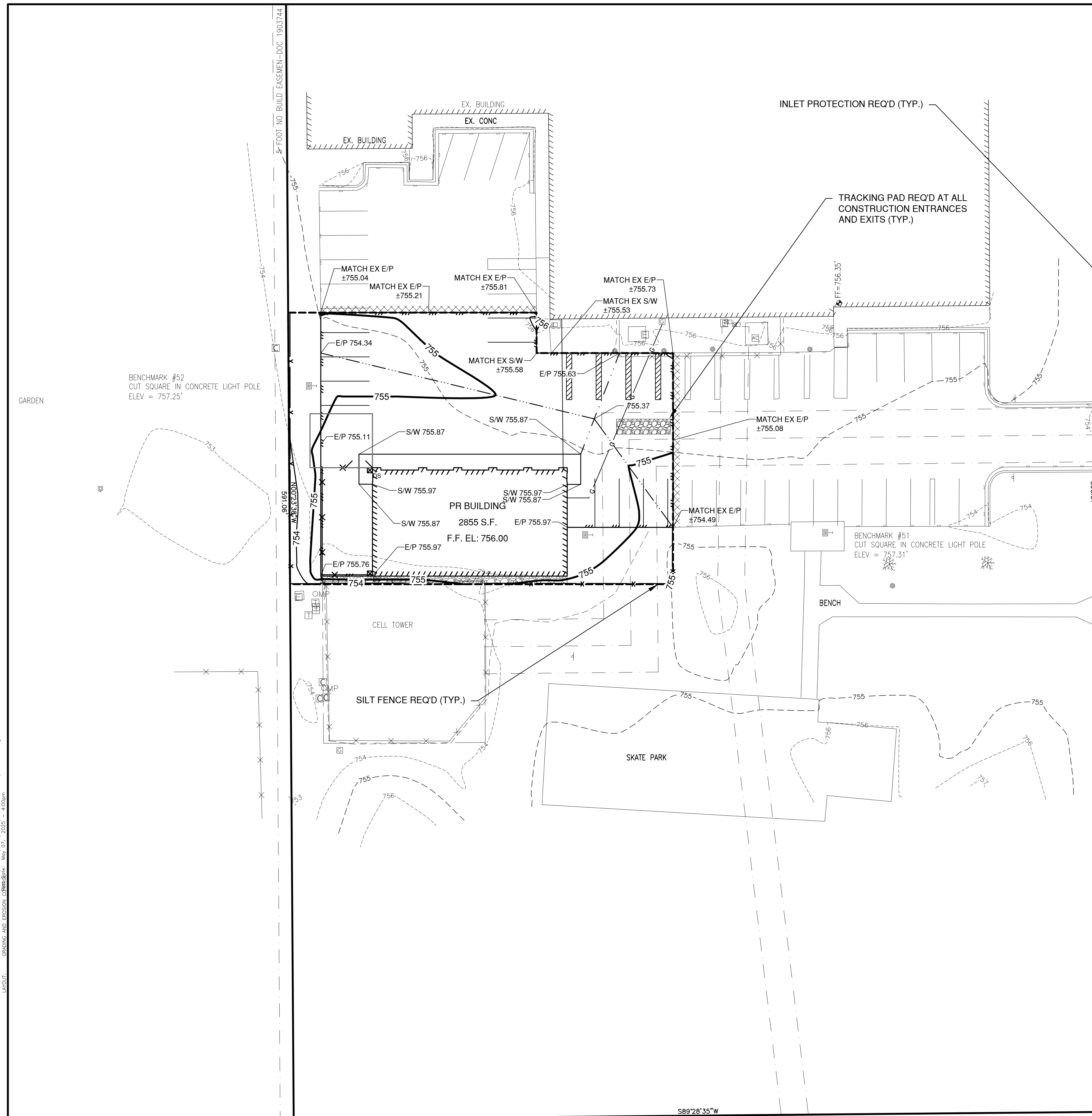
LEGEND

-  DRAINAGE SWALE
-  DRAINAGE DIVIDE
-  FLOW ARROW
-  SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
-  DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
-  TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
-  EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
-  INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)
-  T/C 999.99 TOP OF CURB ELEVATION
-  F/L 888.88 FLOW LINE ELEVATION
-  S/W 666.66 TOP OF SIDEWALK ELEVATION
-  E/P 555.55 EDGE OF PAVEMENT ELEVATION
-  R/W 444.44 TOP OF RETAINING WALL ELEVATION
-  333.33 GROUND ELEVATION

EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.



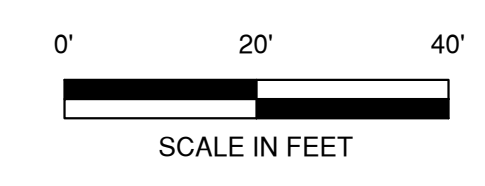
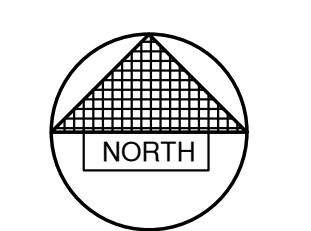
MARATHON AVENUE

BENCHMARK #50
BURY TAG ON HYDRANT
ELEV = 755.81'

BENCHMARK #51
CUT SQUARE IN CONCRETE LIGHT POLE
ELEV = 757.31'

BENCHMARK #52
CUT SQUARE IN CONCRETE LIGHT POLE
ELEV = 757.25'

S89°28'35"W
299.98'



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

NEENAH POLICE DEPARTMENT IMPROVEMENTS
FOR BAYLAND BUILDING, INC.
CITY OF NEENAH
WINNEBAGO COUNTY, WISCONSIN

GRADING AND EROSION CONTROL PLAN

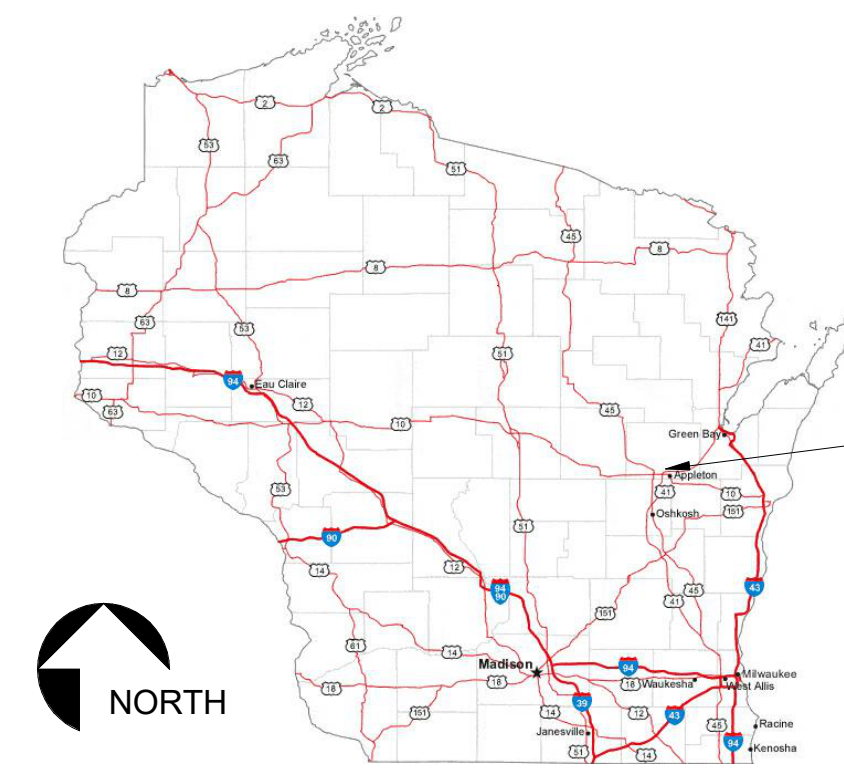
DATE
04/20/25
FILE
2035561D
JOB NO.
2035561



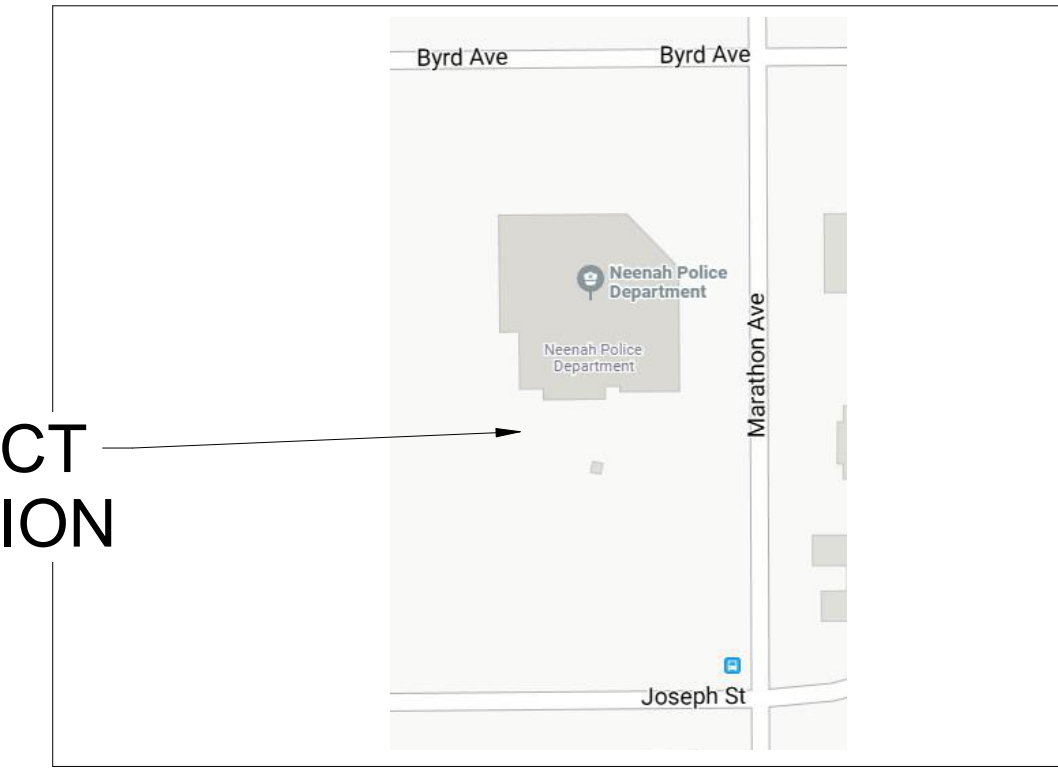
SHEET NO.
4

PROPOSED PROJECT FOR: NEENAH PD STORAGE BLDG NEENAH, WI

PROJECT LOCATION MAP



ENLARGED MAP



PROJECT LOCATION



BAYLAND BUILDINGS

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DESIGN & BUILD GENERAL CONTRACTOR

**PARTNERING
LOGO IMAGE**

PROJECT PERSPECTIVE (NTS) - FOR CONCEPTUAL PROPOSES ONLY!
REFERENCE FLOOR PLANS, ELEVATIONS, SECTIONS, ETC. FOR MORE INFORMATION

SHEET INDEX

NUMBER	SHEET NAME / DESCRIPTION	LATEST SHEET REVISION		
		DATE	ISSUED BY	NUMBER
001	TITLE			
T1.0	TITLE SHEET			
002	CIVIL			
C1.0	SITE PLAN			
004	ARCHITECTURAL			
A0.1	PLAN NOTES			
A1.0	FLOOR PLAN - PROPOSED			
A2.0	ELEVATION - EXTERIOR			
A3.0	SECTIONS - BUILDING			
A3.1	SECTIONS - BUILDING			
A6.0	SCHEDULES - DOOR / WINDOW			
A6.1	ROOM FINISH PLAN - PROPOSED			
A7.0	ROOF PLAN - PROPOSED			
005	STRUCTURAL			
S0.1	STRUCTURAL DESIGN CRITERIA			
S1.0	FOUNDATION PLAN - PROPOSED			
S3.0	FRAMING PLAN - OVERALL			
S3.1	STRUCTURAL POST FRAME DETAILS			
S3.2	STRUCTURAL POST FRAME DETAILS			

PROJECT INFORMATION

OWNER:

City of Neenah
2111 Marathon Ave
Neenah, WI 54956
Contact: Aeron Olson
Tenant: Neenah PD Storage

PROJECT LOCATION:

2111 Marathon Ave
Neenah, WI 54956
City of Neenah
County of Winnebago

ARCHITECTURAL DATA:

Building Code(s): IBC 2015
WEBC SPS 361-366
Scope of work: New construction
Building Use: Storage
No storage of hazardous material.
S-1 Storage
Occupancy Group: Type VB
Type of Construction: Unoccupied

FIRE PROTECTION SYSTEM:

Building is not protected by an automatic fire sprinkler system.

BUILDING AREAS:

Area, sq ft 2,880

ALLOWABLE AREA CALCULATIONS:

Allowable area determined by IBC 508.3
Nonseparated occupancies.
Area Modification IBC 506:
Tabulated area, Tbl 506.2: 9000
P = building perimeter, ft: 224
F = total open frontage, ft: 112
W = width of open space, ft: 30
If = frontage = (F/P) * 25 / 30: 0.25
Allowed Modified Area, sq ft: 11250 = 9000 + (0.25 x 9000)
Area check: 2880 < 11250 ~OK

ALLOWABLE HEIGHT & STORIES:

Allowable Height, ft: 40
Allowable story(s): 1

STRUCTURAL DATA:

Ref: ASCE/SEI 7-16, 2015 IBC Ch 16, WI DSPS 362

Roof

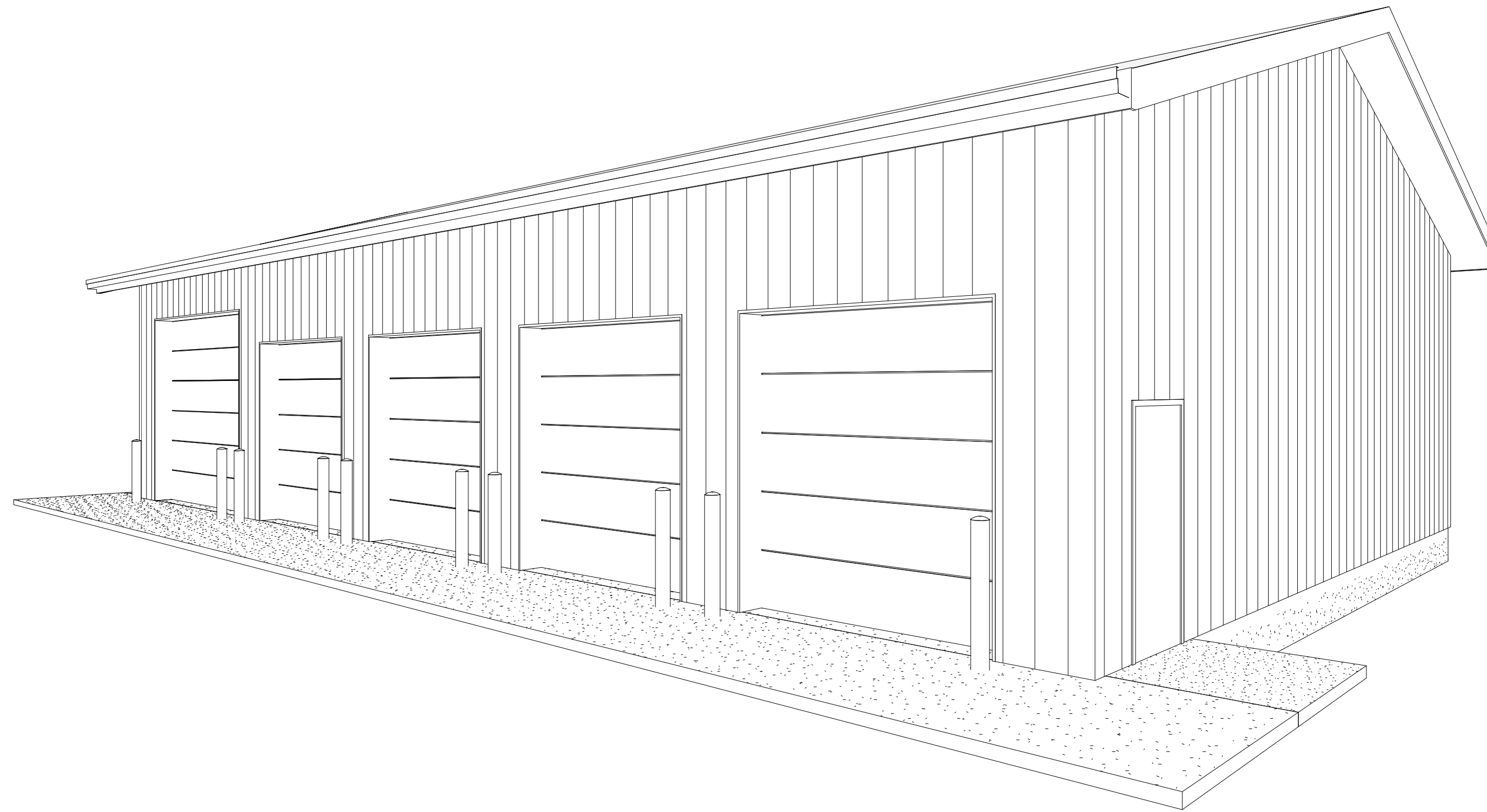
Snow
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Ground Snow Load psf, pg 40
Roof Slope Factor, Cs 0.9
Exposure Factor, Ce 0.9
Thermal Factor, Ct 1.1
Importance Factor, I 1.0
Sloped Snow Load, psf 24
Unbalanced Snow, psf 24
Roof Dead, psf 3
Bottom Chord Dead, psf 3
Bottom Chord Live 2

Wind

Ultimate Wind, mph, Vult 115
Risk Category II
Exposure Category C
MWERS Vel. Pressure, psf 16
Component Vel. Press., psf 19

Seismic

Spectral response, SDS: 0.10
Spectral response, SD1: 0.06
Seismic use group category: Group I
Site class: D
Seismic design category: A
Seismic Base Shear, lbs 230
Soils
Presumed Bearing, psf: 2000
Presumed Lateral, psfft: 200



**PROPOSED PROJECT FOR:
NEENAH PD
STORAGE BLDG
NEENAH, WI; COUNTY OF: WINNEBAGO**

SCALE VERIFICATION

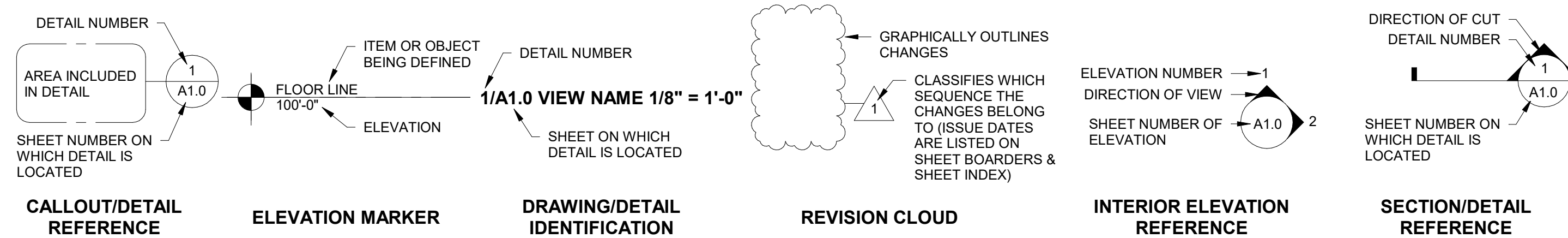
THIS BAR MEASURES 1" ON ORIGINAL
ADJUST SCALE ACCORDINGLY

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COMPENSATION TO BAYLAND BUILDINGS, INC.

JOB NUMBER:	25-6057
PROJECT EXECUTIVE:	MITCH BEILFUSS (920) 290-4104
DRAWN BY:	DPO
DATE:	5/2/25

Revision Schedule		
Rev. No.	Revision Description	Rev. Date

SYMBOLS LEGEND



ISSUED FOR: CHECKED DATE: BY:

- PRELIMINARY
- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

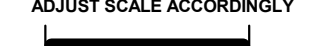
TITLE SHEET

T1.0

PROPOSED BUILDING FOR:
NEENAH PD STORAGE BLDG
NEENAH, WI; COUNTY OF: WINNEBAGO

SCALE VERIFICATION

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JOB NUMBER: 25-6057

PROJECT EXECUTIVE: MITCH BEILFUSS
(920) 290-4104

DRAWN BY: DPO

DATE: 5/2/25

REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

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- BID SET
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- CONSTRUCTION

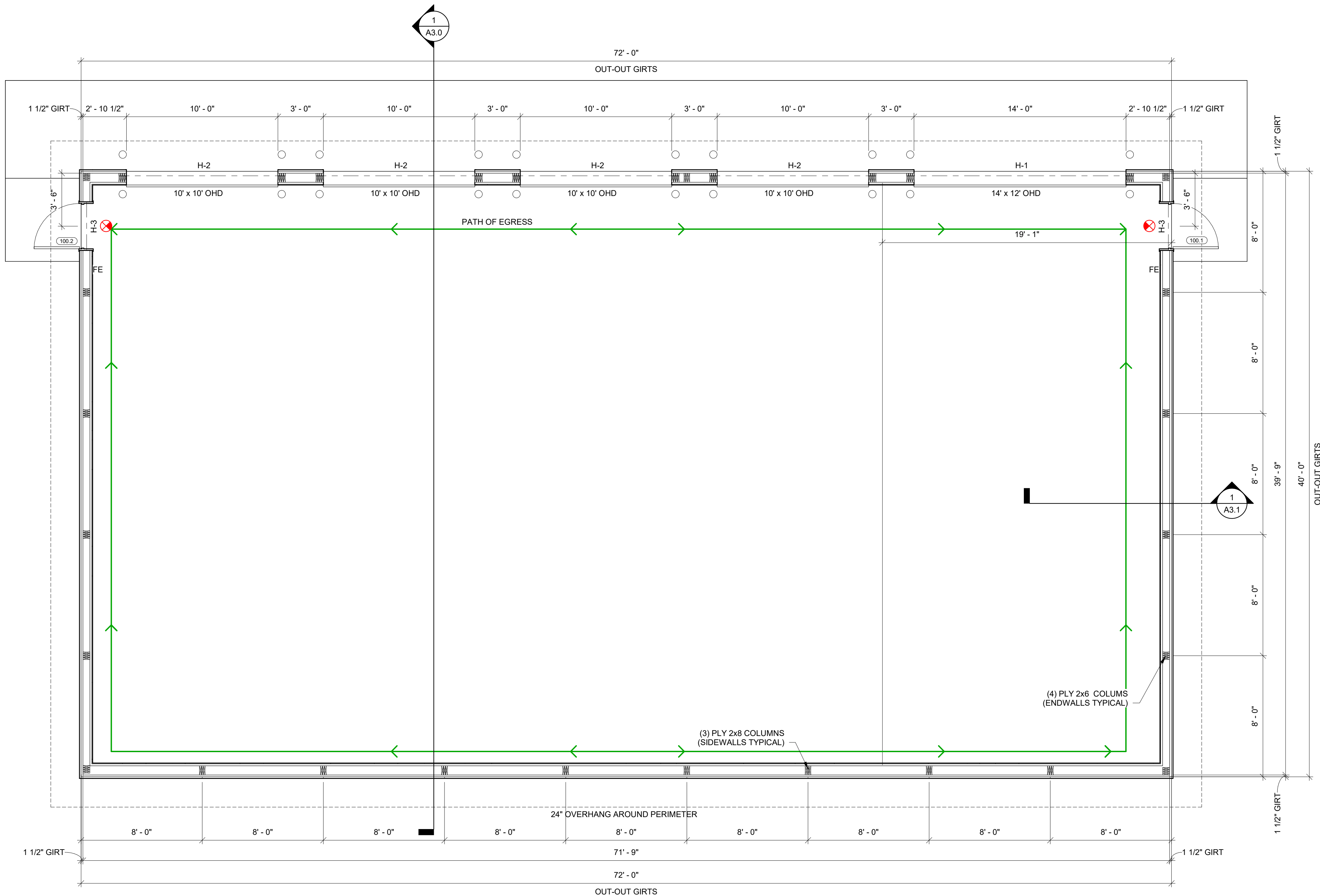
FLOOR PLAN - PROPOSED

FLOOR PLAN - PROPOSED

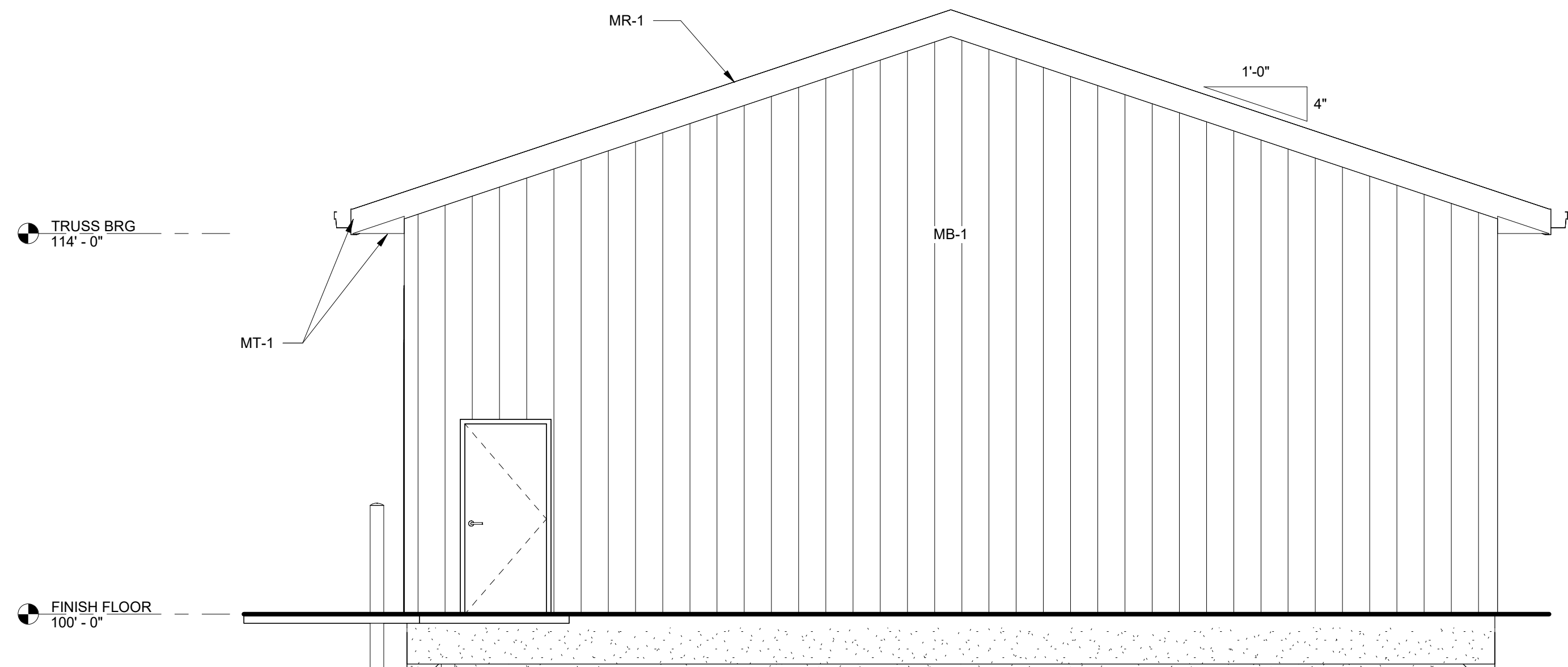
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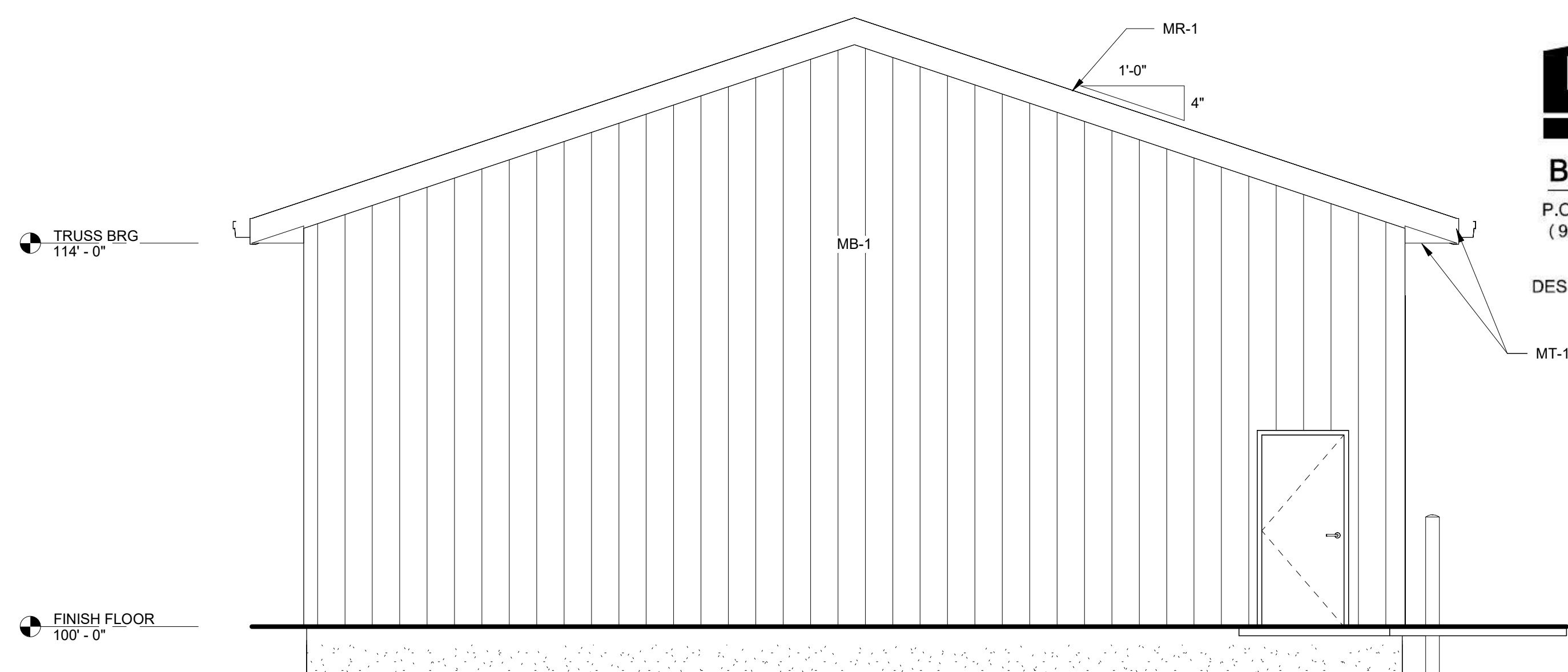
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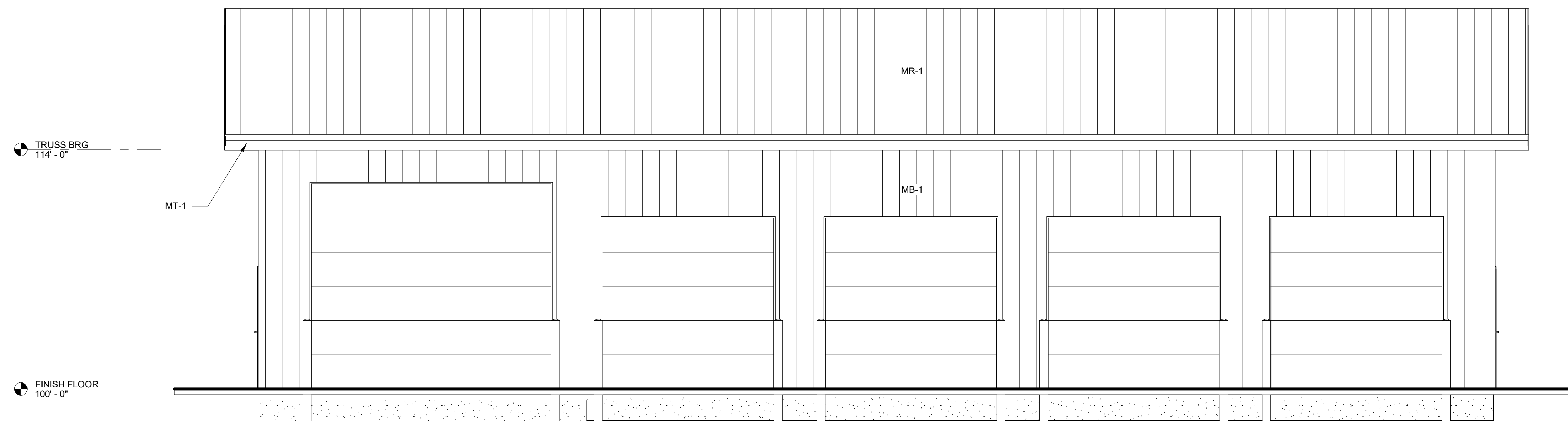
5/5/2025 2:40:00 PM



BUILDING ELEVATION - EAST
1 /A2.0 SCALE = 1/4" = 1'-0"



BUILDING ELEVATION - WEST
2 /A2.0 SCALE = 1/4" = 1'-0"



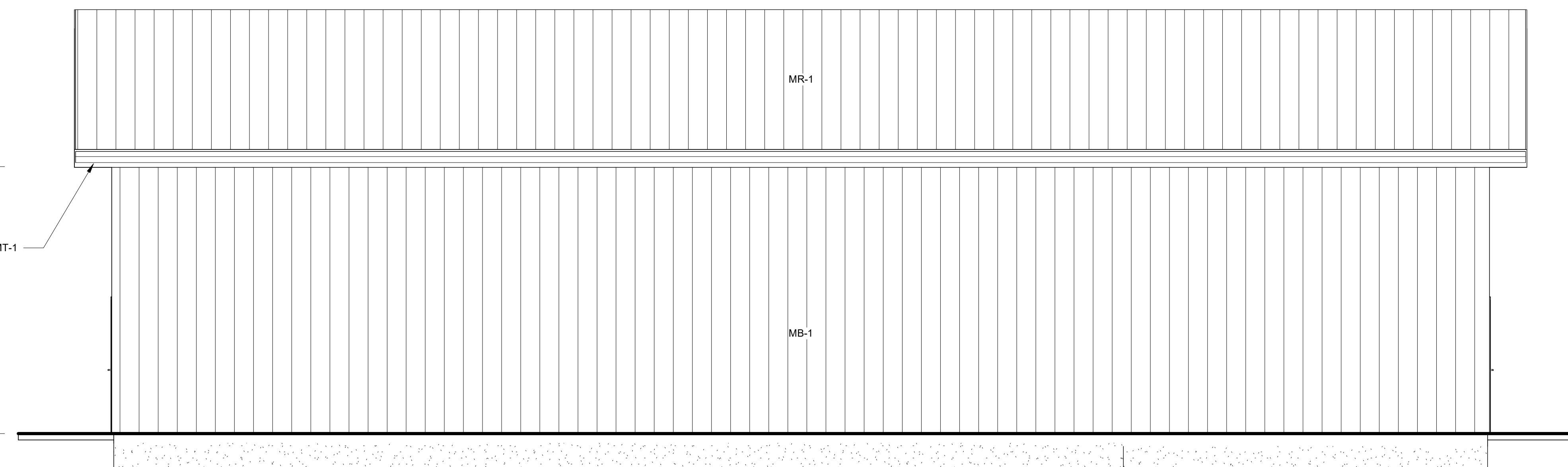
BUILDING ELEVATION - NORTH
3 /A2.0 SCALE = 1/4" = 1'-0"

EXTERIOR FINISH LEGEND

MARK	DESCRIPTION
MT-1	LOCATION: FASCIA TRIMS & SOFFITS MATERIAL: VERIFY SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MB-1	LOCATION: WALL PANEL MATERIAL: 29GA SEMI-CONCEALED SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:
MR-1	LOCATION: ROOF PANEL MATERIAL: 29GA GALVALUME SUPPLIER: VERIFY COLOR: VERIFY COMMENTS:

EXTERIOR FINISH LEGEND

SCALE = 1/4" = 1'-0"



BUILDING ELEVATION - SOUTH
4 /A2.0 SCALE = 1/4" = 1'-0"

PROPOSED BUILDING FOR:
NEENAH PD STORAGE BLDG
NEENAH, WI; COUNTY OF: WINNEBAGO

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JOB NUMBER: 25-6057

PROJECT EXECUTIVE: MITCH BEILFUSS
(920) 290-4104

DRAWN BY: DPO

DATE: 5/2/25

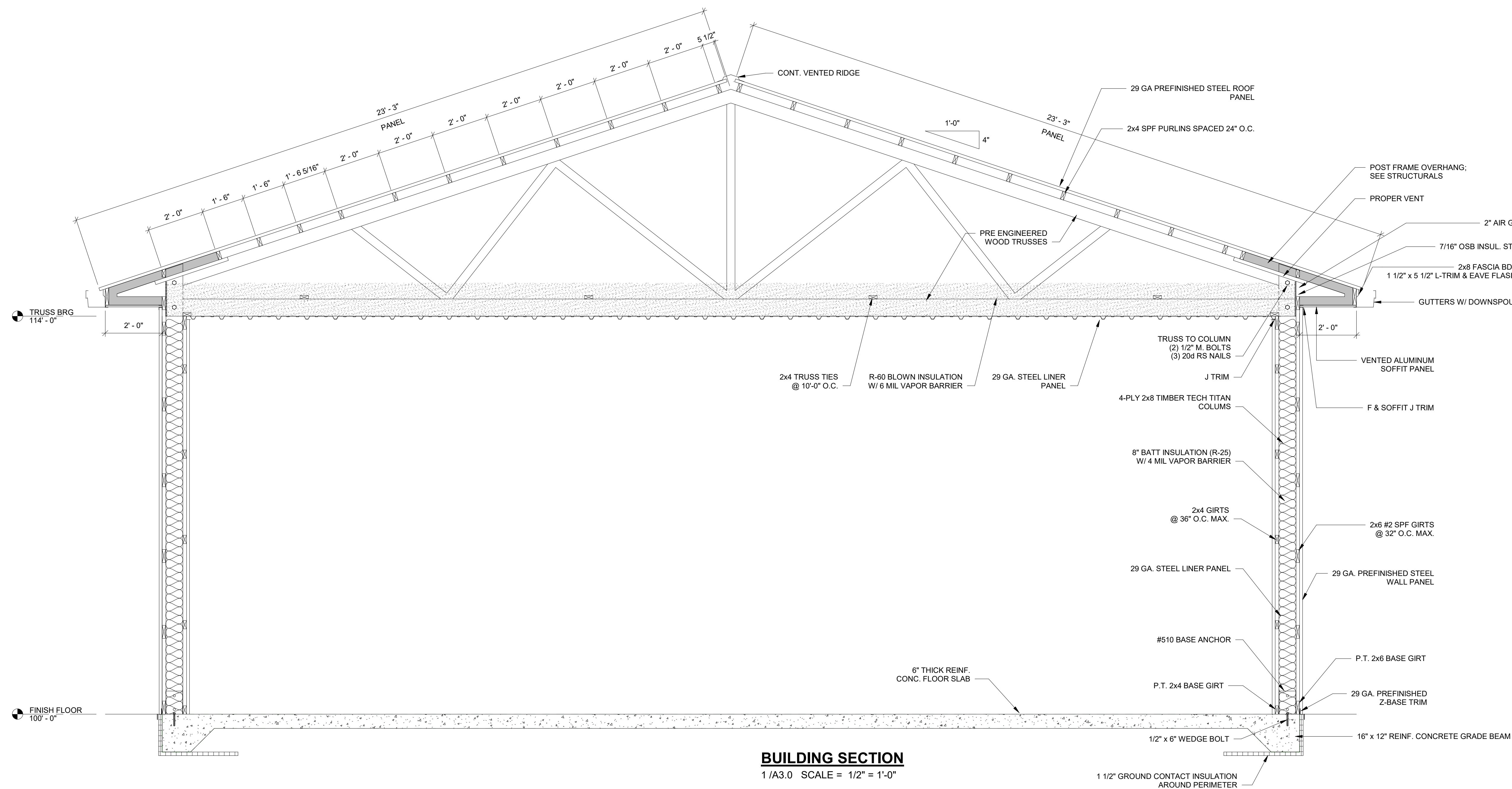
REVISIONS:

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- CONSTRUCTION

ELEVATION - EXTERIOR

PROPOSED BUILDING FOR:
NEENAH PD STORAGE BLDG
NEENAH, WI; COUNTY OF: WINNEBAGO



BUILDING SECTION
1/A3.0 SCALE = 1/2" = 1'-0"

SCALE VERIFICATION

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JOB NUMBER: 25-6057

PROJECT EXECUTIVE: MITCH BEILFUSS
(920) 290-4104

DRAWN BY: DPO

DATE: 5/2/25

REVISIONS:

ISSUED FOR: CHECKED DATE: BY:

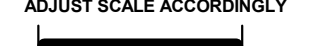
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- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

SECTIONS - BUILDING

PROPOSED BUILDING FOR:
NEENAH PD STORAGE BLDG
NEENAH, WI; COUNTY OF: WINNEBAGO

SCALE VERIFICATION

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DATE: 5/2/25

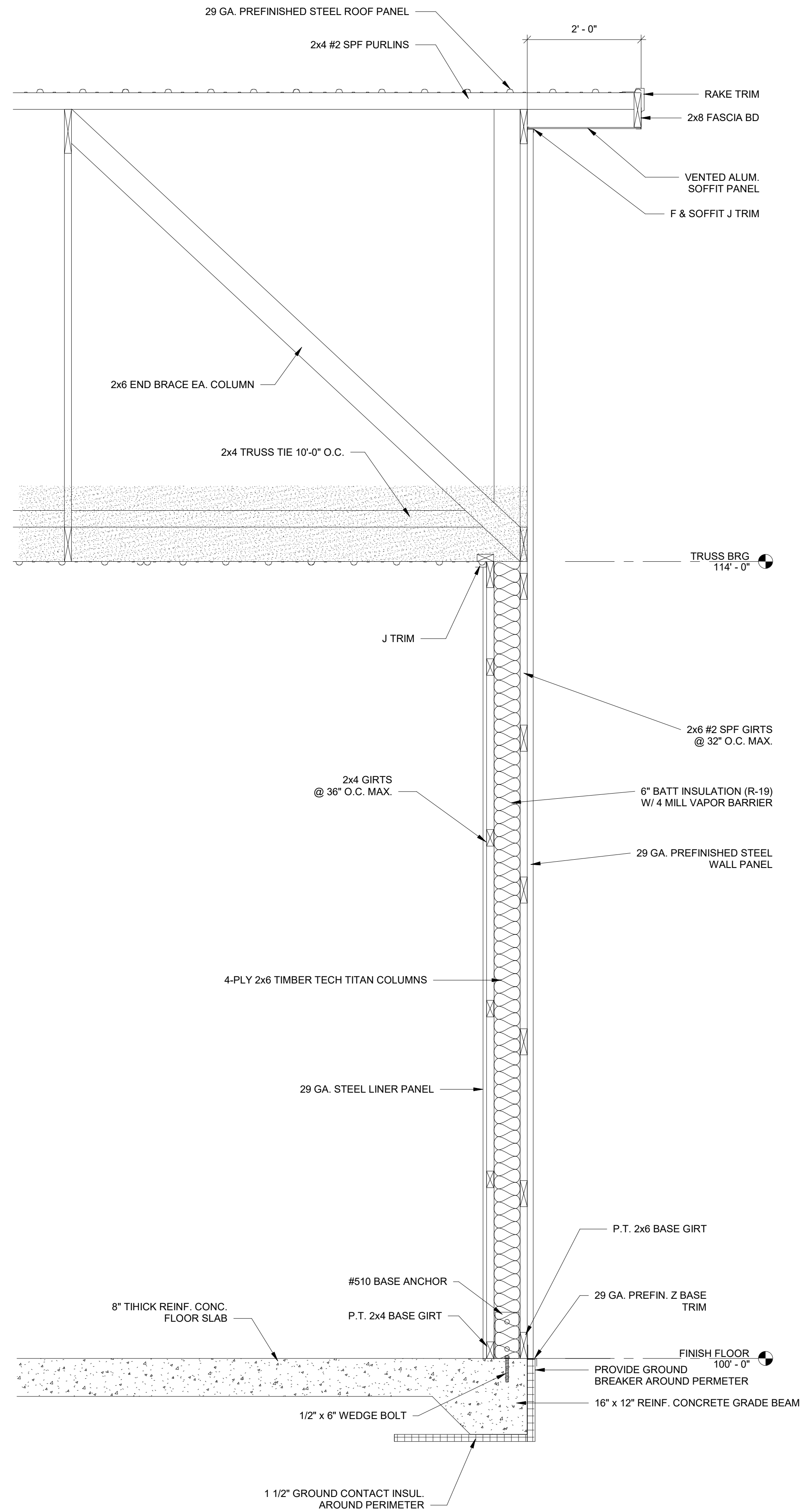
REVISIONS:

ISSUED FOR: CHECKED DATE:
BY:

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- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

SECTIONS - BUILDING

A3.1



ENDWALL SECTION

1 / A3.1 SCALE = 3/4" = 1'-0"