



NEENAH PLAN COMMISSION

Tuesday, September 8, 2026

4:00 P.M.

Hauser Room, City Administration Building

Virtual Meeting Option: This meeting is available virtually. To access the virtual meeting (Requires Microsoft Teams), please click on the link below:

Join:

<https://teams.microsoft.com/meet/21264286113399?p=0ZcXimwj7v0ili6gQs>

Meeting ID: 212 642 861 133 99

Passcode: Vp3bV39U

-
1. Approval of Minutes: **July 28, 2026**
 2. Public Appearances (Ten minutes divided among those wishing to speak on topics pertinent to the Plan Commission)
 3. Public Hearings: **None**
 4. Action Items:
 - a. **Site Plan #5-26** - 164 N. Lake Street - Building Addition
 5. Discussion Items:
 - a. Zoning and Sign Code Rewrite
 6. Announcements and future agenda items:
 - a. Next Meeting: September 29, 2026

NOTICE IS HEREBY GIVEN, pursuant to the requirements of Wis. Stats. Sec. 19.84, that a majority of the Neenah Common Council may be present at this meeting. Common Council members may be present to gather information about a subject over which they have decision-making responsibility. This constitutes a meeting of the Neenah Common Council and must be noticed as such. The Council will follow the same agenda as the committee but will not take any formal action at this meeting.

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Neenah will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance, or reasonable accommodation in participating in this meeting or event due to a disability as defined under the ADA, please call the Community Development Department Administrative Assistant at 920-886-6125 or the City's ADA Coordinator at (920) 886-6106 or e-mail attorney@NeenahWI.gov at least 48 hours prior to the scheduled meeting or event to request an accommodation.

MINUTES OF THE NEENAH PLAN COMMISSION
Tuesday, July 28, 2026
4:00 p.m.

Present:

Mayor Brian Borchardt, Chairperson	ABSENT	Gerry Kaiser, Director of Public Works	PRESENT	Aldersperson Mark Neuman	PRESENT
Frank Cuthbert, Vice Chairperson	PRESENT	Karen Genett	ABSENT	Kate Hancock- Cooke	PRESENT
Gerry Andrews	PRESENT				

Also Present:

Brad Schmidt, Deputy Director of Community Development	Kayla Kubat, Administrative Assistant of Community Development	Kaleb Wunderlich- 896 S Commercial St Neenah
Jeff Hill- 321 9 th St Neenah	Becky Heidke-Kwiatkowski- 1390 Eagle Feather Trail Neenah	

Minutes: MSC, Newman/Kaiser, the Plan Commission, to approve the June 23, 2026 meeting minutes. All voting aye. Motion passed. Hancock-Cooke abstained.

Public Appearances: Vice Chairperson Cuthbert opened public appearances to topics not related to the agenda.

No one in attendance spoke. Vice Chairperson Cuthbert closed public appearances.

Public Hearings:

a. Special Use Permit #2-26 – 896 S. Commercial Street- Auto Sales

Kaleb Wonderlich- 896 S Commercial St- He is requesting to sell used cars on this property. He stated there would be five cars on the lot at one time. He also does auto repairs for customers in the Fox Valley.

No one else in attendance spoke. Vice Chairperson Cuthbert closed public appearances.

b. Zoning Code Text Amendment – Sec. 26-3 – Definition of Family Day Care Homes

No one in attendance spoke. Vice Chairperson Cuthbert closed public appearances.

Action Items:

a. Special Use Permit #2-26 – 896 S. Commercial Street – Auto Sales

Deputy Director Schmidt went over the request for the special use permit. This property has been used for auto repairs but with vehicle sales, a special use permit is required. This lot is smaller than the minimum half acre lot size in the zoning code, however, the plan commission and council can waive that requirement. With the size of the lot, the number of vehicles would be limited to no more than five. There is some flexibility regarding where the cars are located, but the customer parking would be adjacent to the building, and the vision clearance triangle would remain clear for traffic on the corner of Cecil and Commercial Street.

Member Hancock-Cooke asked how much the landscape changes on the property. Deputy Director Schmidt stated since this is a special use permit and not a site plan, there is no landscaping requirement. There is green space to the north of the site, however, it is a capped environmental site which occurs a lot of cost once digging and landscaping would start.

Director Kaiser asked if the plan review comments are incorporated into the plan review. Deputy Director Schmidt stated yes.

MSC, Hancock-Cooke/Neuman, the Plan Commission, to recommend Common Council approve a Special Use Permit for an automotive sales use located at 896 S. Commercial Street subject to the conditions of the Special Use Approval Letter. All voting aye. Motion passed.

b. Zoning Code Text Amendment – Sec 26-3 – Definition of Family Day Care Homes (Ord. No. 2026-12)

Deputy Director Schmidt went over the state law code change for Family Day Care Homes from allowing four to eight kids to now allowing four to 12 kids. This amendment would be to align more with the state law code change and to not be more restrictive than state law. There are currently five licensed facilities in the city.

Member Hancock-Cooke asked about the state law and how we cannot be more restrictive. Deputy Director Schmidt stated we could not require things the state does not require, like additional parking. These businesses get licensed through the state and not the city.

Director Kaiser asked if we knew there were five licensed in the city. Deputy Director Schmidt stated no since they are licensed through the state.

MSC, Hancock-Cooke/Neuman, the Plan Commission, to recommend Common Council approve Ordinance No. 2026-12, amending the definition of Family Day Care Home to allow care for up to twelve (12) children, consistent with Wisconsin Statute § 66.1017. All voting aye. Motion passed.

c. Site Plan #1-24 (Revision) – 1557 S. Commercial Street – Multi-Family

Deputy Director Schmidt went over the site plan revision. This is a multi-family development on S. Commercial St. The original plan approved for an 11-unit multi-family townhouse in 2024 did not move forward. The revised site plan is the same size building and orientation as the original plan but the number of units is changing from 11 to 14. All setbacks and parking standards are still met. The green space now has increased with this revision.

MSC, Kaiser/Neuman, the Plan Commission, to approve the revision to the site plan for a 14-unit townhouse located at 1557 S. Commercial Street subject to the site plan approval letter. All voting aye. Motion passed.

Discussion Items:

a. Zoning and Sign Code Re-Write

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Deputy Director Schmidt went over the status of the Zoning and Sign Code Re-write. The online survey is now closed and there were 178 survey responses. He went over what is currently happening in the process with the consultant. The joint workshop with the Plan Commission and Council is scheduled for September 2nd.

Announcements and Future Agenda Items: Next meeting is scheduled for August 11, 2026

Adjournment: The Commission adjourned its meeting at 4:27 p.m. MSC Neuman/Kaiser. All voting Aye. Motion passed.

Respectfully Submitted,

A handwritten signature in cursive script that reads "Kayla Kubat".

Kayla Kubat

Administrative Assistant, Department of Community Development



M E M O R A N D U M

DATE: September 8, 2026
TO: Mayor Borchardt and Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: Site Plan Review – 164 N Lake Street – Building Addition

Request

VT Industries has submitted a site plan to construct a building addition on property located at 164 N. Lake Street.

Consideration

The subject property is about 16 acres in size and is zoned I2, General Industrial District. The site includes an existing 320,000 square-foot manufacturing facility. The company, VT Industries – Eggers Division, is a national door and millwork manufacturer. There have been numerous additions over the years with the most recent addition completed in 2020. The applicant is proposing a 49,880 square-foot addition on the south side of the building near John Street. The addition of the building will include truck loading docks and a warehouse/storage area. The site plan includes a “Future Building Addition” area. Future additions are not being reviewed as part of this site plan and will need to be submitted when the applicant is ready to proceed with those projects.

The subject property has continuously been used as a wood product manufacturer since at least the early 1900's and the area surrounding the subject property was historically used for industrial and manufacturing purposes. Today, the land use patterns have changed somewhat. Land west of the subject property includes a WE Energies electric substation, a door manufacturer, and a multi-family residential building. Land north of the subject property is primarily industrial. Land south of the subject property includes a multi-family residential building, a memorial (headstone) manufacturer, a religious institution, and several single-family residences. Finally, land east of the subject property includes a City park (Herb and Dolly Smith Park), a dance studio, and a bar/restaurant.

Development Standards

The I-2 District development standards are listed below. The proposed dimension or size is listed in parentheses next to the standard.

Building Setbacks for Addition:

Side Yard – 10 feet (**17.7 feet – east property line**)
Rear Yard – 10 feet (**10. feet – south property line**)

Max Height – 100 feet (**35 feet**)

Minimum Off-Street Parking – 200 spaces when accounting for warehouse space in the building (**243 spaces**)

Lot Coverage Maximum – 60% of the total site **(53.1%)**

Minimum Green Space – 5% **(Greater than 5%)**

Storm Water Management:

The proposed development is required to meet the Wisconsin DNR's post-construction stormwater management standards since the development disturbs over 43,560 square feet of land. The existing storm water pond was designed and constructed to accommodate the proposed building addition.

Recommendation

Appropriate action at this time is to approve the site plan for a building addition on property located at 164 N. Lake Street subject to the conditions of the site plan review letter.



City of Neenah Community Development
211 Walnut Street
Neenah WI 54956
Ph 920.886.6130

September 03, 2026

ABBY MASLANKA
MARTENSON & EISELE, INC.
1377 MIDWAY ROAD
MENASHA, WI 54952

RE: Site Plan #5-26 - 164 N Lake St - Building Addition Site Plan - Major Review () Status Approved

Dear ABBY MASLANKA:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment
bschmidt@neenahwi.gov
920-886-6126

Plan Review Comments

Fire Department - Jerry Mavroff - 886-6204
GMavroff@nmfire.org

Approved

Review Comments:

Inspections - Building Commercial - Kyle Pederson - 920-886-6131
kpederson@neenahwi.gov

Approved

Review Comments:

Planning - Brad Schmidt -
bschmidt@neenahwi.gov

Approved

Review Comments:

1. This review only includes the proposed building addition. Future building additions or site modifications will require a separate site plan review.
2. Removal of any landscape plantings around the proposed building addition shall be replanted in the same location.
3. Any planned outdoor lighting (other than building security lights) will require a submittal of a photometric plan prior to installation.
4. Any work proposed within the John Street right-of-way requires an Excavation Permit. Please contact the Department of Public Works at (920) 886-6240.
5. Sign and record a storm water maintenance agreement. Community Development Staff will follow-up with a copy of the agreement to be signed.

Engineering - Heath Kummerow - 920-886-6245
hkummerow@neenahwi.gov

Approved

Review Comments:

Sanitary Sewer - Recommend moving manhole south out of the truck loading ramp.

Water Utility - Anthony Mach - 920-886-6180
amach@neenahwi.gov

Approved

Review Comments:

Advisory Comments:

Blocking shall be solid concrete blocks or poured concrete. Wood shall not be used for blocking.

Contractor is responsible for obtaining safe bacteriological samples of large services at a certified lab per Neenah Water Utility specifications. Please see the attached Water Main and Large Service Testing document.

Please provide the results of any bacteriological testing to Tim Jens and Anthony L. Mach at: tjens@neenahwi.gov and amach@neenahwi.gov

Please see the attached Neenah Water Utility Specifications for details regarding all installations.

Any new distribution connections shall be supervised by Water Utility staff. Please give us at least two working days of notice before any connections are made.

Ensure that no loops or possible flow-through conditions are created by the interconnection of private mains or services on the property or within a building. These require separate approval and require check valves to ensure protection of the

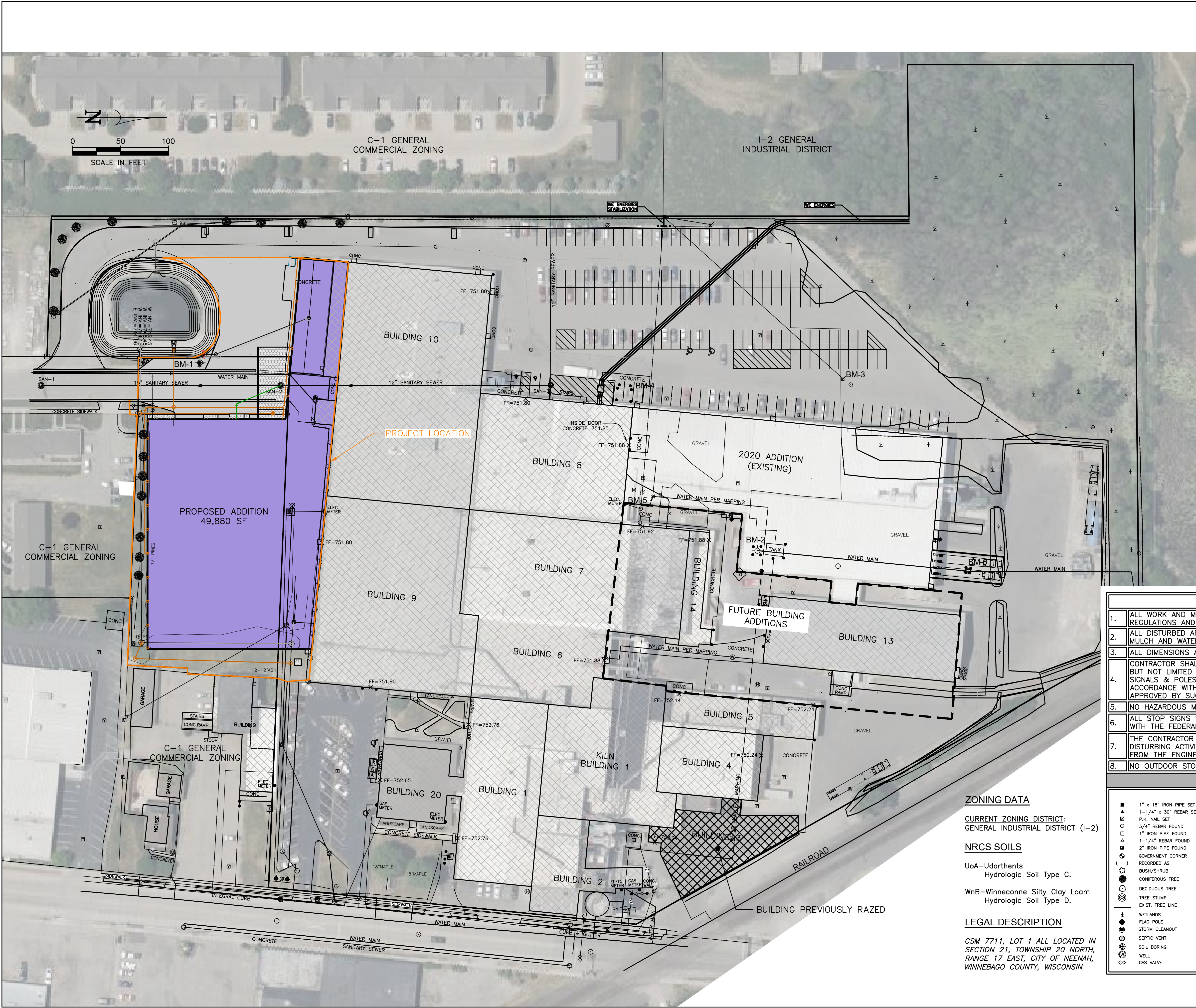
distribution system.

Ensure that no interconnections between any well or non-potable source and the distribution system or water services exists or is created by construction activity. Any existing wells shall be properly abandoned or permitted through Neenah Water Utility.

Please contact the Neenah Water Utility Distribution Manager at (920) 886-6191 or the Director at (920) 886-6182 for notifications or if you have any questions.

Please let us know what size meter will be used for the building.

The Water Utility will provide a new hydrant for the relocation. All other costs are the responsibility of the owner / developer.



SITE/PROJECT INFORMATION

PROPERTY ADDRESS:
164 N. LAKE ST, NEENAH, WI 54956
PARCEL NUMBER: 807-0002-01-00

OWNER/APPLICANT:

EGGERS DIVISION, LLC
1000 INDUSTRIAL PARK
HOLSTEIN, IA 51025-7730

ENGINEER:

MARTENSON & EISELE, INC.
ATTN: ABBY MASLANKA, P.E.
1377 MIDWAY ROAD
MENASHA, WI 54952
abbym@martenson-eisele.com
PHONE: 920-731-0381

DESIGN / BUILDER:

KELLER, INC.
ATTN: SAM WINTERFELDT
N216 WI-55
KAUKAUNA, WI 54130
swinterfeldt@kellerbuilds.com
PHONE: 920-766-5795

SITE DATA

AREA = 700,127 FT² (16.073 AC)

EXISTING CONDITIONS:

EXISTING IMPERVIOUS: 507,182 FT² (11.643 AC)
-EX. ROOF: 248,402 FT²
-EX. ASPHALT: 202,786 FT²
-EX. CONCRETE: 25,552 FT²
-EX. GRAVEL: 30,442 FT²
EXISTING OPEN SPACE: 192,945 FT²
PERCENTAGE IMPERVIOUS: 72.44%

PROPOSED CONDITIONS

PROPOSED IMPERVIOUS: 52,963 SF (1.216 AC)
-PROP. ROOF: 49,880 FT²
-PROP. ASPHALT: 2,245 FT²
-PROP CONCRETE: 838 FT²

TOTAL CONDITIONS

-TOTAL ROOF: 297,772 FT²
-TOTAL ASPHALT: 201,441 FT²
-TOTAL GRAVEL: 29,620 FT²
-TOTAL CONCRETE: 20,936 FT²

PROPOSED TOTALS: 549,769 FT² (12.62 AC)
PROPOSED OPEN SPACE: 150,358 FT² (3.45 AC)
PROPOSED IMPERVIOUS PERCENTAGE = 78.5%

PROPOSED DISTURBED AREA: 80,455 FT² (1.85 AC)

SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF NEENAH REGULATIONS AND CODES.
- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- ALL DIMENSIONS ARE TO THE EDGE OF BUILDING OR FACE OF CURB.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- NO HAZARDOUS MATERIALS WILL BE STORED ON SITE.
- ALL STOP SIGNS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION M.U.T.C.D, LATEST VERSION.
- THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH LAND DISTURBING ACTIVITIES PRIOR TO RECEIVING WRITTEN NOTICE TO PROCEED FROM THE ENGINEER.
- NO OUTDOOR STORAGE OR DISPLAY IS PROPOSED.

ZONING DATA

CURRENT ZONING DISTRICT:
GENERAL INDUSTRIAL DISTRICT (I-2)

NRCS SOILS

UoA-Udarthenits
Hydrologic Soil Type C.

WnB-Winneconne Silty Clay Loam
Hydrologic Soil Type D.

LEGAL DESCRIPTION

CSM 7711, LOT 1 ALL LOCATED IN
SECTION 21, TOWNSHIP 20 NORTH,
RANGE 17 EAST, CITY OF NEENAH,
WINNEBAGO COUNTY, WISCONSIN

TOPOGRAPHIC LEGEND

- | | | |
|------------------------|-------------------------------|-------------------------|
| 1" x 16" IRON PIPE SET | OVERHEAD POWER LINES | WATER STOP BOX |
| 1-1/4" x 30" REBAR SET | UNDERGROUND ELECTRIC | WATER VALVE |
| P.K. NAIL SET | UNDERGROUND TELEPHONE | EXIST. STORM MANHOLE |
| 3/4" REBAR FOUND | FO-FO- UNDERGROUND FIBEROPTIC | STORM INLET |
| 1" IRON PIPE FOUND | UNDERGROUND GAS | CATCH BASIN |
| 1-1/4" REBAR FOUND | UNDERGROUND CABLE TV | EXIST. SANITARY MANHOLE |
| 2" IRON PIPE FOUND | EXIST. FENCE LINE | |
| GOVERNMENT CORNER | REBAR SIGN | |
| RECORDED AS | POWER POLE | |
| BUSH/SHRUB | GUY | |
| CONIFEROUS TREE | LIGHT POLE | |
| DECIDUOUS TREE | SPOTLIGHT | |
| TREE STUMP | TELEPHONE PEDESTAL | |
| EXIST. TREE LINE | ELECTRIC PEDESTAL | |
| WETLANDS | ELECTRIC METER | |
| FLAG POLE | CABLE PEDESTAL | |
| STORM CLEANOUT | GAS METER | |
| SEPTIC VENT | AIR CONDITIONER | |
| SOIL BORING | HAND HOLE | |
| WELL | GUARD POST | |
| GAS VALVE | DOWNSPOUT | |
| | MAIL BOX | |
| | EXIST. HYDRANT | |
- | | |
|----------------------------|--------------------------|
| EXIST. SAN. SEWER | EXIST. SPOT ELEVATION |
| STO-STO- EXIST. STO. SEWER | 000.000 |
| W-W- EXIST. WATER MAIN | 000.001 |
| WL-WL- WETLAND LINE | FF = 000.00 |
| | EXIST. TOP OF CURB ELEV. |
| | EXIST. FLOW LINE ELEV. |
| | FF = 000.00 |
| | BUILDING |
| | CONCRETE PAVEMENT |
| | ASPHALT PAVEMENT |
| | GRAVEL |

FOR PERMITTING REVIEW

Martenson & Eisele



Architecture
Engineering
Surveying
Environmental

1377 Midway Road
Menasha, WI 54952
info@martenson-eisele.com
920.731.0381

SITE PLAN

EGGERS SOUTH EXPANSION

CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

SCALE DATE

BAR SCALE 06-18-2026

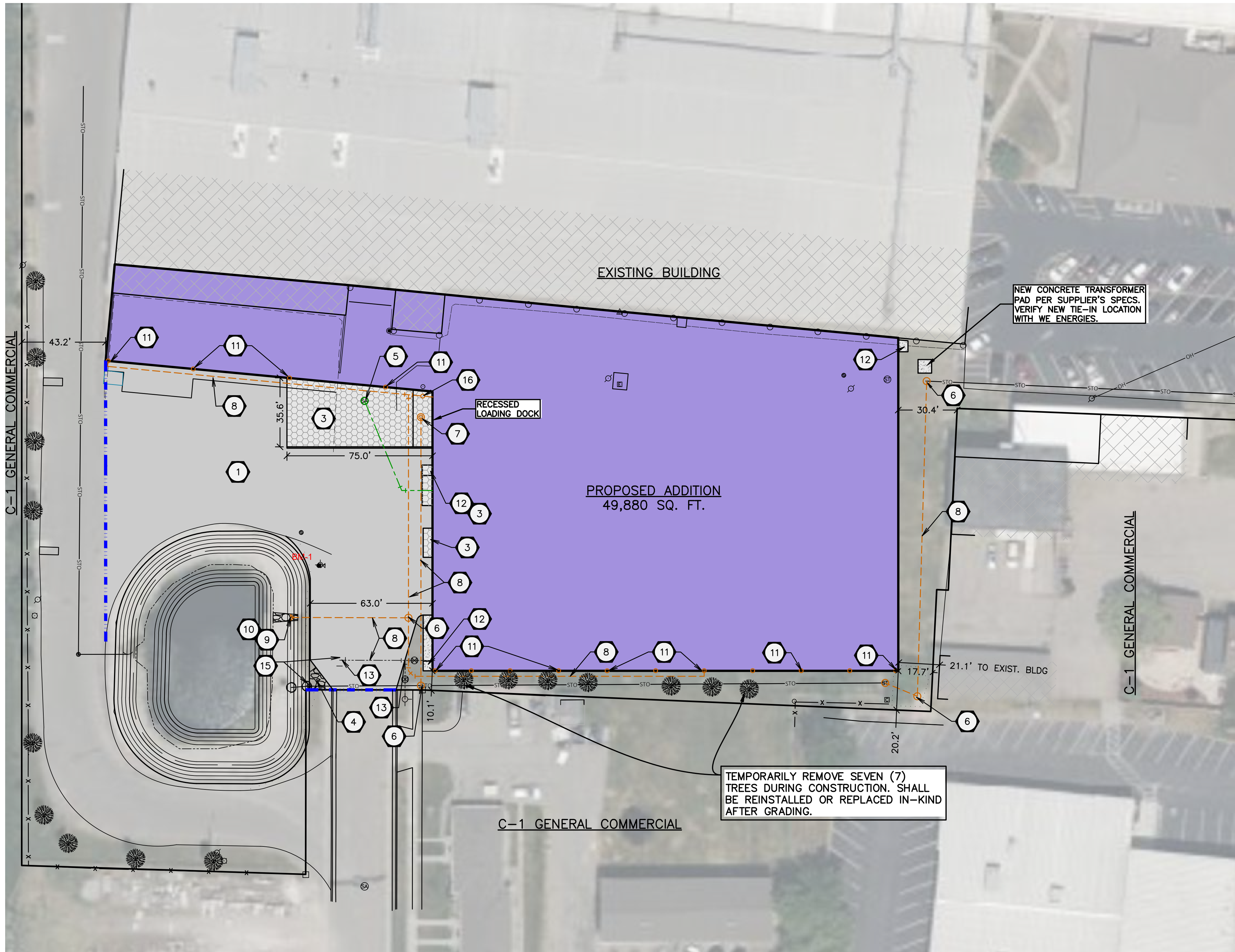
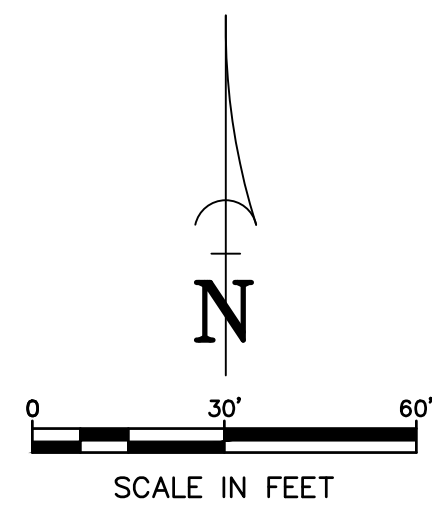
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SITE PLAN KEY NOTES



PAVEMENT KEY

- HEAVY-DUTY ASPHALT (4" ASPHALT)
- SIDEWALK CONCRETE
- HEAVY-DUTY CONCRETE
- RIP-RAP
- FULL DEPTH SAW CUT

PLAN KEY LEGEND

- SANITARY PRE-CAST MANHOLE
- STORM SEWER PRE-CAST MANHOLE
- GREASE/OIL SEPARATOR
- CLASS "B" BEDDING FOR PIPE
- SAFETY/TRASH GUARD FOR FLARED ENDS
- ENDWALL RIP-RAP DETAIL
- EXTERIOR DOWNSPOUT COLLECTOR
- CONCRETE ACCESS STOOP
- BLOCKING FOR TEES
- BLOCKING FOR ELBOWS
- BLOCKING FOR PLUGS
- SEWER CLEANOUT

- 1" x 18" IRON PIPE SET
- 1-1/4" x 30" REBAR SET
- P.K. NAIL SET
- 3/4" REBAR FOUND
- 1" IRON PIPE FOUND
- 1-1/4" REBAR FOUND
- 2" IRON PIPE FOUND
- GOVERNMENT CORNER
- RECORDED AS
- BUSH/SHRUB
- CONIFEROUS TREE
- DECIDUOUS TREE
- TREE STUMP
- EXIST. TREE LINE
- WETLANDS
- FLAG POLE
- STORM CLEANOUT
- SEPTIC VENT
- SOIL BORING
- WELL
- GAS VALVE
- OVERHEAD POWER LINES
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND FIBEROPTIC
- UNDERGROUND GAS
- UNDERGROUND CABLE TV
- EXIST. FENCE LINE
- RIP-RAP
- SIGN
- POWER POLE
- GUY
- LIGHT POLE
- SPOTLIGHT
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- ELECTRIC METER
- CABLE PEDESTAL
- GAS METER
- AIR CONDITIONER
- HAND HOLE
- GUARD POST
- DOWNSPOUT
- MAIL BOX
- EXIST. HYDRANT
- WATER STOP BOX
- WATER VALVE
- EXIST. STORM MANHOLE
- STORM INLET
- CATCH BASIN
- EXIST. SANITARY MANHOLE
- SAN-SAN- EXIST. SAN. SEWER
- STO-STO- EXIST. STO. SEWER
- W-W- EXIST. WATER MAIN
- WL-WL- WETLAND LINE
- EXIST. SPOT ELEVATION
- CONTOUR W/ ELEVATION
- EXIST. TOP OF CURB ELEV.
- EXIST. FLOW LINE ELEV.
- FIRST FLOOR = 000.00
- BUILDING
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- GRAVEL

FOR PERMITTING REVIEW

Martenson & Eisele

Architecture
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Surveying
Environmental

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Menasha, WI 54952
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920.731.0381

SITE PLAN KEY NOTES
EGGERS SOUTH EXPANSION
CITY OF NEEHAH, WINNEBAGO COUNTY, WISCONSIN

SCALE
BAR SCALE

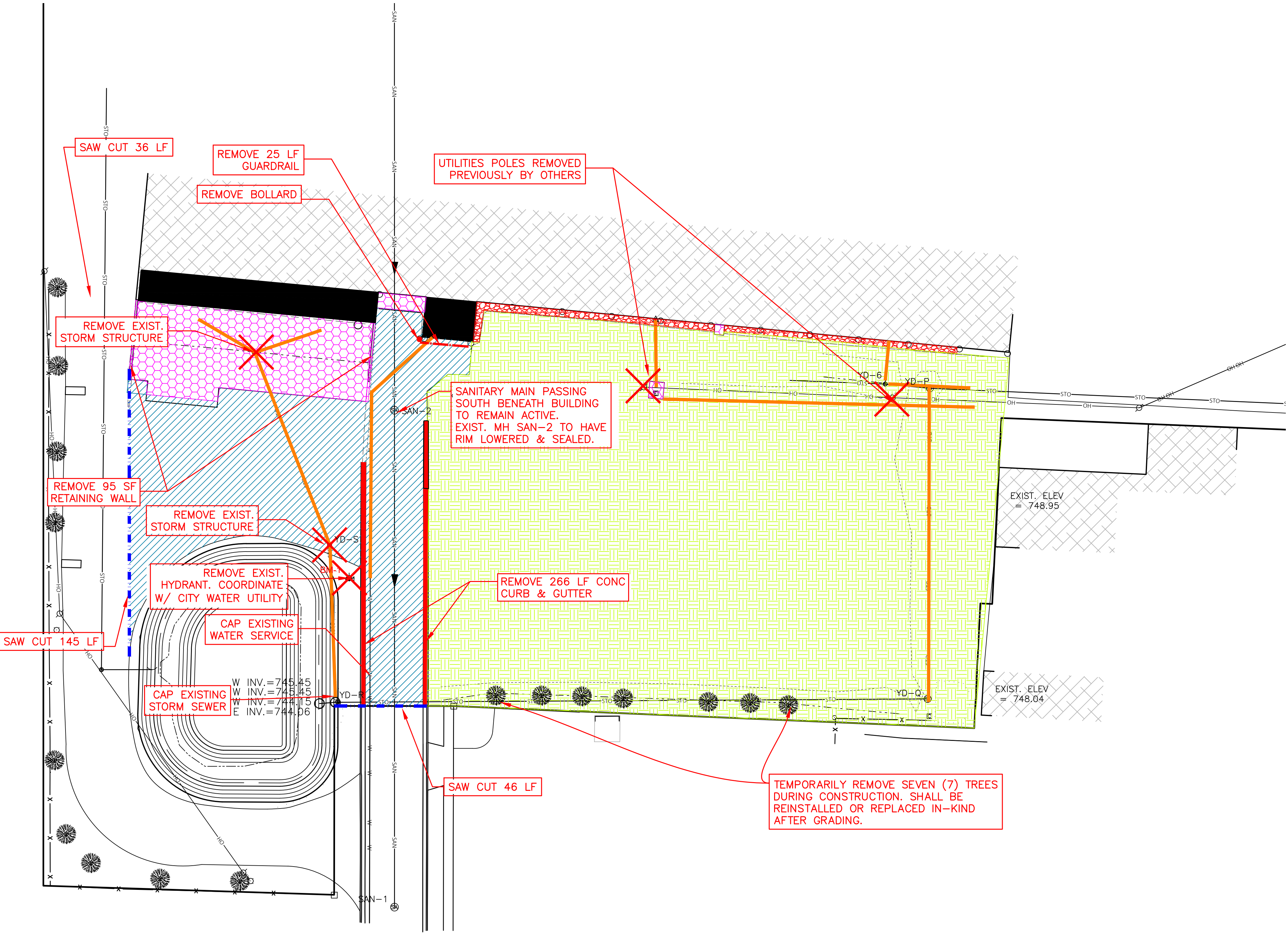
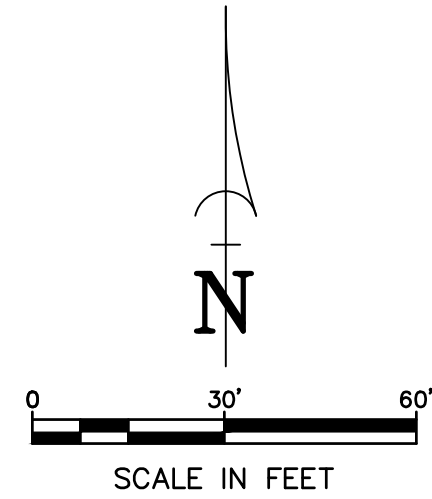
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DEMOLITION PLAN



DEMOLITION KEY

- REMOVAL OF ASPHALT (15,867 SF)
- REMOVAL OF VEGETATION (54,291 SF)
- REMOVAL OF CONCRETE (5,493 SF)
- REMOVAL OF CONCRETE CURB & GUTTER (266 LF)
- REMOVAL OF BUILDING (SEE ARCH PLANS)
- REMOVAL OF GRAVEL (822 SF)
- ABANDONMENT OF UTILITY LINES
- SAW CUTTING (191 L.F.)

TOPOGRAPHIC LEGEND

1" x 16" IRON PIPE SET	OVERHEAD POWER LINES	WATER STOP BOX
1-1/4" x 30" REBAR SET	UNDERGROUND ELECTRIC	WATER VALVE
P.K. NAIL SET	UNDERGROUND TELEPHONE	EXIST. STORM MANHOLE
3/4" REBAR FOUND	FO-FO- UNDERGROUND FIBEROPTIC	STORM INLET
1" IRON PIPE FOUND	UNDERGROUND GAS	CATCH BASIN
1-1/4" REBAR FOUND	TV-TV- UNDERGROUND CABLE TV	EXIST. SANITARY MANHOLE
2" IRON PIPE FOUND	X-X-X- EXIST. FENCE LINE	
GOVERNMENT CORNER	REBAR	
RECORDED AS	SIGN	
BUSH/SHRUB	POWER POLE	
CONFEROUS TREE	GUY	
DECIDUOUS TREE	LIGHT POLE	
TREE STUMP	SPOTLIGHT	
EXIST. TREE LINE	TELEPHONE PEDESTAL	
WETLANDS	ELECTRIC PEDESTAL	
FLAG POLE	ELECTRIC METER	
STORM CLEANOUT	CABLE PEDESTAL	
SEPTIC VENT	GAS METER	
SOIL BORING	AIR CONDITIONER	
WELL	HAND HOLE	
GAS VALVE	GUARD POST	
	DOWNSPOUT	
	MAIL BOX	
	EXIST. HYDRANT	

000-000 CONTOUR W/ ELEVATION
000.000 EXIST. TOP OF CURB ELEV.
000.001 EXIST. FLOW LINE ELEV.
FF = 000.00 FIRST FLOOR = 000.00

BUILDING
CONCRETE PAVEMENT
ASPHALT PAVEMENT
GRAVEL

FOR PERMITTING REVIEW

Martenson & Eisele

1377 Midway Road
Menasha, WI 54952
info@martenson-eisele.com
920.731.0381

Architecture
Engineering
Surveying
Environmental

DRAWN BY		CHECKED		APPROVED		FIELDWORK	
MM	ALM	JWS	BHF				
NO	DATE	NO	DATE	NO	DATE	NO	DATE
1	08/20/2026						
2	08/27/2026						

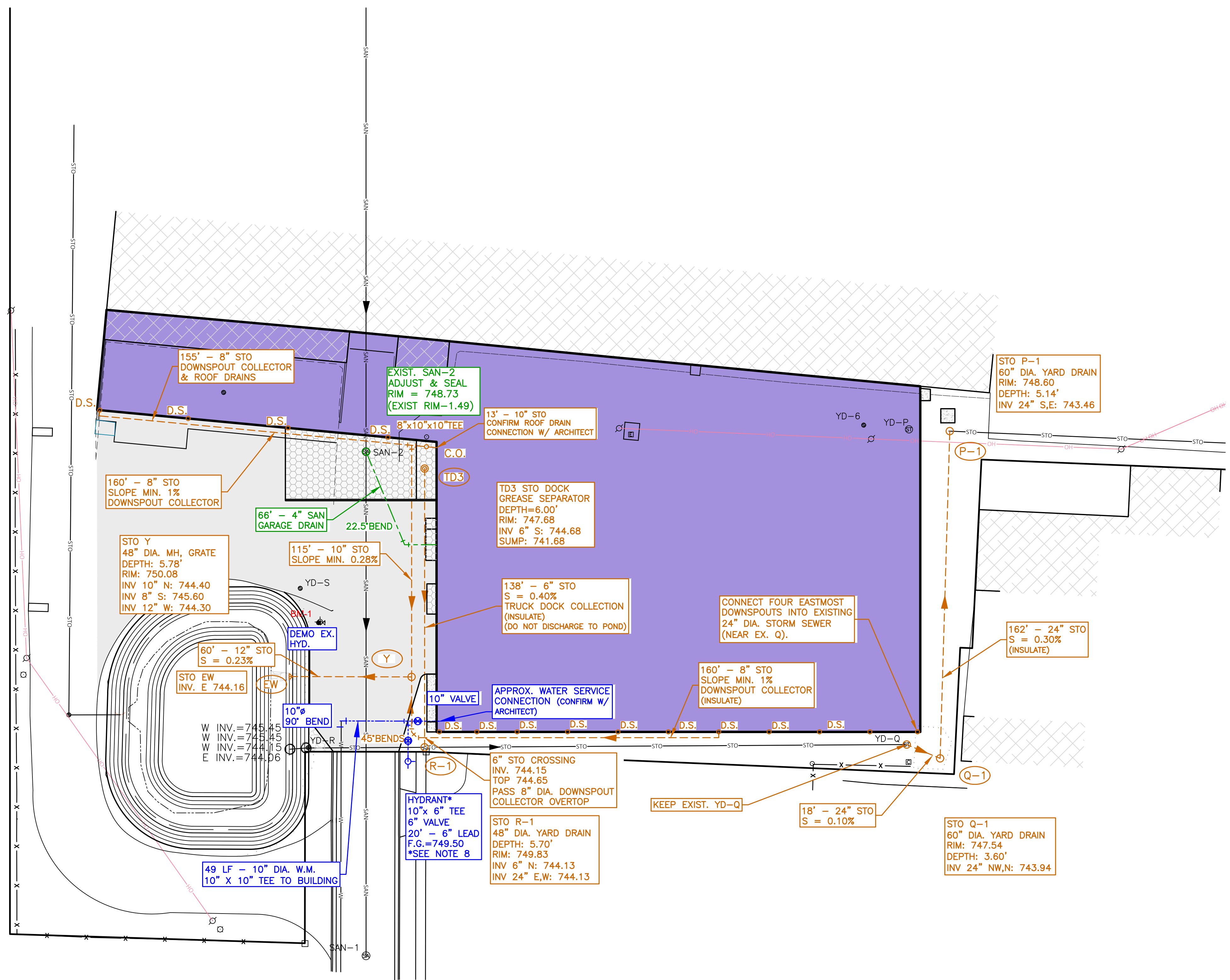
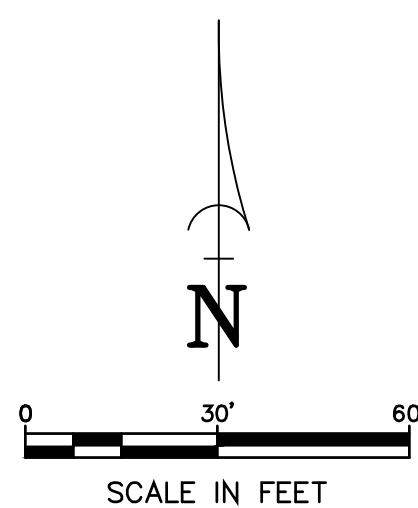
DEMOLITION PLAN
EGGERS SOUTH EXPANSION
CITY OF NEEHAH, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	06-18-2026
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DRAWING NO.
C1.3

UTILITY LAYOUT PLAN



ABBREVIATIONS:
C.O. = CLEANOUT
T.D. = TRUCK DOCK DRAIN
D.S. = DOWNSPOUT
STO = STORM MANHOLE
Y.D. = YARD DRAIN
E.W. = STORM ENDWALL
SAN = SANITARY MANHOLE

BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
BM-1	TAG BOLT ON HYDRANT	752.51
BM-2	ARROW ON HYDRANT	754.27
NAVD 88 DATUM		

EXISTING UTILITY SCHEDULE			
STRUCTURE ID#	RIM ELEVATION	INVERT ELEVATION	STRUCTURE DEPTH (FT.)
SAN-1	749.20		
SAN-2	750.22	739.89	10.33
YD-6	749.31	743.86	5.45
YD-Q	749.56	743.96	5.6
YD-R	749.57	744.17	5.4
YD-S	749.11		
YD-P	749.43	743.48	5.95

- UTILITY PLAN NOTES
- THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.
 - ALL UTILITY CONNECTIONS SHALL BE DONE IN ACCORDANCE WITH THE "WISCONSIN STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION, 6TH EDITION" AND THE CITY OF NEENAH STANDARD SPECIFICATIONS.
 - THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.
 - THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.
 - CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.
 - TO COORDINATE THE HYDRANT REPLACEMENT, THE CONTRACTOR SHALL CALL ANTHONY MACH WITH THE CITY OF NEENAH WATER UTILITY AT 920-886-6180 AT LEAST TWO (2) BUSINESS DAYS PRIOR TO THE NEW HYDRANT INSTALLATION. THE CITY WATER UTILITY WILL PROVIDE THE NEW HYDRANT.

UTILITY LAYOUT PLAN LEGEND			
	EXISTING CONTOUR		STORM MANHOLE
	PROPOSED CONTOUR		STORM INLET
	STORM MAIN		SANITARY MANHOLE
	WATER MAIN		HYDRANT
	SANITARY MAIN		WATER VALVE
	UTILITY LATERAL		

TOPOGRAPHIC LEGEND					
■	1" x 16" IRON PIPE SET	—●—	OVERHEAD POWER LINES	☒	WATER STOP BOX
—	1-1/4" x 30" REBAR SET	—E—	UNDERGROUND ELECTRIC	☒	WATER VALVE
P.K.	NAIL SET	—T—	UNDERGROUND TELEPHONE	☒	EXIST. STORM MANHOLE
○	3/4" REBAR FOUND	—FD—	UNDERGROUND FIBEROPTIC	☒	STORM INLET
□	1" IRON PIPE FOUND	—G—	UNDERGROUND GAS	☒	CATCH BASIN
□	1-1/4" REBAR FOUND	—TV—	UNDERGROUND CABLE TV	☒	EXIST. SANITARY MANHOLE
□	2" IRON PIPE FOUND	—X—X—	EXIST. FENCE LINE	—SAM—SAM—	EXIST. SAN. SEWER
⬢	GOVERNMENT CORNER	—RIP—	RIPRAP	—STO—STO—	EXIST. STORM SEWER
○	RECORDED AS	—S—	SIGN	—W—W—	EXIST. WATER MAIN
○	BUSH/SHRUB	—L—	LIGHT POLE	—WL—WL—	WETLAND LINE
○	CONIFEROUS TREE	—G—	GUY	—	EXIST. SPOT ELEVATION
○	DECIDUOUS TREE	—L—	LIGHT POLE	—	CONTOUR W/ ELEVATION
○	TREE STUMP	—S—	SPOTLIGHT	000.00	EXIST. TOP OF CURB ELEV.
○	WETLANDS	—T—	TELEPHONE PEDESTAL	000.00E	EXIST. FLOW LINE ELEV.
○	FLAG POLE	—E—	ELECTRIC PEDESTAL	000.00F	FIRST FLOOR = 000.00
○	STORM CLEANOUT	—M—	ELECTRIC METER	FF	BUILDING
○	SEPTIC VENT	—C—	CABLE PEDESTAL	☐	CONCRETE PAVEMENT
○	SOIL BORING	—A—	GAS METER	☐	ASPHALT PAVEMENT
○	WELL	—AC—	AIR CONDITIONER	☐	GRAVEL
○	GAS VALVE	—H—	HAND HOLE		
		—GP—	GUARD POST		
		—DS—	DOWNSPOUT		
		—MB—	MAIL BOX		
		—H—	EXIST. HYDRANT		

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MM	ALM	JWS	BHF				
NO		DATE		NO		DATE	
1		08/20/2026					
2		08/27/2026					

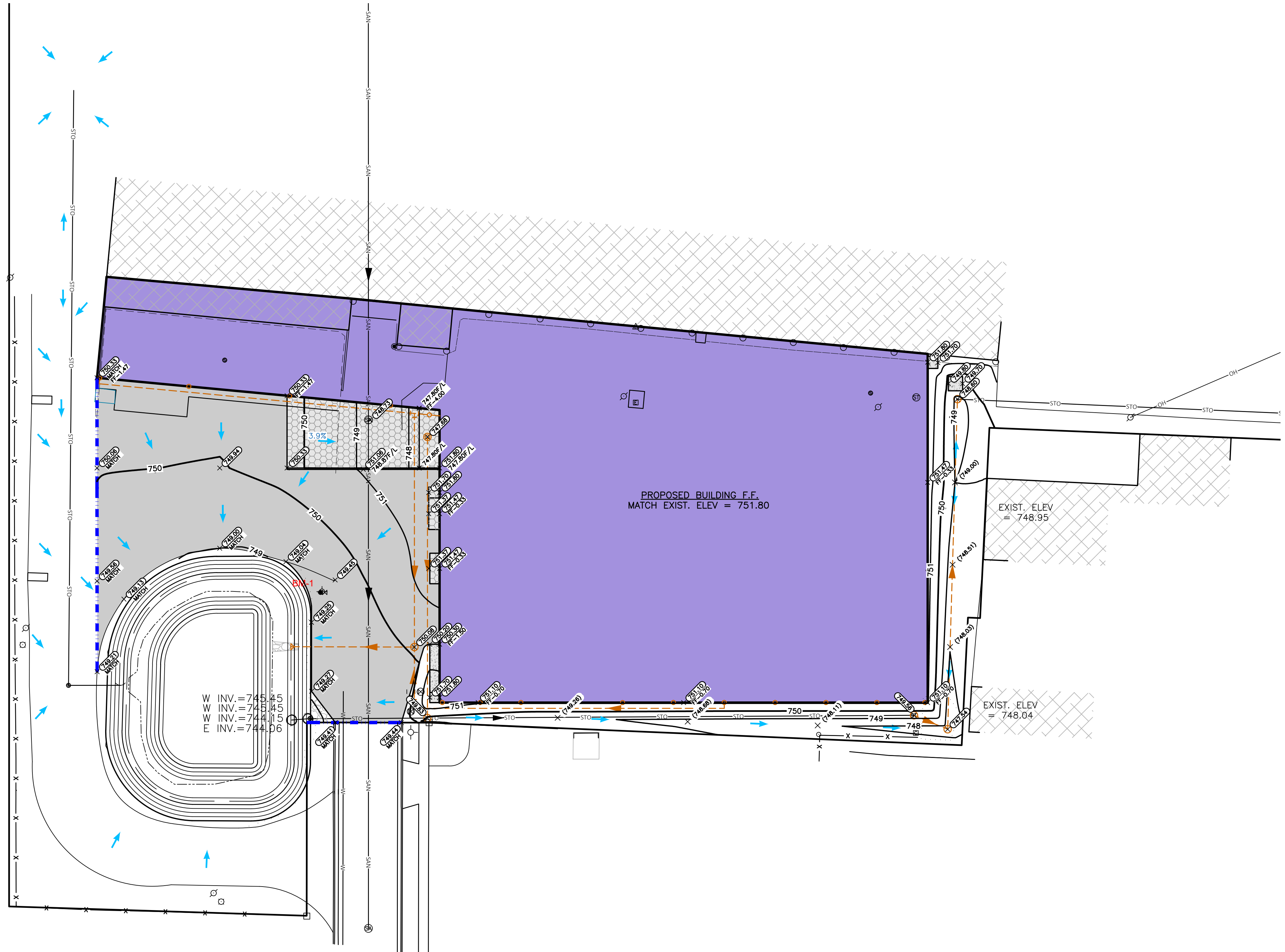
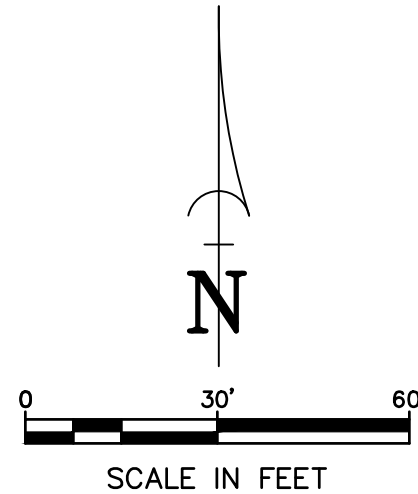
UTILITY LAYOUT PLAN
EGGERS SOUTH EXPANSION
CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

SCALE	DATE
BAR SCALE	06-18-2026
COMPUTER FILE	
Civil3D/Eng/1-2154-001de.dwg	



DRAWING NO.
C2.1

DRAINAGE PLAN



BENCHMARK DATA		
I.D.	DESCRIPTION:	ELEVATION:
BM-1	TAG BOLT ON HYDRANT	752.51
NAVD 88 DATUM		

DRAINAGE PLAN NOTES			
1.	THE LOCATION OF EXISTING UTILITY FACILITIES AS SHOWN ON THE PLAN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL HAVE ALL FACILITIES LOCATED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF A CONFLICT WITHIN THE WORK IS DISCOVERED.		
2.	ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE CITY OF NEENAH'S STANDARD SPECIFICATIONS, ALONG WITH THE LATEST EDITION OF THE STATE OF WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.		
3.	PER WI. ADMIN. CODE, COMM 21.12: THE FINISHED GRADE OF THE SOIL SHALL SLOPE AWAY FROM THE DWELLING AT A RATE OF AT LEAST 1/4-INCH PER FOOT FOR A MINIMUM DISTANCE OF 10 FEET, OR TO THE LOT LINE, WHICHEVER IS LESS.		
4.	THE LANDSCAPER SHALL UTILIZE THE PROPOSED ELEVATIONS. THE LANDSCAPER SHALL NOT GRADE UP TO ANY PEDESTAL OR ANY OTHER STRUCTURE TO DETERMINE ELEVATION.		
5.	THE CONTRACTOR AND/OR OWNER SHALL NOT PROCEED WITH CONSTRUCTION ACTIVITIES UNTIL APPROPRIATE PERMITS/APPROVALS ARE OBTAINED.		
6.	THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR CONSTRUCTION.		
7.	THE CONTRACTOR SHALL CLEAN UP ALL EXCESS MATERIAL AND DEBRIS CAUSED AS A RESULT OF WORK UNDER THIS CONTRACT.		
8.	CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE RESULTING FROM THE PERFORMANCE OF THE WORK UNDER THIS CONTRACT.		
9.	CONTRACTOR SHALL DISPOSE OF NON-SUITABLE MATERIAL OFF-SITE.		

DRAINAGE PLAN LEGEND			
	EXISTING CONTOUR		PROPOSED ELEVATION
	PROPOSED CONTOUR		PERTINENT DITCH OR SWALE ELEVATION
	STORM SEWER MAIN		EXISTING ELEVATION
	STORM MANHOLE		PROPOSED GROUND AT FOUNDATION
	2' x 3' PRECAST STORM INLET		DIRECTION OF DRAINAGE

TOPOGRAPHIC LEGEND		

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FIELDWORK	APPROVED	CHECKED	DRAWN BY	NO.	DATE
BHF	JWS	ALM	MMI	1	08/20/2026
				2	08/27/2026

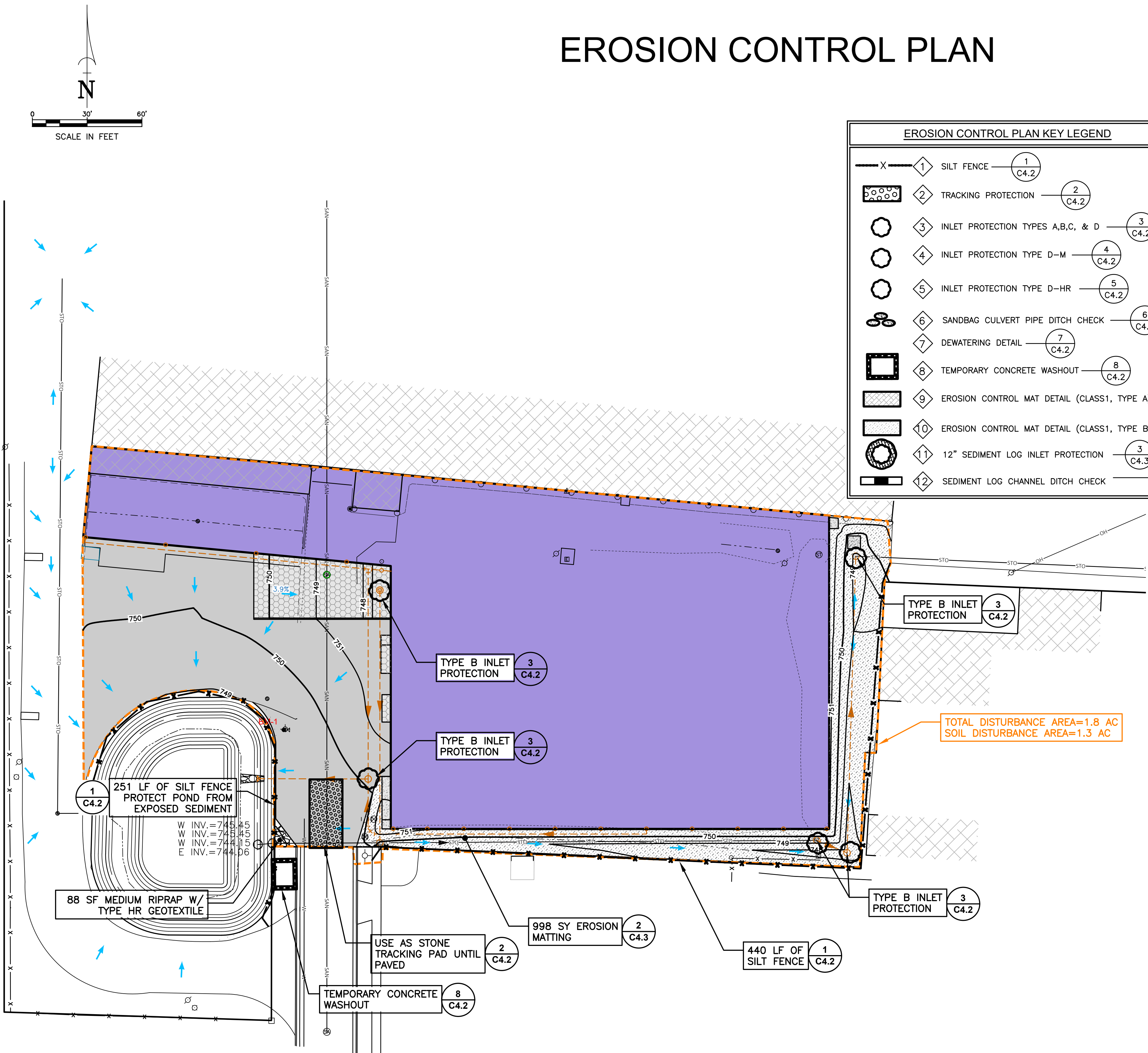
DRAINAGE PLAN
EGGERS SOUTH EXPANSION
CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

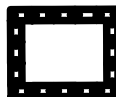
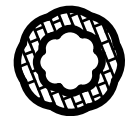
SCALE	DATE
BAR SCALE	06-18-2026
COMPUTER FILE	
Civil3D/Eng/1-2154-001de.dwg	



DRAWING NO.
C3.1

EROSION CONTROL PLAN



EROSION CONTROL PLAN KEY LEGEND			
		SILT FENCE	
		TRACKING PROTECTION	
		INLET PROTECTION TYPES A,B,C, & D	
		INLET PROTECTION TYPE D-M	
		INLET PROTECTION TYPE D-HR	
		SANDBAG CULVERT PIPE DITCH CHECK	
		DEWATERING DETAIL	
		TEMPORARY CONCRETE WASHOUT	
		EROSION CONTROL MAT DETAIL (CLASS1, TYPE A)	
		EROSION CONTROL MAT DETAIL (CLASS1, TYPE B)	
		12" SEDIMENT LOG INLET PROTECTION	
		SEDIMENT LOG CHANNEL DITCH CHECK	

EROSION CONTROL NOTES	
1.	THE CONTRACTOR SHALL INSTALL SILT FENCE AROUND THE PERIMETER OF THE PROJECT AS SHOWN ON THIS PLAN PRIOR TO ANY CONSTRUCTION INCLUDING STRIPPING TOPSOIL.
2.	ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL THE COMPLETION OF HIS CONTRACT.
3.	THE CONTRACTOR SHALL MAINTAIN SAID EROSION CONTROL DEVICES UNTIL THE COMPLETION OF HIS CONTRACT AND SHALL NOT REMOVE THE EROSION CONTROL DEVICES UNTIL VEGETATION IS ESTABLISHED.
4.	THE GRADING CONTRACTOR SHALL SEED AND MULCH ALL DISTURBED AREAS IMMEDIATELY WHEN FINAL GRADE IS ESTABLISHED. SEED MIXTURE SHALL BE ACCORDING TO THE SPECIFICATIONS.
5.	THE CONTRACTORS SHALL PREVENT TRACKING ON EXISTING STREETS. ANY SEDIMENT TRACKED ONTO EXISTING STREETS SHALL BE CLEANED UP DAILY.
6.	INSTALLATION AND MAINTENANCE OF EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS.
7.	SILT FENCES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AS SOON AS WORK IS COMPLETE IN THAT AREA.

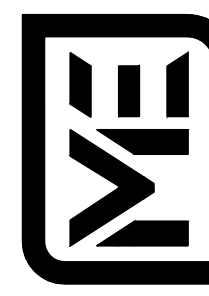
CONTRACTOR RESPONSIBILITIES	
1.	NOTIFY THE ENGINEER WITHIN 48 HOURS OF COMMENCING ANY LAND DISTURBING OR LAND DEVELOPMENT ACTIVITY.
2.	NOTIFY THE ENGINEER OF COMPLETION OF ANY EROSION CONTROL MEASURES WITHIN 3 DAYS AFTER COMPLETION.
3.	OBTAIN PERMISSION IN WRITING FROM THE ENGINEER PRIOR TO MODIFYING THE EROSION CONTROL PLAN.
4.	INSTALL ALL EROSION CONTROL MEASURES AS IDENTIFIED IN THE APPROVED EROSION CONTROL PLAN.
5.	REPAIR ANY SILTATION OR EROSION DAMAGE TO ADJOINING SURFACES AND DRAINAGE WAYS RESULTING FROM LAND DEVELOPING OR DISTURBING ACTIVITIES.
6.	MAINTAIN ALL ON- AND OFF- SITE STORM WATER DRAINAGE SYSTEMS AS IDENTIFIED ON THE EROSION CONTROL PLAN.
7.	REPAIR ANY EROSION CONTROL SYSTEM INSTALLED IN ACCORDANCE TO THE EROSION CONTROL PLAN.
8.	INSPECT THE CONSTRUCTED EROSION CONTROL MEASURES AFTER EACH RAIN OF 0.5 INCHES OR MORE AND AT LEAST ONCE EACH WEEK AND MAKE NEEDED REPAIRS.
9.	ALLOW THE ENGINEER TO ENTER THE SITE FOR THE PURPOSE OF INSPECTING COMPLIANCE WITH THE EROSION CONTROL PLAN OR FOR PERFORMING ANY WORK NECESSARY TO BRING THE SITE INTO COMPLIANCE WITH THE EROSION CONTROL PLAN.
10.	KEEP A COPY OF THE APPROVED EROSION CONTROL PLAN ON THE SITE.
11.	ALL AREAS BEING SEEDED SHOULD HAVE A MINIMUM OF 4 INCHES OF SUITABLE TOPSOIL.
12.	GRADING CONTRACTOR SHALL MAINTAIN EROSION CONTROL UNTIL TERMINATION NOTICE IS ISSUED.
13.	ALL DISTURBED AREAS SHALL BE RESTORED WITHIN 7 DAYS OF COMPLETION OF WORK WITHIN THESE AREAS. THIS INCLUDES SOIL STOCKPILES, WHICH SHALL BE STABILIZED BY MULCHING, TEMPORARY SEEDING, SODDING OR COVERING W/ TARPS.
14.	GRADE & GRAVEL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEVICES AFTER SITE STABILIZATION.

GENERAL NOTES	
1.	SITE DEWATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROLS DESIGNED FOR THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR RECEIVING CHANNELS. (NOT ANTICIPATED)
2.	WASTE AND MATERIAL DISPOSAL: ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED BY RUNOFF INTO A RECEIVING CHANNEL OR STORM SEWER SYSTEM.
3.	TRACKING: THIS SITE SHALL STABILIZE THE EXISTING DRIVE WITH 3\"/>
4.	DRAIN INLET PROTECTION: ALL ON-SITE STORM DRAIN INLETS AND THE IMPACTED DOWNSTREAM INLETS SHALL BE PROTECTED WITH THE CATCH-ALL CONFIGURATION. OFF-SITE CULVERTS SHALL BE PROTECTED WITH SAND BAG CULVERT CHECKS.
5.	EROSION MATTING: EROSION MATTING SHALL BE INSTALLED AFTER TOPSOIL IS PLACED AND SEEDING IS COMPLETE. MATERIAL LABELS AND MANUFACTURER INSTALLATION INSTRUCTIONS SHALL BE RETAINED UNTIL THE SITE HAS BEEN STABILIZED. IF THERE ARE SIGNS OF RILLING OR FAILURE, MORE STAPLES AND/OR ANCHORING TRENCHES SHALL BE INSTALLED. IF RILLING OR FAILURE PERSISTS, IMPACTED AREAS SHALL BE FILLED, RE-SEEDED AND MULCHED. CLASS I OR CLASS II - TYPE B PRODUCTS THAT INCORPORATE PHOTO- OR BIO-DEGRADABLE NETTING SHALL NOT BE INSTALLED AFTER SEPTEMBER 1ST OF ANY GIVEN YEAR.
6.	SEDIMENT CLEANUP: ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OTHER OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF LAND DISTURBING ACTIVITIES SHALL BE CLEANED UP BY THE END OF THE WORK DAY.
7.	DISTURBANCE TIMING: ALL ACTIVITIES ON THE SITE SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE AREA OF BARE SOIL EXPOSED AT ANY ONE TIME. EXISTING VEGETATION SHALL BE MAINTAINED AS LONG AS POSSIBLE.

TOPOGRAPHIC LEGEND	
[Symbol] 1\"/>	[Symbol] WATER STOP BOX
[Symbol] 1-1/4\"/>	[Symbol] WATER VALVE
[Symbol] P.C. NAIL SET	[Symbol] EXIST. STORM MANHOLE
[Symbol] 3/4\"/>	[Symbol] STORM INLET
[Symbol] 1\"/>	[Symbol] CATCH BASIN
[Symbol] 1-1/4\"/>	[Symbol] EXIST. SANITARY MANHOLE
[Symbol] 2\"/>	[Symbol] EXIST. SAN. SEWER
[Symbol] GOVERNMENT CORNER	[Symbol] EXIST. STORM. SEWER
[Symbol] BUSH/SHRUB	[Symbol] EXIST. WATER MAIN
[Symbol] CONIFEROUS TREE	[Symbol] EXIST. WETLAND LINE
[Symbol] DECIDUOUS TREE	[Symbol] EXIST. SPOT ELEVATION
[Symbol] TREE STUMP	[Symbol] CONTOUR W/ ELEVATION
[Symbol] WETLANDS	[Symbol] EXIST. TOP OF CURB ELEV.
[Symbol] FLAG POLE	[Symbol] EXIST. FLOW LINE ELEV.
[Symbol] STORM CLEANOUT	[Symbol] FIRST FLOOR = 000.00
[Symbol] SEPTIC VENT	[Symbol] BUILDING
[Symbol] SOIL BORING	[Symbol] CONCRETE PAVEMENT
[Symbol] WELL	[Symbol] ASPHALT PAVEMENT
[Symbol] GAS VALVE	[Symbol] GRAVEL
[Symbol] OVERHEAD POWER LINES	
[Symbol] UNDERGROUND ELECTRIC	
[Symbol] UNDERGROUND TELEPHONE	
[Symbol] UNDERGROUND FIBEROPTIC	
[Symbol] UNDERGROUND GAS	
[Symbol] UNDERGROUND CABLE TV	
[Symbol] EXIST. FENCE LINE	
[Symbol] RIPRAP	
[Symbol] POWER POLE	
[Symbol] LIGHT POLE	
[Symbol] SPOTLIGHT	
[Symbol] TELEPHONE PEDESTAL	
[Symbol] ELECTRIC PEDESTAL	
[Symbol] CABLE PEDESTAL	
[Symbol] GAS METER	
[Symbol] AIR CONDITIONER	
[Symbol] HAND HOLE	
[Symbol] GUARD POST	
[Symbol] DOWNSPOUT	
[Symbol] MAIL BOX	
[Symbol] EXIST. HYDRANT	

FOR PERMITTING REVIEW

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MM	ALM	ALM	JWS	BHF			
NO		DATE		NO		DATE	
1		08/20/2026					
2		08/27/2026					

EROSION CONTROL PLAN

EGGERS SOUTH EXPANSION

CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

SCALE

BAR SCALE

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DATE

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ABBY L. MASLANKA
E-48545
NEENAH, WI
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164 NORTH LAKE STREET
NEENAH,

PROPOSED FOR:

EGGERS DIVISION

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REVISIONS

1	04.30.2026	J.R.S.
2	07.28.2026	J.R.S.
3		
4		
5		
6		

PROJECT MANAGER:

S. WINTERFELDT

DESIGNER:

T. TISLAU

INTERIOR DESIGNER:

DRAWN BY:

J.R.S.

EXPEDITOR:

SUPERVISOR:

PRELIMINARY NO:

P26095

CONTRACT NO:

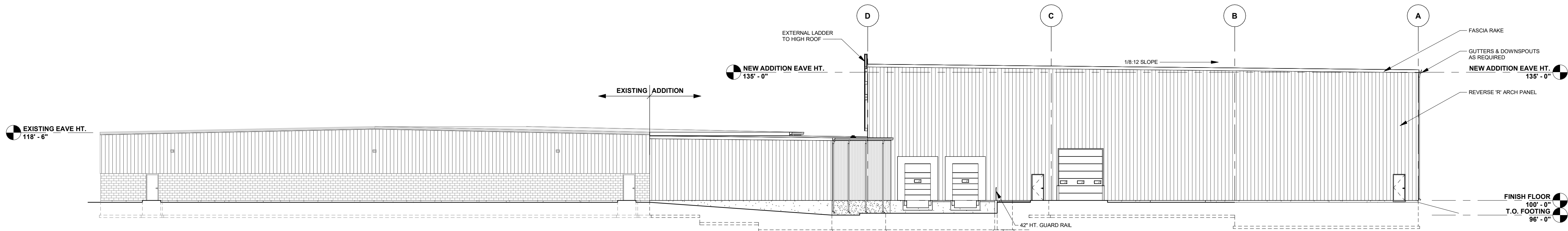
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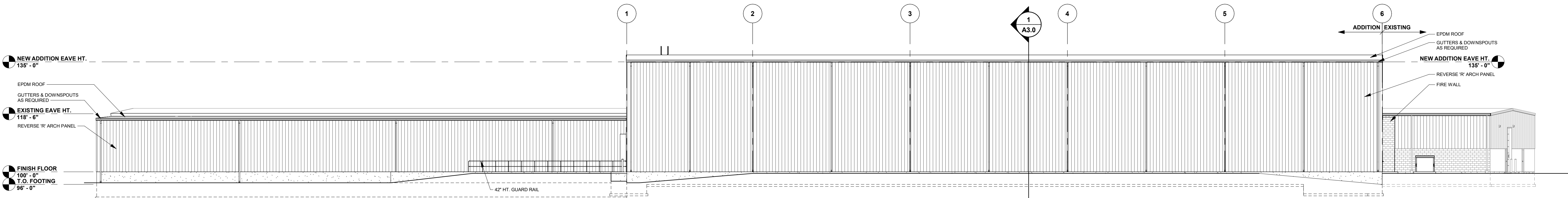
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PRELIMINARY - NOT FOR CONSTRUCTION



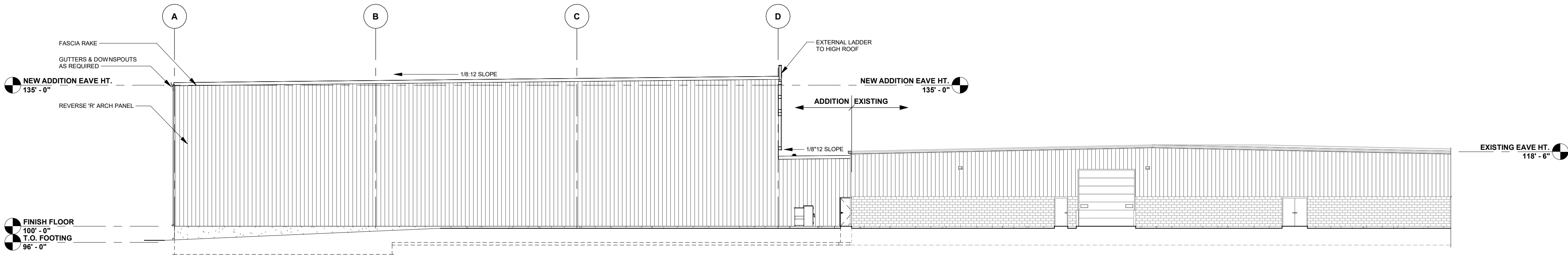
WEST ELEVATION

1/16" = 1'-0"



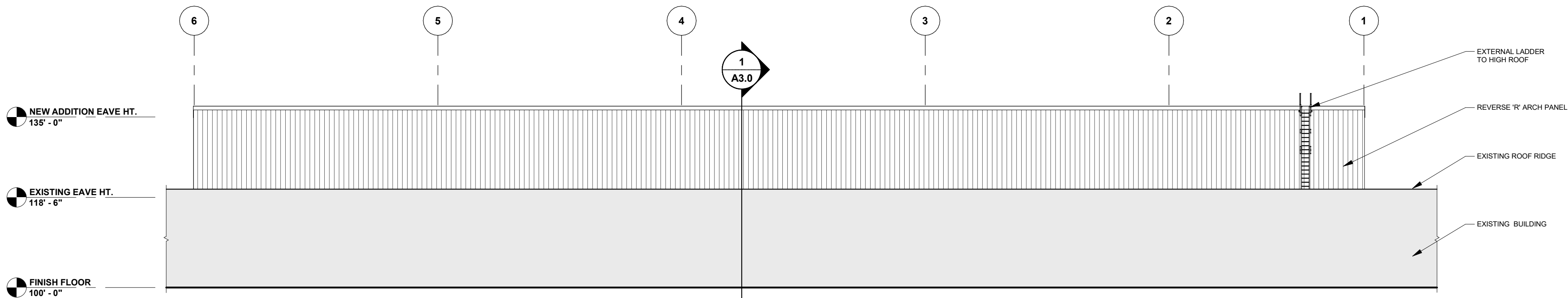
SOUTH ELEVATION

1/16" = 1'-0"



EAST ELEVATION

1/16" = 1'-0"



NORTH ELEVATION

1/16" = 1'-0"

DOOR & WINDOW VALUES			
WINDOWS:	U VALUE	0. --	
	SHGC	0. --	
	VT	0. --	
DOORS:	U VALUE	0.38	
(SWINGING)			
O.H. DOORS:	U VALUE	0.11	
(NON-SWINGING)			
DOORS:	U VALUE	0. --	
(90% GLAZING)	SHGC	0. --	
	VT	0. --	