



## NEENAH PLAN COMMISSION

February 7<sup>th</sup>, 2023

4:15 P.M.

Hauser Room, City Administration Building

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1. Approval of Minutes: **January 10, 2023**
2. Public Appearances (Ten minutes divided among those wishing to speak on topics pertinent to the Plan Commission)
3. Public Hearings:
  - a. **Special Use Permit #1-23** - 614 S. Green Bay Road - Vehicle Sales
4. Action Items:
  - a. **Special Use Permit #1-23** - 614 S. Green Bay Road - Automobile Sales and Tow Business (excluding tow lot)
  - b. **Site Plan #4-23** - 2001 Marathon Avenue - Multi-Family Residential Conversion
  - c. **CSM #1-23** - 2001 Marathon Avenue - 2 Lot CSM
  - d. **Project Plan Approval #1-23** - 1121 Westowne Drive - Chipotle Restaurant
5. Discussion Items: **None**
6. Announcements and future agenda items:
  - a. Next Meeting: February 21, 2023

*In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Neenah will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance, or reasonable accommodation in participating in this meeting or event due to a disability as defined under the ADA, please call the Community Development Department Administrative Assistant at 920-886-6125 or the City's ADA Coordinator at (920) 886-6106 or e-mail [attorney@ci.Neenah.wi.us](mailto:attorney@ci.Neenah.wi.us) at least 48 hours prior to the scheduled meeting or event to request an accommodation.*

**MINUTES OF THE NEENAH PLAN COMMISSION**  
**Tuesday, January 10, 2023**  
**4:15 p.m.**

**Present:**

Mayor Jane Lang, Chairperson	PRESENT	Gerry Kaiser, Director of Public Works	PRESENT	Sarah Moore-Nokes	PRESENT
Kate Hancock-Cooke	ABSENT	Karen Genett	PRESENT	Betsy Ellenberger	PRESENT
Gerry Andrews	PRESENT	Ald. Dan Steiner	PRESENT- BY PHONE		

**Also Present:**

Brad Schmidt, Deputy Director of Community Development	Kayla Kubat, Administrative Assistant	Chris Haese, Director of Community Development
Ald. Cari Lendrum	Chief Aaron Olsen	Brian Arnoldussen - ThedaCare
Paul Gauthier, Midwest Properties	Eric Akey- Construction Solutions	Trisha Akey- Construction Solutions
Todd Parker- Fish Fry Properties		

**Minutes:** MSC Andrews/Ellenberger, the Plan Commission to approve the November 29, 2022 meeting minutes. Member Moore-Nokes Abstain. Motion passed.

**Public Appearances:** Chairperson Mayor Lang opened public appearances to topics not related to the agenda. No one in attendance spoke. Chairperson Lang closed public appearances.

**Public Hearings:** None

**Action Items:**

**a. Site Plan #1-23-** 2111 Marathon Ave- Police Station Addition

The City of Neenah Police Department has submitted a site plan for a proposed building addition and parking lot modifications for property located at 2111 Marathon Avenue.

The Neenah Police Station is located on the southwest corner of Byrd Avenue and Marathon Avenue. Originally constructed in 1993, the property includes a 27,000 square-foot building, off-street parking lots, a cellular tower, skate park facility, and open space. The property is zoned R-1, Single-Family Residence District and the use of the site as a police station required approval of a special use permit in 1993.

The property is 4.0 acres in area and fronts Byrd Avenue, Marathon Avenue, and Joseph Street. The land directly west of the subject property is owned by the City and includes a dog park and a community garden. Land east and south of the subject property includes a mixture of residential dwellings, while land to the north and northwest is used for commercial and industrial purposes.

The submitted site plan proposes a 9,861 square-foot building addition on the south side of the existing building, reconfigured off-street parking on the southwest side of the building, and small parking expansion on the north side of the site. The building addition will include police training areas

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including a fitness center, a live weapons range, storage, and defense tactics and simulation training room.

Deputy Director Schmidt stated site plan meets all standard development requirements.

Member Andrews asked about the reduction in parking.

Chief Olson answered there will still be adequate parking both in the parking lot.

Member Andrews asked about any change in lighting.

Chief Olson stated the current free standing light poles will now be attached to the new addition.

**MSC Ellenberger/Moore-Nokes, the Plan Commission to approve the site plan for a building addition to the City's Police Station located at 2111 Marathon Avenue subject to the comments on the site plan review letter. All voting aye. Motion passed**

**b. Site Plan #2-23- 216 N. Commercial St- Change of Use**

A site plan has been submitted for a change of use of a property located at 216 N Commercial Street to establish a printing and sign business.

The subject property is located on the southwest corner of Forest Avenue and N. Commercial Street. The building is currently vacant and has been for a period exceeding 12 consecutive months, necessitating a site plan review.

The property is approximately 0.57 acres in size includes a building which is about 7,760 square feet in size. The one-story building was built in 1940 and used as a car dealership and most recently as a medical facility. The building is located along the north, east and west property lines. The remainder of the site includes a paved off-street parking lot with 32 parking stalls. Two driveways, one along N. Commercial Street and one along Bond Street, provide access to the site.

The subject property is zoned C-2, Central Business District and the proposed use is permitted in this district. The business will operate completely within the building and employ about eight people. Two bathrooms and two offices will be constructed, but most of the building will remain open and print equipment, tables, and storage will occupy the open space. With the exception of minor exterior building façade improvements, there is no proposed site work.

Due to the change of use, the City's Zoning Code requires the screening requirements in the Landscape Standards section to conform. It's unclear if the new business will store refuse collection bins outside the building. If they are stored outside the building, the refuse collection area must be screened with a 6-foot tall sight-tight fence or wall.

**MSC Ellenberger/Moore-Nokes, the Plan Commission to approve the site plan for a change of use to establish a print and sign business located at 216 N. Commercial Street subject to the conditions of the site plan review letter. All voting aye. Motion passed.**

**c. Site Plan #3-23- 2485 Schultz Dr- Building Addition**

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Eric and Trisha Akey, owners of Constructions Solutions of the Fox Valley, have submitted a site plan for a building addition located at 2485 Schultz Drive.

Construction Solutions of the Fox Valley, LLC, is a company in the Southpark Industrial Center which offers construction services. The business operates at 2485 Schultz on the west side of Schultz Drive and south of Jensen Road. The applicant is proposing to construct a 6,000 square-foot building expansion along the south of the existing building and additional parking along the east portion of the proposed building expansion. In addition, an equipment storage yard is proposed in the rear (west side) of the building which will be screened with a 6-foot tall sight-tight fence.

Deputy Director Schmidt stated the site plan meets or exceeds all necessary requirements. However, the refuse disposal will need a fence or screening as well as any storage. Also, all building permits will need to be applied for and issued.

The building addition will be located on the south side of the property and will be 6,000 square feet in size. The new building will be about 17 feet in height which is slightly taller than the existing building. The building will be constructed with metal paneling which is consistent with the existing building.

The proposed development is required to meet City post-construction stormwater management standards since the development disturbs over 20,000 square feet of land. The stormwater management plan accounts for the required stormwater quantity standards. City Staff reviewed the stormwater plan and has determined it meets City requirements.

**MSC Ellenberger/Moore-Nokes, the Plan Commission, to approve the site plan for a building addition at 2485 Schultz Drive subject to the Site Plan Review letter comments. All voting aye. Motion passed.**

Discussion Items: None

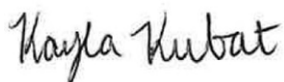
Announcements and Future Agenda Items:

- a. Discussions on zoning code changes
- b. Downtown Plan

Next meeting is January 24, 2023

**Adjournment:** The Commission adjourned its meeting at 4:30 p.m. MSC Ellenberger/Moores-Nokes. All Aye. Motion passes

Respectfully Submitted,



Kayla Kubat  
Administrative Assistant, Community Development



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**DATE:** February 7, 2023  
**TO:** Mayor Lang and Plan Commission  
**FROM:** Brad Schmidt, AICP, Deputy Director  
**RE:** Special Use Permit – 614 S Green Bay Road – Automobile Sales and Tow Business

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### **Request**

Miller Auto Towing and Recovery, LLC, is requesting a special use permit to operate an automobile sales and tow truck business located at 614 S Green Bay Road.

### **Consideration**

The subject site is currently vacant, but was most recently used as an auto detailing business. The subject site is about 0.65 acres in size and includes a small building on the west side of the property. The applicant has submitted a site plan the location of the vehicle sales area and customer and employee parking. No further modifications to the property are planned as part of this request. The tow business will only store/park tow trucks on the site. No impounded vehicles are permitted to be stored on the property. Minor repair to those vehicles may also occur on the site within the existing building. The property is zoned C-1, General Commercial District.

The C-1 zoning district requires this use to obtain a special use permit. Each zoning district includes a list of Permitted Uses or uses allowed by right and Special Uses or uses that possess special characteristics or uniqueness which require thorough review of their location and configuration relative to the surrounding neighborhood. Specifically, the City's Zoning Code requires that the Plan Commission consider the following findings when deciding on a Special Use:

1. The use shall be compatible with the adjacent land uses so that the existing uses will not be depreciated in value and there will be no deterrents to development of vacant land.
2. The use shall have an appearance that will not have an adverse effect upon adjacent properties.
3. The use shall be reasonably related to the overall needs of the City and to existing land use patterns.
4. The use will not cause traffic hazards or congestion.
5. The use shall have adequate utilities, access roads, drainage, and other necessary facilities.

The subject property is well suited for automobile sales as the property has been used as an auto-related business since it was constructed. The subject property shares access

from Green Bay Road with the property to the north. Traffic generated by this use will not have a negative impact on traffic safety or volume on Green Bay Road. The proposed use of the property as a tow business is not expected to impact surrounding properties as the tow business will impound and store vehicles at an off-site tow lot. In no case shall any vehicle be towed or stored to this property unless it's associated with the auto sales portion of the business. When tow trucks are not in use, they are expected to be parked in the rear or inside the building. In no case shall a tow truck be parked or stored in the front of the building along Green Bay Road.

As with all changes to the use of property, the Zoning Code standards related to landscaping must be reviewed. In this case, the frontage landscaping and screening standards must be brought into compliance. The frontage landscape standards require 1 shade tree and 6 shrubs for every 40 linear feet of frontage along a public road. In this case, the frontage is about 80 feet and a minimum of 2 shade trees and 12 shrubs are required to be planted between the front property line and ten feet onto the property. A landscape plan will need to be submitted prior to final occupancy is approved. In addition, any refuse collection areas must be screened with a minimum 6-foot tall sight-tight fence or wall.

The applicant did not submit any plans for exterior lighting. If the applicant does intend to install any exterior lighting, a lighting plan must be submitted to the Community Development Department for review prior to installation.

### **Recommendation**

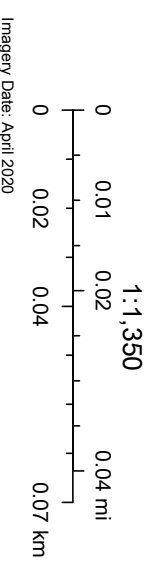
**Plan Commission finds that the proposed use meets the findings of fact for a Special Use Permit (Sec. 26-48) and recommends Common Council approve a Special Use Permit for an automotive sales and tow business located at 614 S Green Bay Road subject to the conditions of the Special Use Approval Letter.**

# Intranet GIS Web Map



1/31/2023, 12:38:34 PM

- Parcels, Winnebago County
- Railroad
- Pavement Edge
- Right-Of-Way
- Street Centerline
- Municipal Boundary





**City of Neenah Community Development**  
**211 Walnut Street**  
**Neenah WI 54956**  
**Ph 920.886.6130**

February 02, 2023

BRANDON MILLER  
MILLER AUTO TOWING AND RECOVERY  
2224 E MAIN ST  
OMRO, WI 54963

**RE: Special Use Permit #1-23 - 614 S Green Bay Road - Auto Sales/Tow Truck Business Special Use Review ()**  
**Status Approved**

Dear BRANDON MILLER:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt  
Deputy Director of Community Development and Assessment  
bschmidt@ci.neenah.wi.us  
920-886-6126

## Plan Review Comments

**Planning - Brad Schmidt -  
bschmidt@ci.neenah.wi.us**

**Approved**

**Review Comments:**

1. Provide a landscape plan showing a minimum of 1 shade tree and 12 shrubs located along the front property line (west). Shade trees must be planted with a minimum 2.5 inch caliper. The landscape plan should describe the type of plant, location, and size at planting.
2. If not already installed, the refuse collection area must be surrounded by a 6-foot tall sight-tight fence or wall.
3. The storage of towed vehicles, inoperable vehicles, damaged vehicles is strictly prohibited.
4. Tow trucks must be stored inside the building or in the rear of the property. In no case may tow trucks be stored/parked in front of the building along Green Bay Road.
5. The special use permit is limited to automobile sales and operation of a tow business. Any additional use of the property may require City approval. Please contact Community Development prior to establishing any additional use.
6. Any increase of pavement requires a paving permit and City review. Please contact Community Development prior to additions to paved areas.
7. A sign permit is required prior to installation of new signage (unless you are changing out a sign panel).
8. The City will not sign the DMV form for auto sales until these conditions have been satisfied.

**Engineering - Heath Kummerow - 920-886-6245  
hkummerow@ci.neenah.wi.us**

**Approved**

**Review Comments:**

**Fire Department - Adam Dorn - 886-6204  
adorn@ci.neenah.wi.us**

**Approved**

**Review Comments:**

**Inspections - Building Commercial - Kyle Pederson - 920-886-6131  
kpederson@ci.neenah.wi.us**

**Approved**

**Review Comments:**

**Traffic - James Merten - 920-886-6243  
jmerten@ci.neenah.wi.us**

**Approved**

**Review Comments:**

**Water Utility - Anthony Mach - 920-886-6180  
amach@ci.neenah.wi.us**

**Approved**

**Review Comments:**



# Neenah-Menasha Fire Rescue

Office of Adam J. Dorn

Assistant Chief of Fire Prevention / Fire Marshal

125 E. COLUMBIAN AVENUE, NEENAH, WI 54956

Phone: 920-886-6200 Fax: 920-886-6208 Website: [www.nmfire.org](http://www.nmfire.org) Email: [adorn@nmfire.org](mailto:adorn@nmfire.org)

Date: 01-18-2023  
Address: 614 S Green Bay Rd, Neenah, WI

**Re: Wisconsin DSPS Transaction ID No.: NOT PROVIDED**  
**Wisconsin Site ID No.: NOT PROVIDED**  
**Project No.: 614 S Green Bay Rd, Neenah – Change of Use**

To: Miller Auto Towing and Recovery

Neenah-Menasha Fire Rescue Fire Prevention Office has reviewed the site plans for the occupancy indicated above. The documents have been reviewed for conformance to the Wisconsin Department of Safety and Professional Services, IBC, NFPA, and Local ordinances of the Cities of Neenah and Menasha (as applicable). Prior to issuing any conditional approvals the review process requires the following stipulations:

1. A copy of this letter shall be given to the general contractor. The general contractor shall arrange for a pre-construction consultation regarding fire prevention and other safeguards. Failure to contact the Fire Prevention Office of Neenah-Menasha Fire Rescue may delay the project. Please call 920-886-6204 to schedule this consultation.
2. A Knox Box is required (if not already equipped) for this building and shall be installed on the exterior of the building and discuss the location with the Fire Marshal of Neenah-Menasha Fire Rescue. Also obtain a Knox key switch for the parking garage entrance, if applicable. These may be ordered online at [www.knoxbox.com](http://www.knoxbox.com).
3. If the construction area will have limited access due to construction fence or chained access, the contractor will be required to obtain a department approved Knox Padlock [Model 3770](http://www.knoxbox.com). This lock may be ordered online at [www.knoxbox.com](http://www.knoxbox.com). This padlock will be used as the last link in the chain with the construction padlock placed through the locked shackle.
4. Neenah-Menasha Fire Rescue advocates and strongly recommends the installation of a complete NFPA 13 compliant fire suppression system throughout the building. The fire suppression system shall be monitored by appropriate system.
5. Neenah-Menasha Fire Rescue advocates and strongly recommends the installation of a complete NFPA 72 compliant automatic fire alarm system throughout the building to best protect its occupants, if not already equipped.
6. The sprinkler contractor shall submit a set of DSPS approved plans and proper permit fees for installation of new or modification to all fire suppression systems. Note: 20 heads or less does not require DSPS review, if applicable.

7. The electrical contractor shall submit a set of DSPS approved plans and proper permit fees for installation of new or modification to all fire/smoke alarm systems. Note: 20 devices or less does not require DSPS review, if applicable.
8. Prior to occupancy operational and functional acceptance test reports for all fire protection, suppression and detection systems, elevator phase I & phase II operations, and fire/smoke dampers shall be submitted to Neenah-Menasha Fire Rescue, if applicable.
9. A copy of this letter and enclosures shall be given to the sprinkler and electrical contractor. Copies shall also be available on-site and open for inspection.
10. All other fire and life safety requirements as outlined by local, state, and national ordinances and codes must be adhered to.

The owner of the building, structure and premise is responsible for maintaining the property in compliance with all applicable codes. In granting this approval Neenah-Menasha Fire Rescue reserves the right to require changes or additions if conditions arise making them necessary for code compliance. Nothing in this review shall relieve the owner or designer of the responsibility for designing a safe building, structure or component.

You may direct all questions and concerns to this office.

Sincerely,

Adam J. Dorn  
Assistant Chief/ Fire Marshal  
920-886-6204  
adorn@nmfire.org

Cc: Building Department  
File

S GREEN BAY RD



33'+-

75.00'

614

Vehicle Display Area

6090000

Potential Vehicle Display Area

00.76'

80706100-

219.76'

Employee & Customer Parking

36'+-

119.29'



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## M E M O R A N D U M

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**DATE:** February 7, 2023  
**TO:** Mayor Lang and Plan Commission  
**FROM:** Brad Schmidt, AICP, Deputy Director  
**RE:** Site Plan Review – 2001 Marathon Avenue – Multi-Family Residential Conversion

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### **Request**

Park Place Holdings – Marathon Street, LLC, has submitted a request to convert a portion of the former KC South Office building, located at 2001 Marathon Avenue, into a multi-family development and construct detached garage structures.

### **Consideration**

The subject property, located along the northwest corner of Marathon Avenue and Byrd Avenue, is 20.80 acres in size and currently includes the former Kimberly-Clark South Office building and surface parking lots. The property was rezoned from I-2, General Industrial District to the C-1, General Commercial District in 2022. In addition to this site plan, the applicant is also proposing to subdivide the parcel into two small parcels. The parcel containing the proposed development will be reduced in size to 12.83 acres.

The applicant is proposing to convert the southern portion of the existing building into 58 multi-family dwelling units ranging in size from studio (efficiency) units up to two bedroom units. The project also includes tenant amenity space, storage units and gathering space. The total area of the building to be used as residential is approximately 76,000 square feet. The north portion of the building will continue to be used by Kimberly Clark. Both uses, office and multi-family residential are permitted uses in the C-1 District. Multi-family residential uses in the C-1 District follow the development standards in the M-1, Multi-Family Residence District.

### **Development Standards M-1, Multi-Family Residence District**

Front Yard Setback – 20 feet for buildings, 10 feet for parking (**321 Feet – Byrd Avenue**)  
Side Yard Setback – 10 feet (**22 feet – east property line, 33 feet – west property line**)  
Rear Yard Setback – 25 feet (**130 feet – north property line**)  
Accessory Structures (Garages) 3 feet (**10 feet**)

Total Open Space – 40% (**45%**)

### **Off-Street Parking**

Minimum Requirements (1.5 per Studio/1BR unit, 2 per 2BR unit) – 101 (**104**)

### **Landscaping**

*Frontage Landscaping* – 10-foot landscape strip along Byrd Avenue frontage and 1 shade tree and 6 shrubs per 40 lineal feet of frontage. 144 feet of frontage = 4 shade trees and 24 shrubs required

*Interior Landscaping* – A planting island or peninsula shall be provided in off-street parking areas at a rate of 1 island/peninsula for each row of 12 consecutive parking spaces. Each planting island/peninsula shall be a minimum of 180 square feet and include a minimum of 1 shade tree. This requirement would only apply to the proposed off-street parking along the southern portion of the property.

*Refuse Screening* – Visual screen around dumpster enclosure at least 6 feet in height and sight-tight in design.

*Landscaped Areas* – 0.20 canopy trees per dwelling unit, 0.40 ornamental trees per dwelling unit, and 1.50 shrubs per dwelling unit = 12 canopy trees, 24 ornamental trees, and 87 shrubs. Existing trees and shrubs can be used to meet the requirements of this standard.

Additional landscaping may want to be considered along the property line south of the southernmost garage and the adjoining off-street parking/storage lot. Landscaping would assist in buffering the adjacent industrial use from the proposed residential use.

### **Storm Water Management**

A storm water facility is proposed along the southern portion of the development along Byrd Avenue. The wet storm water pond will serve the proposed development and future development along the east portion of the property.

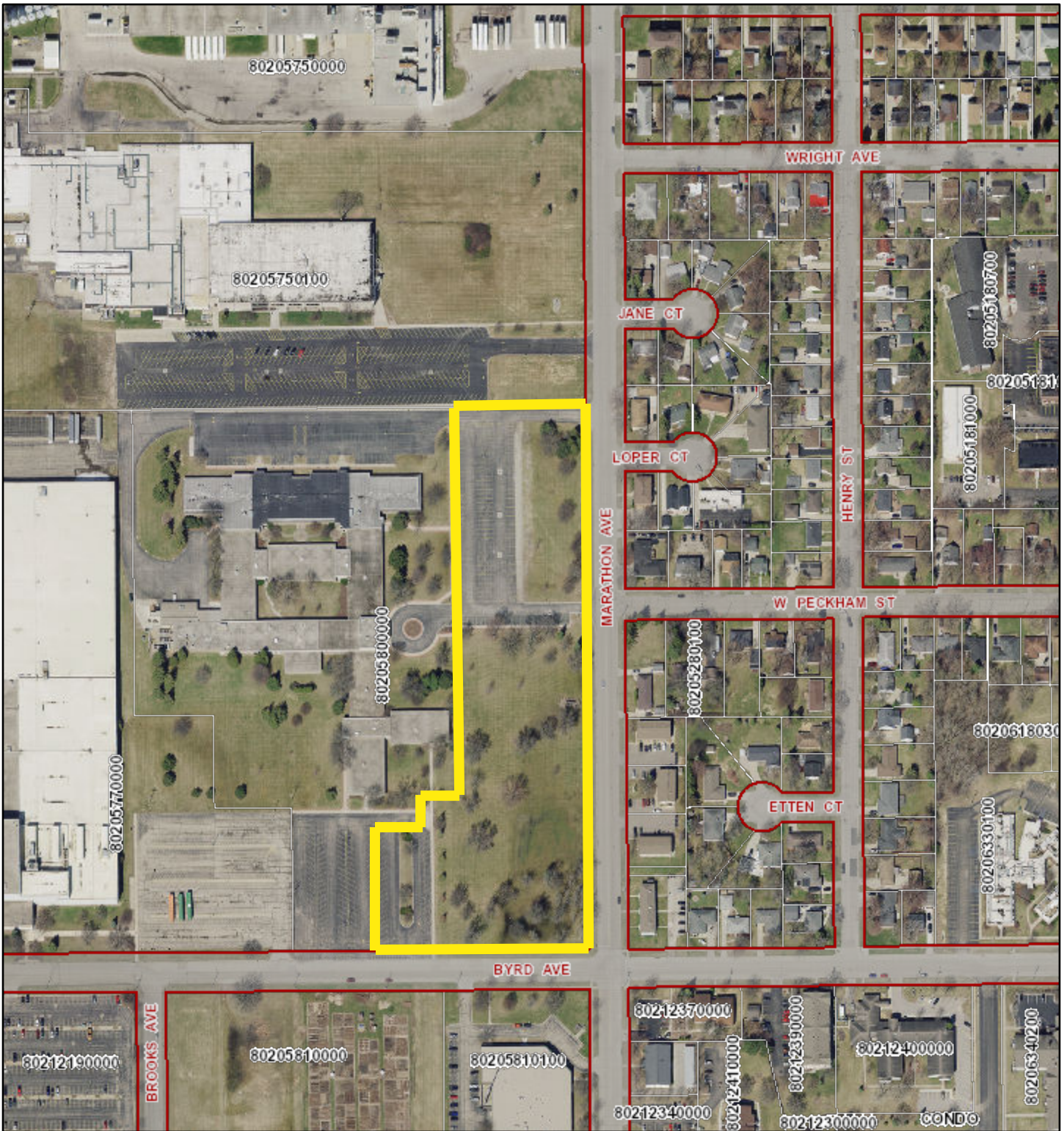
### **Building Elevations (Garages)**

The applicant is proposing three detached, multi-unit garage structures along the southern portion of the property. The three proposed garage structures include 66 individual parking stalls. The total height of the structures is about 15 feet with a wall height of 9 feet. The structures include vinyl siding and masonry veneer façade.

### **Recommendation**

**Appropriate action at this time is to approve the site plan for the conversion of the building, located at 2001 Marathon Avenue, to multi-family residential dwelling units subject to the comments on the site plan review letter.**

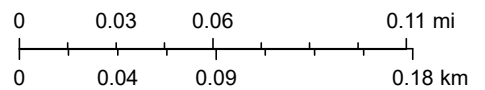
# Site Map



2/1/2023, 9:15:51 AM

1:3,458

- Adjacent Counties
- Lakes, Ponds and Rivers
- Navigable Waterways
- Navigable - Permanent (unchecked)
- Navigable - Intermittent (unchecked)
- Navigable - Stream (unchecked)
- Navigable - Permanent (checked)
- Navigable - Intermittent (checked)
- Navigable - Stream (checked)
- Tax Parcel Boundary
- Road ROW
- Municipal Boundary



Winnebago County GIS, Imagery Date: April 2020



**City of Neenah Community Development**  
**211 Walnut Street**  
**Neenah WI 54956**  
**Ph 920.886.6130**

February 03, 2023

COREY VANEVENHOVEN  
PARK PLACE HOLDINGS, LLC  
1674 EISENHOWER RD  
DE PERE, WI 54115

**RE: Site Plan #4-23 - 2001 Marathon Ave - Apartment Conversion\_Garages Site Plan - Major Review () Status  
Conditional**

Dear COREY VANEVENHOVEN:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any that must be addressed. This letter is not to be construed as a zoning compliance, grading, or building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt  
Deputy Director of Community Development and Assessment  
bschmidt@ci.neenah.wi.us  
920-886-6126

## Plan Review Comments

**Fire Department - Adam Dorn - 886-6204**  
**adorn@ci.neenah.wi.us**

**Conditional**

**Review Comments:**

I spoke with Brad McMerid of MACH IV Engineering today (01-25-2023) and we went over the requirements that have been outlined in the NMFR Site Plan Review Letter. In order for the project to move forward from NMFR side, there needs to be a turn around at the end of the north most drive, all turning radiuses need to be a minimum of 35 feet (inside diameter), fire lane needs to be marked, and there needs to be two fire hydrants added to the property.

**Inspections - Building Commercial - Kyle Pederson - 920-886-6131**  
**kpederson@ci.neenah.wi.us**

**Approved**

**Review Comments:**

**Planning - Brad Schmidt -**  
**bschmidt@ci.neenah.wi.us**

**Approved**

**Review Comments:**

1. Submit a landscape plan showing the location of existing and proposed plantings, type of proposed plantings, and size of proposed plantings.
2. Frontage landscaping - 1 shade tree and 6 shrubs for each 40 linear of feet of frontage (exluding driveway openings) along Byrd Avenu (144 feet) - 4 shade trees and 24 shrubs within the green space along the front property line.
3. Refuse Collection Screening - Submit a detailed drawing of the type of screening around the refuse collection area. A minimum of a 6-foot tall sight-tight fence/wall is required.
4. Interior Landscaping - A minimum of one planting peninsula is required in parking lots for every 12 consectuive parking stalls. Each peninsula is required to be 180 square feet and include one shade tree. This only applies to the proposed parking near the detached garages on the south portion of the property.
5. Multi-Family Development plantings - A minimum of 0.2 canopy trees per unit (12 canopy trees), 0.4 ornamental trees per unit (24 ornamental trees) and 1.5 shrubs per unit (87 shurbs) are required. Existing plantings and trees can count towards this requirement.
6. Please remove the existing asphalt on the parking lot east of the proposed storm water pond creating a 10-foot wide frontage landscape strip along Byrd Avenue. The area from the curb to the front property line and an additional 10 feet north of teh front property line shall be maintained as grass.
7. Additional landscaping may want to be considered along the property line south of the southernmost garage and the adjoining off-street parking/storage lot. Landscaping would assist in buffering the adjacent industrial use from the proposed residential use.
8. Any future development or conversion of the existing office use into residential will require site plan review.

**Engineering - Heath Kummerow - 920-886-6245**  
**hkummerow@ci.neenah.wi.us**

**Approved**

**Review Comments:**

**Community Development - Chris Haese -**  
**chaese@ci.neenah.wi.us**

**Approved**

**Review Comments:**

**Inspections - Plumbing/HVAC Commercial - Daniel Brown - 920-886-6133**  
**dbrown@ci.neenah.wi.us**

**Approved**

**Review Comments:**

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**Public Works - Gerry Kaiser -  
gkaiser@ci.neenah.wi.us**

**Approved**

**Review Comments:**

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**Traffic - James Merten - 920-886-6243  
jmerten@ci.neenah.wi.us**

**Conditional**

**Review Comments:**

(1) Reconstructed driveway aprons should be designed and constructed to include 5' ADA-compliant sidewalk along the right-of-way line. This only affects the westerly Byrd Avenue driveway per the current plan.

(2) Pavement within the road right-of-way that does not serve as a driveway should be removed. Specifically, the pavement adjacent to the Byrd Avenue curb in the remaining portion of the south parking lot should be sawed and removed. The existing pavement can remain at the driveway opening.

**Advisory Comments:**

Development site should account for pedestrian access to the street network, not just vehicle access. The current plans show the existing sidewalk that extends from the building to Marathon Avenue, which appears to remain in place. However, the existing sidewalk shown on page C1.1 along the east side of the south parking lot (connecting the building to Byrd Avenue), does not exist in the rest of the plans. Is this an error or intent to remove the sidewalk?

Recommend to maintain the existing private sidewalk connections between the building and public streets and to install public sidewalk along Byrd and Marathon connecting the private sidewalk to the public sidewalk network.

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**Water Utility - Anthony Mach - 920-886-6180  
amach@ci.neenah.wi.us**

**Approved**

**Review Comments:**

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# Neenah-Menasha Fire Rescue

Office of Adam J. Dorn

Assistant Chief of Fire Prevention / Fire Marshal

125 E. COLUMBIAN AVENUE, NEENAH, WI 54956

Phone: 920-886-6200 Fax: 920-886-6208 Website: [www.nmfire.org](http://www.nmfire.org) Email: [adorn@nmfire.org](mailto:adorn@nmfire.org)

Date: 01-25-2023  
Address: 2001 Marathon Ave, Neenah, WI

**Re: Wisconsin DSPS Transaction ID No.: NOT PROVIDED**  
**Wisconsin Site ID No.: NOT PROVIDED**  
**Project No.: 1939-01-22**

To: Park Place Holdings – Marathon Street, LLC  
Mach IV Engineering and Surveying, LLC

Neenah-Menasha Fire Rescue Fire Prevention Office has reviewed the site plans for the occupancy indicated above. The documents have been reviewed for conformance to the Wisconsin Department of Safety and Professional Services, IBC, NFPA, and Local ordinances of the Cities of Neenah and Menasha (as applicable). Prior to issuing any conditional approvals the review process requires the following stipulations:

1. A copy of this letter shall be given to the general contractor. The general contractor shall arrange for a pre-construction consultation regarding fire prevention and other safeguards. Failure to contact the Fire Prevention Office of Neenah-Menasha Fire Rescue may delay the project. **Please call 920-886-6204 to schedule this consultation.**
2. A Knox Box is required (if not already equipped) for this building and shall be installed on the exterior of the building and discuss the location with the Fire Marshal of Neenah-Menasha Fire Rescue. Also obtain a Knox key switch for the parking garage entrance, if applicable. These may be ordered online at [www.knoxbox.com](http://www.knoxbox.com).
3. If the construction area will have limited access due to construction fence or chained access, the contractor will be required to obtain a department approved Knox Padlock [Model 3770](http://www.knoxbox.com). This lock may be ordered online at [www.knoxbox.com](http://www.knoxbox.com). This padlock will be used as the last link in the chain with the construction padlock placed through the locked shackle.
4. Neenah-Menasha Fire Rescue advocates and strongly recommends the installation of a complete NFPA 13 compliant fire suppression system throughout the building. The fire suppression system shall be monitored by appropriate system.
5. Neenah-Menasha Fire Rescue advocates and strongly recommends the installation of a complete NFPA 72 compliant automatic fire alarm system throughout the building to best protect its occupants, if not already equipped.
6. The sprinkler contractor shall submit a set of DSPS approved plans and proper permit fees for installation of new or modification to all fire suppression systems. Note: 20 heads or less does not require DSPS review, if applicable.

7. The electrical contractor shall submit a set of DSPS approved plans and proper permit fees for installation of new or modification to all fire/smoke alarm systems. Note: 20 devices or less does not require DSPS review, if applicable.
8. Prior to occupancy operational and functional acceptance test reports for all fire protection, suppression and detection systems, elevator phase I & phase II operations, and fire/smoke dampers shall be submitted to Neenah-Menasha Fire Rescue, if applicable.
9. A copy of this letter and enclosures shall be given to the sprinkler and electrical contractor. Copies shall also be available on-site and open for inspection.
10. Additional fire hydrants shall be installed:
  - a. Near the southwest corner southernmost part of the building, near the retention pond.
  - b. At the western most end of the north most proposed driveway.
  - c. Hydrants and water supply systems must be installed to meet all applicable local, state and national standards/ordinances.
11. All turning radiuses, for the drivable surfaces, must be of the following dimension:
  - a. 35 foot inside turning radius.
  - b. 55 foot outside turning radius.
12. The proposed driveway, off of Byrd Ave to the North, shall:
  - a. Be designated and marked as a fire lane.
  - b. Be a minimum of 26 feet in width, and shall be maintained free of all impediments, including snow, at all times.
  - c. Shall meet the turning radius requirements in point number 12.
13. The north most drive shall be required to provide a turnaround at the end of the driveway.
  - a. The turnaround must meet the requirements set forth in the 2021 IFC, Appendix D, Section D103.
14. All other fire and life safety requirements as outlined by local, state, and national ordinances and codes must be adhered to.

The owner of the building, structure and premise is responsible for maintaining the property in compliance with all applicable codes. In granting this approval Neenah-Menasha Fire Rescue reserves the right to require changes or additions if conditions arise making them necessary for code compliance. Nothing in this review shall relieve the owner or designer of the responsibility for designing a safe building, structure or component.

You may direct all questions and concerns to this office.

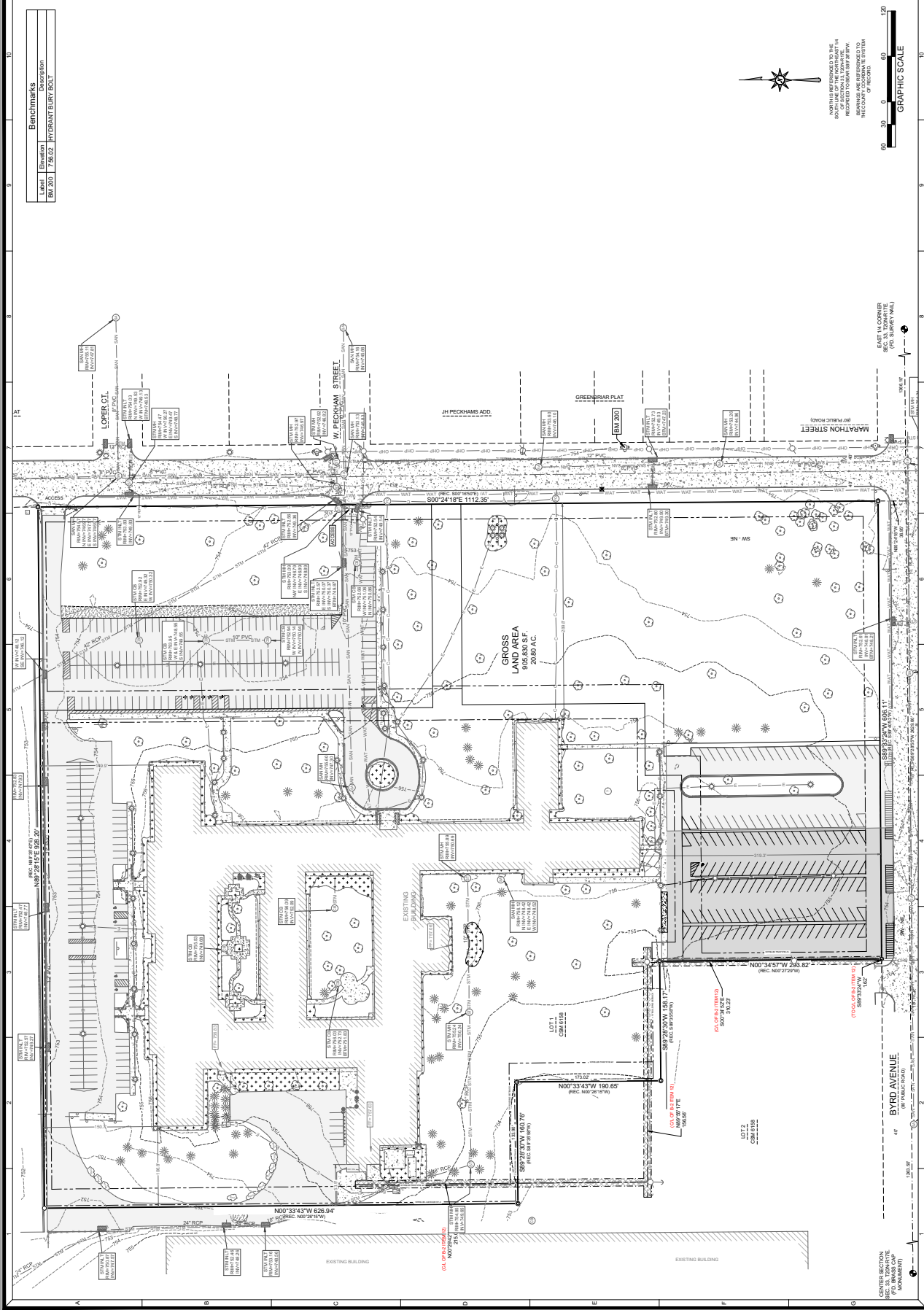
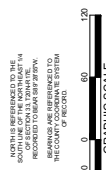
Sincerely,

Adam J. Dorn  
Assistant Chief/ Fire Marshal  
920-886-6204  
adorn@nmfire.org

Cc: Building Department  
File



Benchmarks	Label	Elevation	Description
	BM 2001	7.56.02	HYDRANT BURY BOLT





NO.	REVISION DESCRIPTION

DATE: NOVEMBER 22, 2022
DRAWN BY: RPH, EJM
CHECKED BY:
PROJECT NO.: 1939-01-22
DRAWING NUMBER
SHEET NUMBER

**OWNER**  
PARK PLACE HOLDINGS-MARATHON STREET, LLC  
1674 EISENHOWER ROAD  
DE PERE, WI 54115

**SHEET KEY NOTES:**

- 1 STANDARD DUTY ASPHALT: SEE DETAIL A SHEET C6.0
- 2 STOOFF LOCATION: REFER TO ARCHITECTURAL DRAWINGS
- 3 DUMPSTER PAD: SEE DETAIL B SHEET C6.0
- 4 DUMPSTER ENCLOSURE: REFER TO ARCHITECTURAL DRAWINGS
- 5 CONCRETE SIDEWALK: SEE DETAIL C SHEET C6.0
- 6 3" CONCRETE VALLEY GUTTER: SEE DETAIL D SHEET C6.0
- 7 BOLLARD: SEE DETAIL E SHEET C6.0
- 8 ADA HANDICAP STALL PAVEMENT MARKINGS: SEE DETAIL F SHEET C6.0
- 9 ADA HANDICAP SIGN: SEE DETAIL G SHEET C6.0
- 10 4" WIDE PAINT STRIPE: COLOR BY OWNER
- 11 FUTURE GARAGE
- 12 FUTURE SURFACE PARKING
- 13 CURB & GUTTER: MATCH EXISTING
- 14 RESTORE CONCRETE PAVEMENT: MATCH EXISTING PAVEMENT SECTION

**SITE STATISTICS**

2001 MARATHON STREET  
PARCEL ADDRESS: 80025800000  
PARCEL NUMBER: 606,830 SF (20.80 AC)  
PARCEL SIZE: CT: GENERAL COMMERCIAL DISTRICT

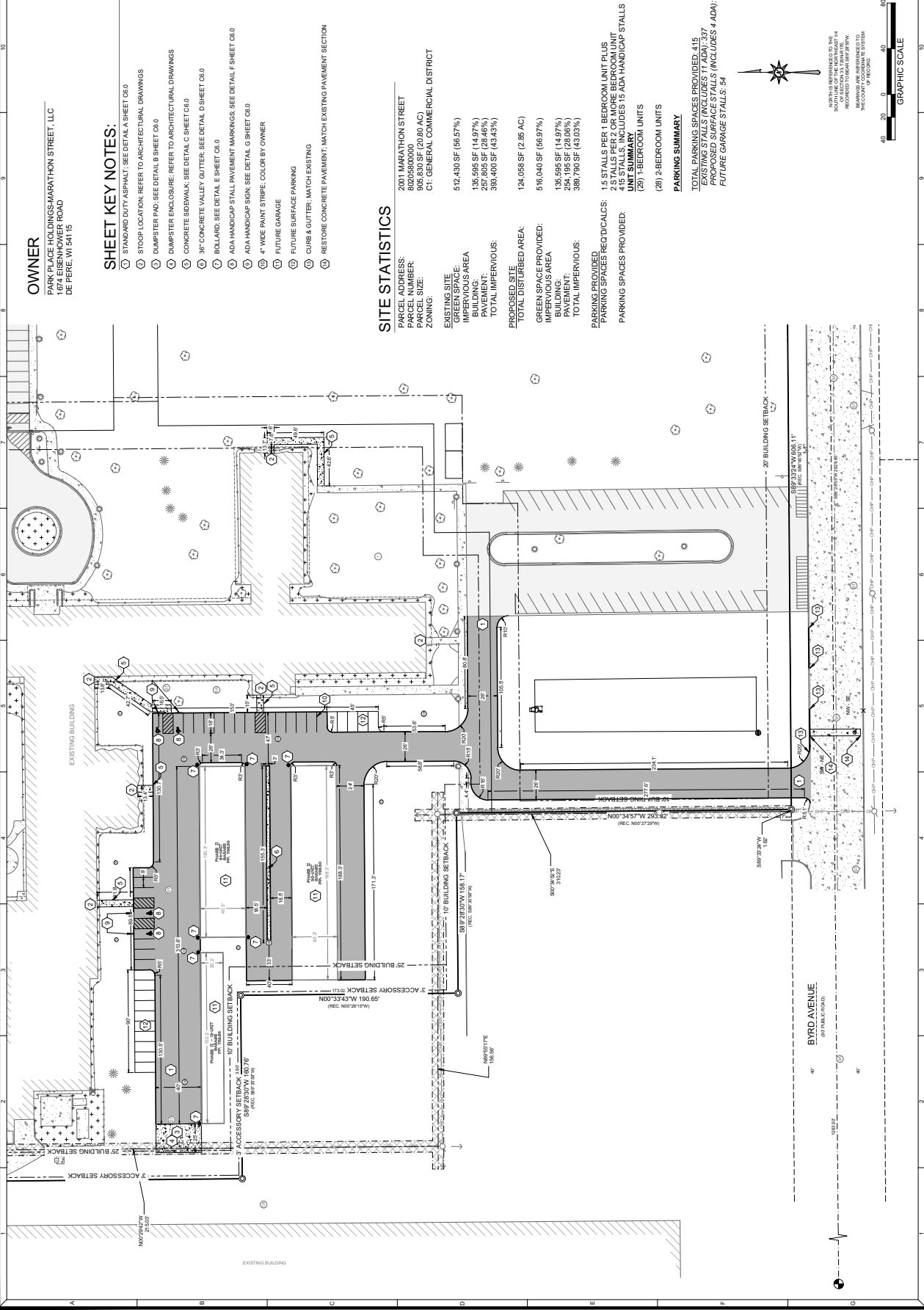
**EXISTING SITE**  
GREEN SPACE: 512,430 SF (66.97%)  
IMPERVIOUS AREA: 136,596 SF (14.97%)  
PAVEMENT: 257,895 SF (28.46%)  
TOTAL IMPERVIOUS: 398,490 SF (43.43%)

**PROPOSED SITE**  
TOTAL DISTURBED AREA: 124,088 SF (2.85 AC)  
GREEN SPACE PROVIDED: 516,040 SF (66.97%)  
IMPERVIOUS AREA: 136,596 SF (14.97%)  
PAVEMENT: 257,895 SF (28.46%)  
TOTAL IMPERVIOUS: 398,790 SF (43.93%)

**PARKING PROVIDED:**  
PARKING SPACES RECALCULATED: 15 STALLS PER 1 BEDROOM UNIT PLUS  
23 STALLS PER 2 OR MORE BEDROOM UNIT  
TOTAL STALLS: INCLUDES 15 ADA HANDICAP STALLS

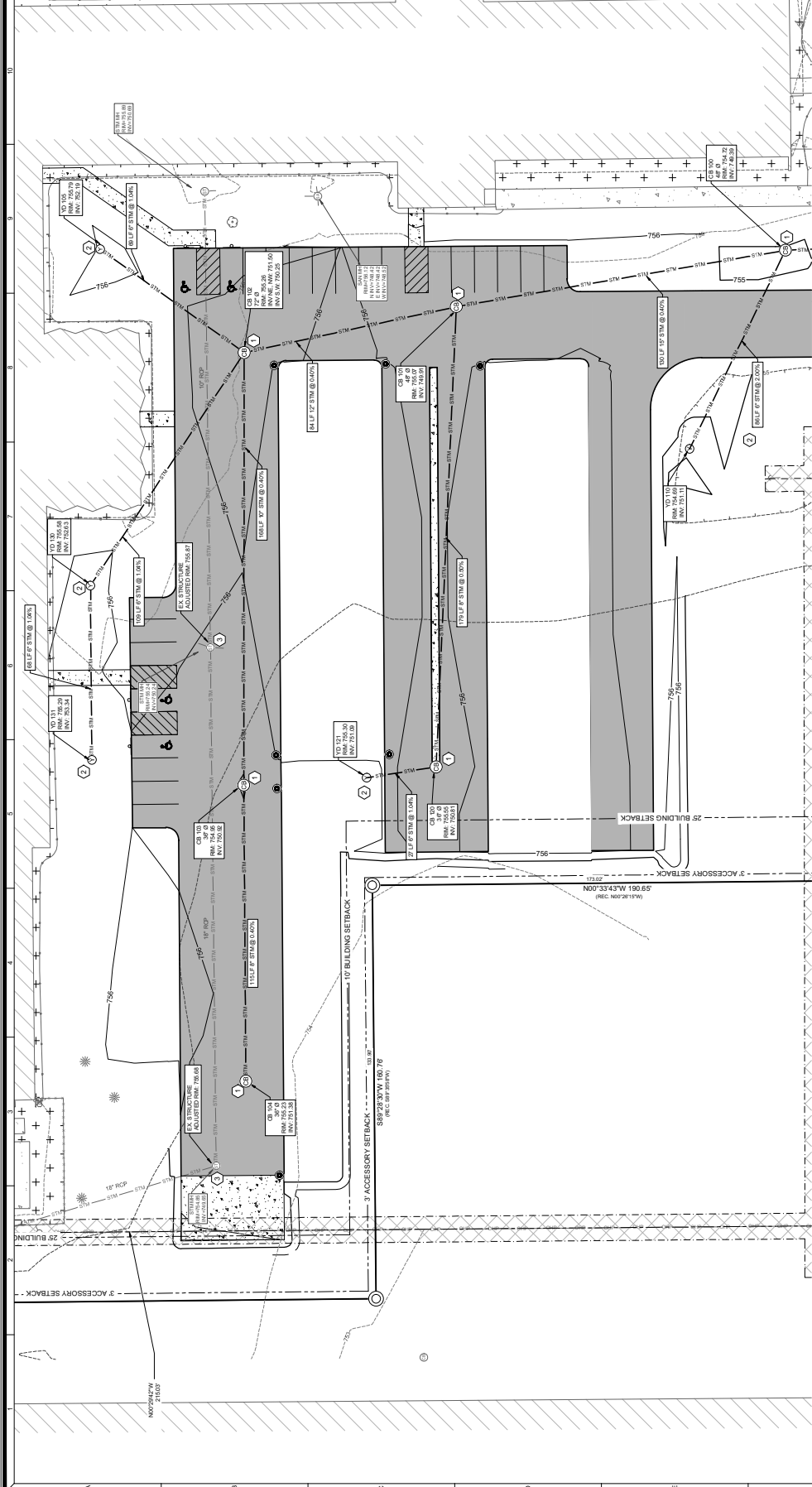
**PARKING SPACES PROVIDED:**  
UNIT SUMMARY  
(28) 1-BEDROOM UNITS  
(28) 2-BEDROOM UNITS

**PARKING SUMMARY**  
TOTAL PARKING SPACES PROVIDED: 415  
EXISTING STALLS (INCLUDES 11 ADA): 337  
PROPOSED SURFACE STALLS (INCLUDES 4 ADA): 24  
FUTURE GARAGE STALLS: 54



NO.	REVISION DESCRIPTION

DATE: NOVEMBER 22, 2022  
 DRAFTED BY: RPH, EJM  
 CHECKED BY:  
 PROJECT NO.: 1939401-22  
 DRAWING NUMBER  
 SHEET NUMBER



**Benchmarks**

Label	Elevation	Description
BM 2001	736.02	HYDRANT BURY BOLT

SEE SHEET C1.0 FOR BENCH-MARK LOCATION

**SHEET KEY NOTES:**

- 1. STORM INLET: SEE DETAIL A SHEET C08.1
- 2. YARD DRAIN: SEE DETAIL B SHEET C08.1
- 3. MODIFY EXISTING STRUCTURE RISE/ELEVATION: SEE SHEET C4.1

**UTILITY NOTES:**

1. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES" AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
2. STORM SEWERS SHALL BE PVC SDR 35 (ASTM D 3034) OR SCH 40.
3. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
4. CONNECTIONS TO MUNICIPAL SYSTEMS SHALL BE IN ACCORDANCE WITH THE RESPECTIVE STANDARD SPECIFICATIONS.

NO.	REVISION DESCRIPTION

DATE: NOVEMBER 22, 2022
DRAWN BY: RPH, ELM
CHECKED BY:
PROJECT NO.: 1939-01-22
DRAWING NUMBER
SHEET NUMBER

Label	Elevation	Description
BM 2001	7.56.02	HYDRANT BURY BOLT

SEE SHEET C1.9 FOR BENCHMARK LOCATION

**SHEET KEY NOTES:**

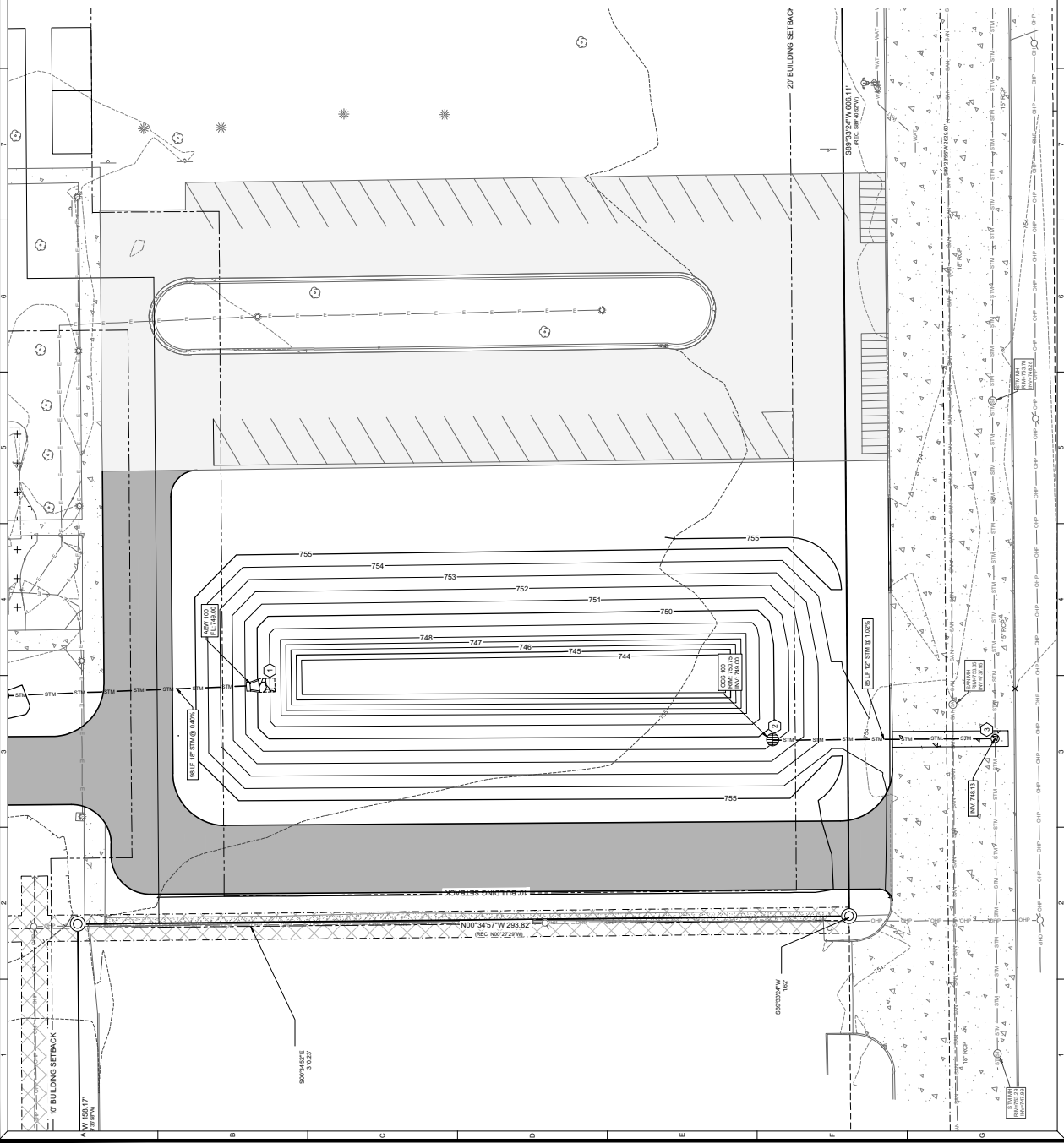
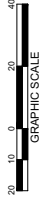
- 1 ENERGY DISSIPATOR, SEE DETAIL G SHEET C6.1
- 2 OUTLET CONTROL STRUCTURE, SEE DETAIL C SHEET C6.1
- 3 CONFLICT MANHOLE OVER EXISTING STORM SEWER, SEE DETAIL H SHEET C6.1

**UTILITY NOTES:**

1. ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF STANDARD SPECIFICATIONS FOR PUBLIC WORKS IN WISCONSIN AND THE MUNICIPALITY'S STANDARD SPECIFICATIONS.
2. STORM SEWERS SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
3. NOTIFY THE MUNICIPALITY THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.
4. CONNECTIONS TO MUNICIPALITY SYSTEMS SHALL BE IN ACCORDANCE WITH THEIR STANDARD SPECIFICATIONS.

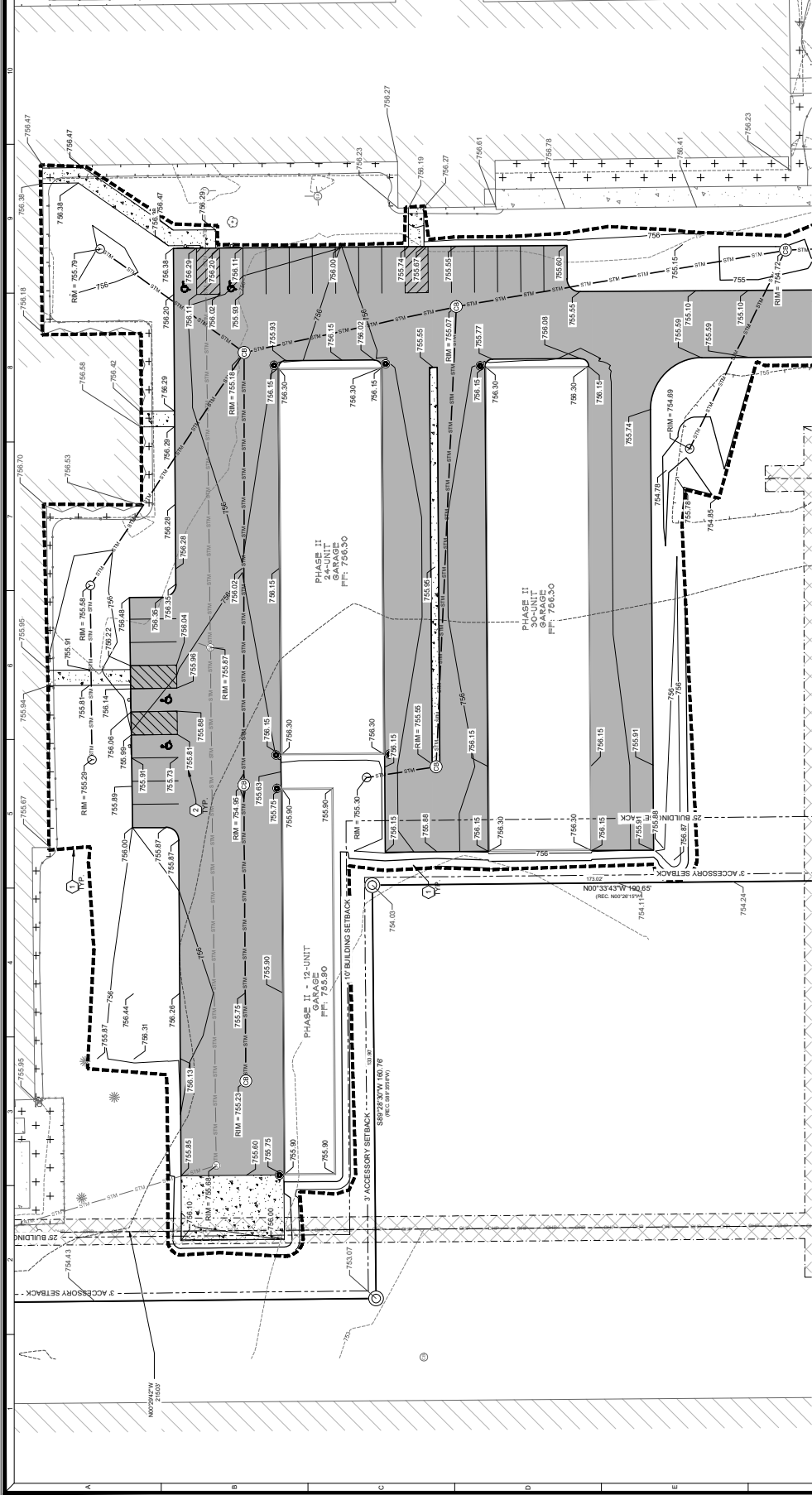


NOTHING REFERENCED TO THE RIGHT OF THIS SHEET IS TO BE CONSIDERED TO BE A PART OF THIS DRAWING UNLESS REFERENCED TO AS SUCH BY A NOTE OR RECORD OF RECORD



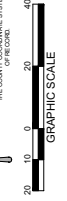
NO.	REVISION DESCRIPTION

DATE: NOVEMBER 22, 2022
DRAWN BY: RPH, EJM
CHECKED BY:
PROJECT NO.: 1939-01-22
DRAWING NUMBER
SHEET NUMBER



Label	Elevation	Description
BM 200	756.02	HYDRAUNT BURY BOLT

SEE SHEET C1.0 FOR BENCHMARK LOCATION



**SHEET KEY NOTES:**

- CONSTRUCTION GRADING LIMITS
- ⊙ SPOT GRADE; SEE DETAIL A THIS SHEET

- 756.45 — TOP OF CURB/WALL
- 755.95 — GUTTER/PAVEMENT
- 755.55 — FINISHED GRADE
- 756.27 — EXISTING GRADE



NO.	REVISION DESCRIPTION

DATE: NOVEMBER 22, 2022  
 DRAFTED BY: RPH, EJM  
 CHECKED BY:  
 PROJECT NO.: 1039401-22  
 DRAWING NUMBER  
 SHEET NUMBER

Label	Elevation	Description
BM 2001	756.02	HYDRANT BURY BOLT

SEE SHEET C1.9 FOR BENCHMARK LOCATION

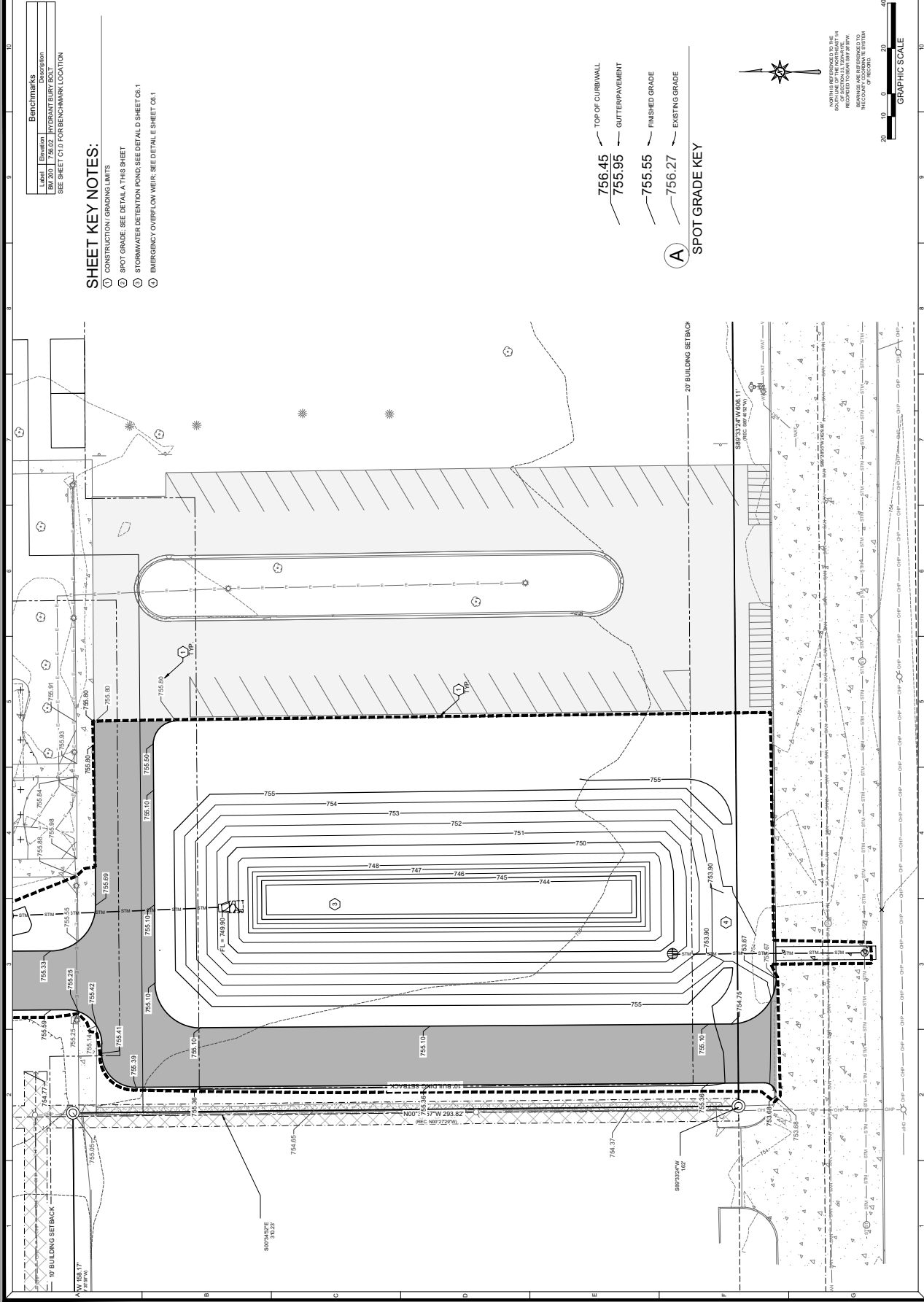
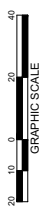
**SHEET KEY NOTES:**

- 1 CONSTRUCTION / GRADING LIMITS
- 2 SPOT GRADE: SEE DETAIL A THIS SHEET
- 3 STORMWATER DETENTION POND: SEE DETAIL D SHEET C6.1
- 4 EMERGENCY OVERFLOW WEIR: SEE DETAIL E SHEET C6.1

- 756.45 — TOP OF CURB/WALL
  - 755.95 — GUTTER/PAVEMENT
  - 755.55 — FINISHED GRADE
  - 756.27 — EXISTING GRADE
- A** SPOT GRADE KEY



NOTHING REFERENCED TO THE  
 RIGHT OF THE SHEET IS TO BE  
 RECORDED TO THE PUBLIC RECORD  
 UNLESS SPECIFICALLY NOTED  
 OTHERWISE



2001 MARATHON STREET

CALEB HAYED ENTERPRISES

EROSION CONTROL PLAN

NO.	REVISION DESCRIPTION

DATE: NOVEMBER 22, 2022
DRAWN BY: RPH, EJM
CHECKED BY:
PROJECT NO.: 1939-01-22
DRAWING NUMBER
SHEET NUMBER

C5.0 OF 11

- SHEET KEY NOTES:**
- ① INLET PROTECTION: SEE DETAIL A SHEET C5.1
  - ② CLASS B STABILIZATION: SEE EROSION CONTROL MAT WITH E-STAPLES; SEE DETAIL C SHEET C5.1
  - ③ SILT FENCE: SEE DETAIL B SHEET C5.1
  - ④ STONE TRACKING PAD: SEE DETAIL B SHEET C5.1
  - ⑤ TEMPORARY STOCKPILE LOCATION

**PLANNED EROSION CONTROL PRACTICES:**

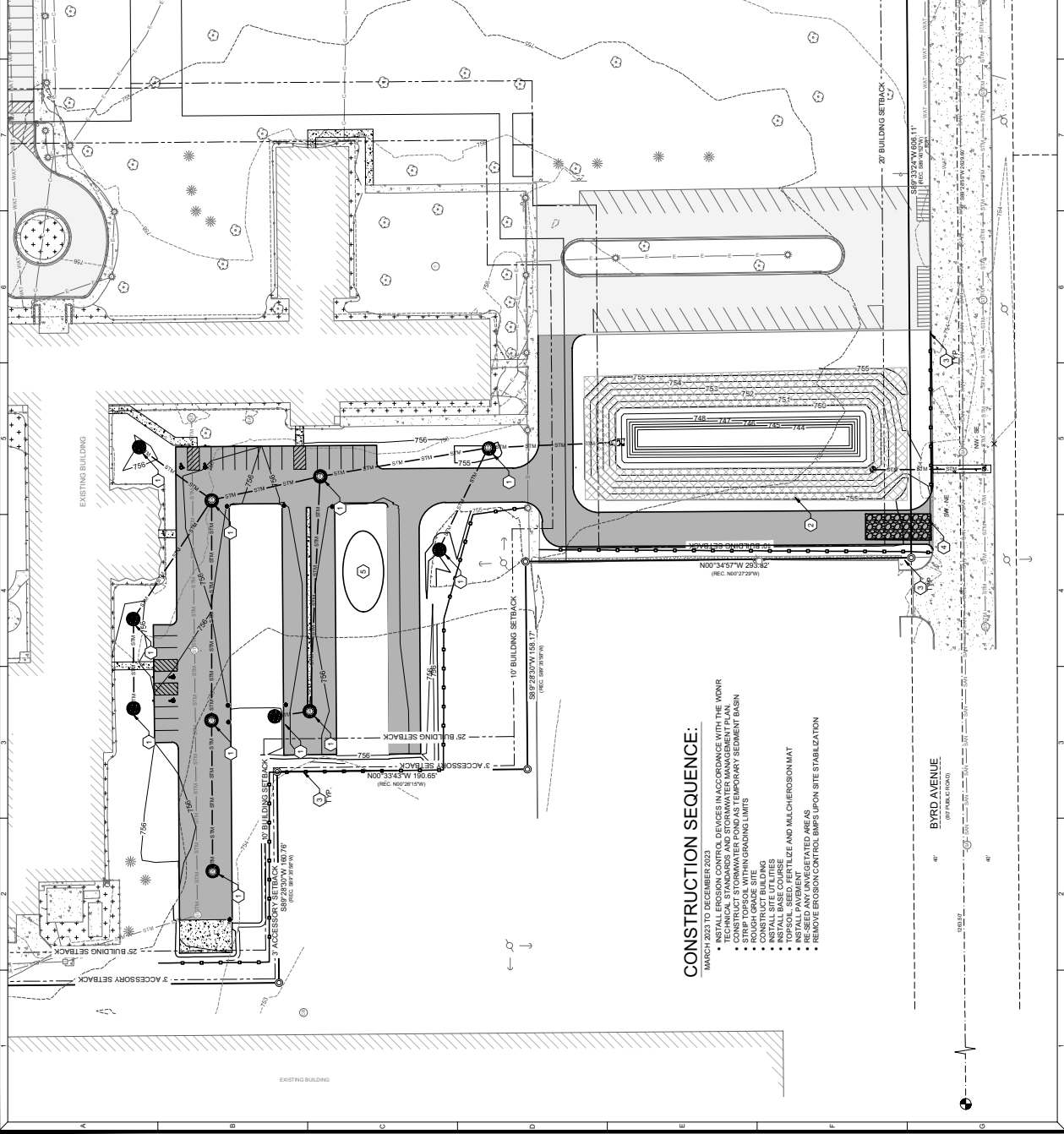
1. SILT FENCES WILL BE INSTALLED DOWN-SLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED DOWN-SLOPE TO A CONCRETE SILT TRAP, THE SILT FENCE WILL BE INSTALLED ON ONE SHOWN SIDE OF THE SILT TRAP.
2. INLET PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWN STREAM FROM ANY DISTURBED AREAS.
3. EROSION CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL BUREAU OF REVENUE (BUREAU) STANDARD 107.1. UNLESS OTHERWISE NOTED, ALL CONSTRUCTION ACCESS POINTS SHALL BE INSTALLED IN AREAS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW BUREAU OF REVENUE (BUREAU) STANDARD 107.1. UNLESS OTHERWISE NOTED, SLOPES SHALL BE MAINTAINED AT OR BETTER THAN THE MAINTAINED SLOPE. SLOPES SHALL BE MAINTAINED FROM WATER GENERATED DURING DOWN-DRAINING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.
4. STOCKPILES OF TEMPORARY FILL PILES SHALL BE REQUIRED AROUND ALL STOCKPILES OF TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN USE FOR 30 DAYS OR MORE SHALL BE COVERED WITH A VEGE-TATIVE COVER OR SLOTTED SOD MAT. SLOTTED SOD MAT SHALL BE USED FOR STOCKPILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN USE FOR 30 DAYS OR MORE. SLOTTED SOD MAT SHALL BE USED FOR STOCKPILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN USE FOR 30 DAYS OR MORE. SLOTTED SOD MAT SHALL BE USED FOR STOCKPILES OF MORE THAN 10 CUBIC YARDS THAT WILL BE IN USE FOR 30 DAYS OR MORE.
5. TEMPORARY CONSTRUCTION ENTRANCE MAT SHALL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS. ALL CONSTRUCTION ACCESS POINTS SHALL BE INSTALLED IN AREAS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW BUREAU OF REVENUE (BUREAU) STANDARD 107.1. UNLESS OTHERWISE NOTED, SLOPES SHALL BE MAINTAINED AT OR BETTER THAN THE MAINTAINED SLOPE. SLOPES SHALL BE MAINTAINED FROM WATER GENERATED DURING DOWN-DRAINING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.

**MAINTENANCE PLAN:**

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES WILL BE CHECKED FOR OPERABILITY AND OPERATED EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 1.0 INCHES OF RAINFALL. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
3. SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER CHANNELS WILL BE RESEED AND MAINTAINED AS NECESSARY TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER. RESEEDING SHALL BE NECESSARY TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER. RESEEDING SHALL BE NECESSARY TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER. RESEEDING SHALL BE NECESSARY TO MAINTAIN A VIGOROUS DENSE VEGETATIVE COVER.
4. EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE PRACTICES THAT HAS MIGRATED OFF-SITE ON TO ADJACENT PROPERTIES SHALL BE SWEEP OFF AND REMOVED FROM VEGETATED AREAS SHALL BE KEPT ON-SITE.
6. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE BUREAU OF REVENUE (BUREAU) STANDARD 107.1. UNLESS OTHERWISE NOTED, SLOPES SHALL BE MAINTAINED AT OR BETTER THAN THE MAINTAINED SLOPE. SLOPES SHALL BE MAINTAINED FROM WATER GENERATED DURING DOWN-DRAINING ACTIVITIES PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE.
7. PERSONS DOING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

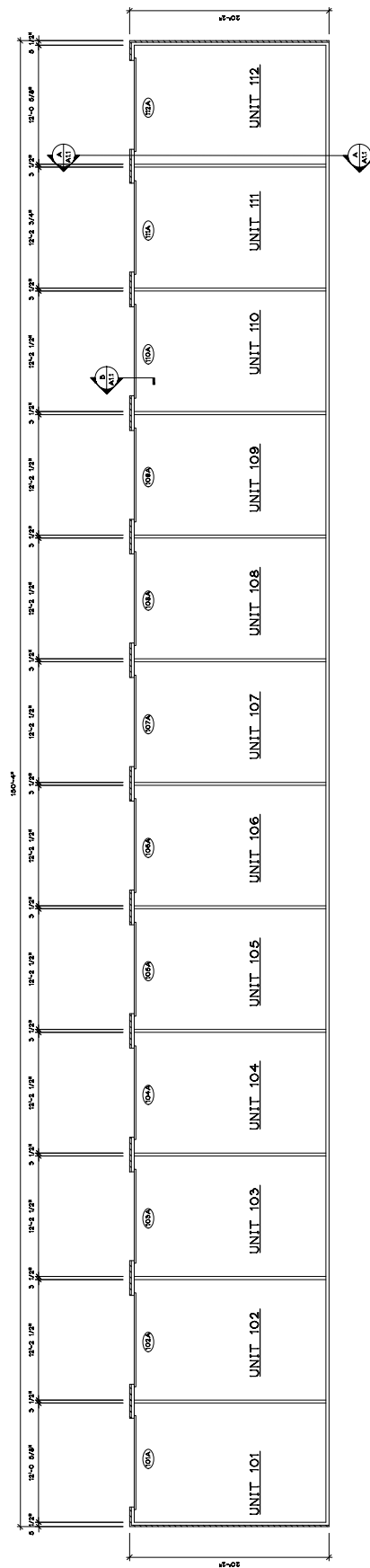
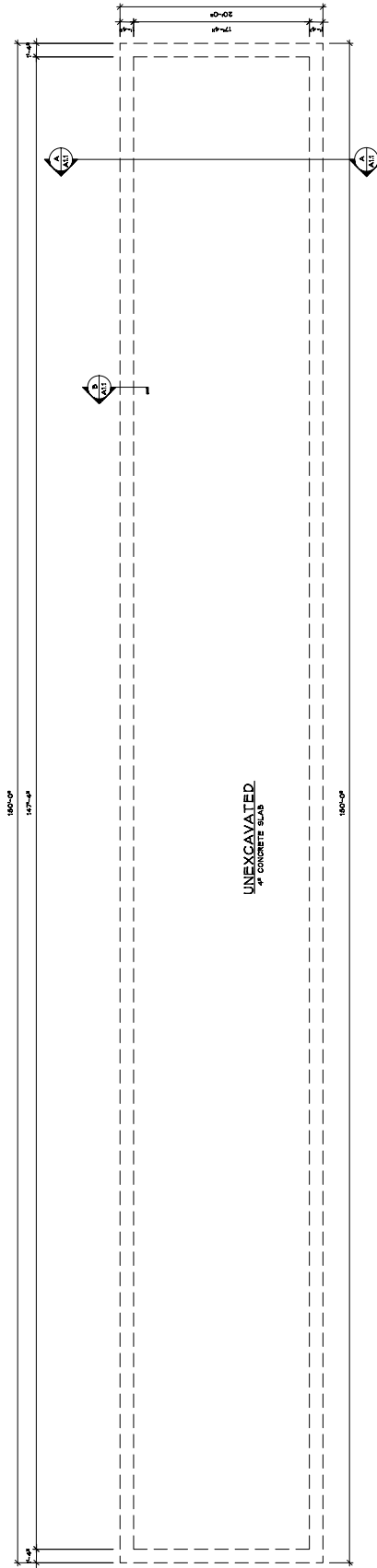
**CONSTRUCTION NOTES:**

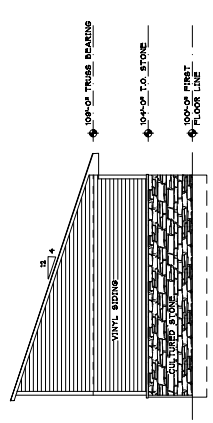
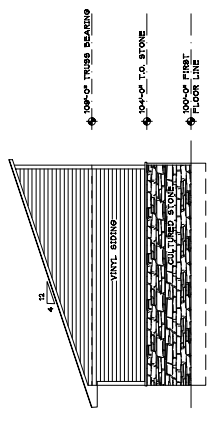
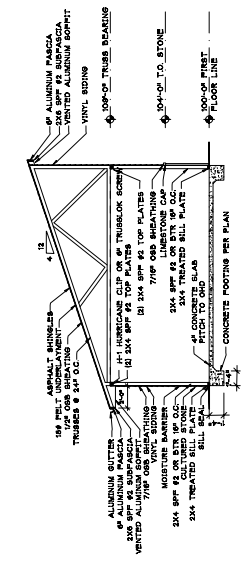
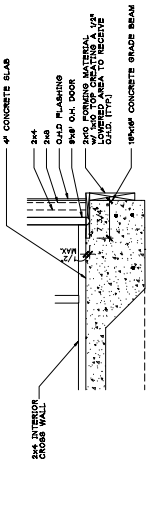
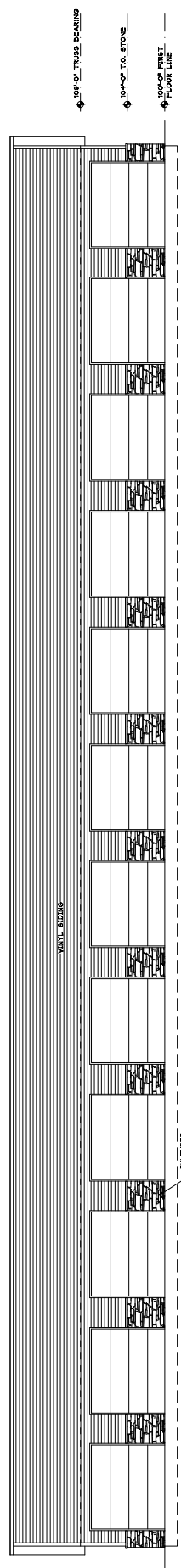
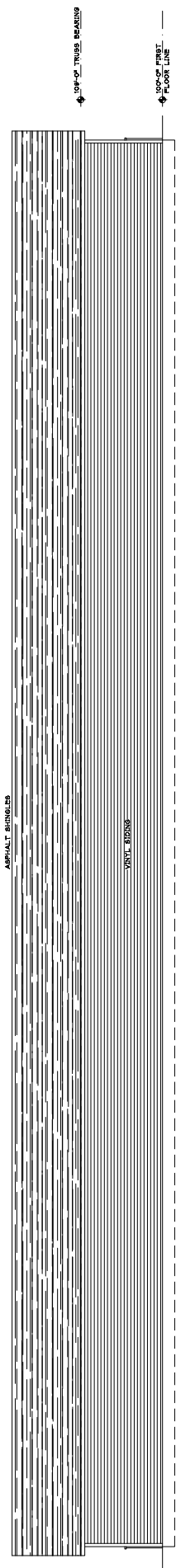
1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED. A MINIMUM OF 6" OF TOPSOIL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
2. EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
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7. EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.



**CONSTRUCTION SEQUENCE:**

- MARCH 2023 TO DECEMBER 2023
- INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH THE WDMR TECHNICAL STANDARDS AND STORM WATER MANAGEMENT PLAN
  - MAINTAIN EROSION CONTROL DEVICES THROUGHOUT CONSTRUCTION
  - STRIP TOPSOIL WITHIN GRADING LIMITS
  - ROUGH GRADE SITE
  - INSTALL SITE UTILITIES
  - INSTALL BASE COURSE
  - INSTALL PAVEMENT
  - RESEED ANY UNVEGETATED AREAS
  - REMOVE EROSION CONTROL DEVICES UPON SITE STABILIZATION





**DOOR & FRAME SCHEDULE**

NO.	DESCRIPTION	TO	FR	HW	MATERIAL	HAND	JR	HARDWARE	FUNCTION	FINISH	FINISH	FINISH	FINISH	REMARKS
1	DOOR	001	002	001	001	001	001	001	001	001	001	001	001	001
2	DOOR	001	002	001	001	001	001	001	001	001	001	001	001	001
3	DOOR	001	002	001	001	001	001	001	001	001	001	001	001	001
4	DOOR	001	002	001	001	001	001	001	001	001	001	001	001	001
5	DOOR	001	002	001	001	001	001	001	001	001	001	001	001	001
6	DOOR	001	002	001	001	001	001	001	001	001	001	001	001	001
7	DOOR	001	002	001	001	001	001	001	001	001	001	001	001	001
8	DOOR	001	002	001	001	001	001	001	001	001	001	001	001	001
9	DOOR	001	002	001	001	001	001	001	001	001	001	001	001	001
10	DOOR	001	002	001	001	001	001	001	001	001	001	001	001	001

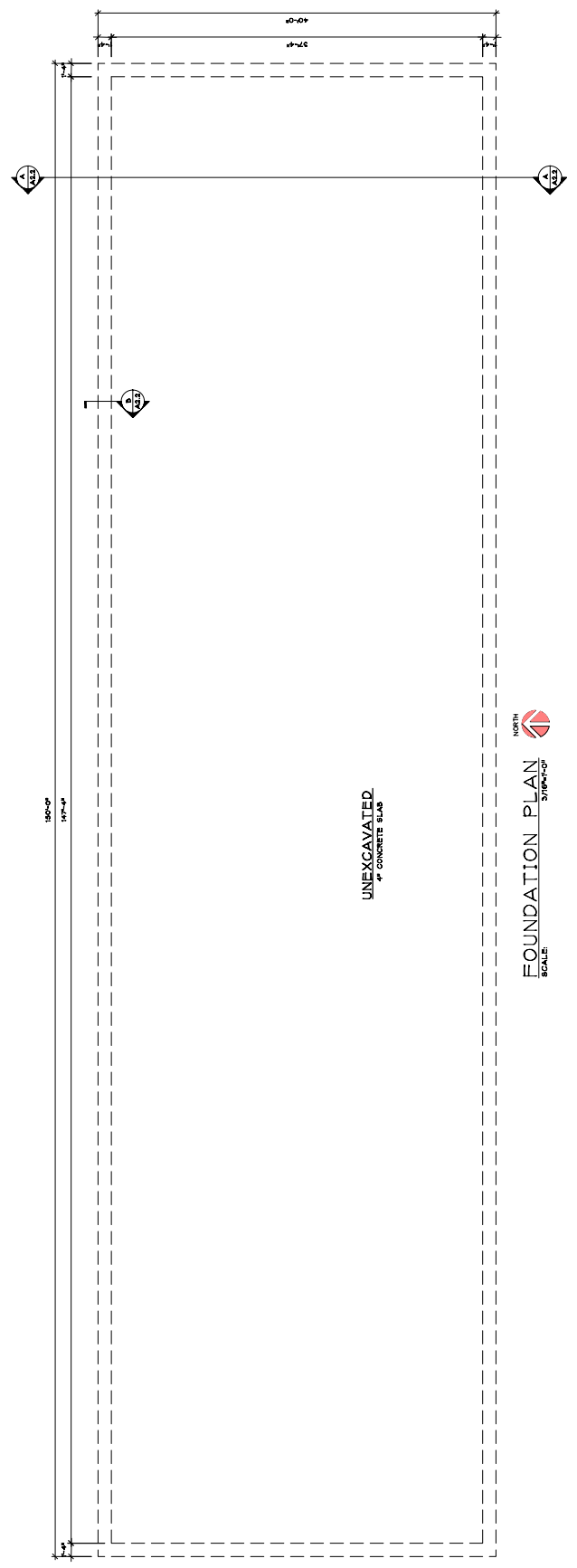
HARDWARE FUNCTION: 001 - PUSH/PULL PASSAGE - PRIVACY - KEYS LOCK

327 RANDOLPH DRIVE - SUITE C  
 APPLETON, WI 54913  
 TEL: 920-874-2857 FAX: 920-874-2860  
**ACS**  
 ARCHITECTURAL CONSULTANTS & SURVEYORS

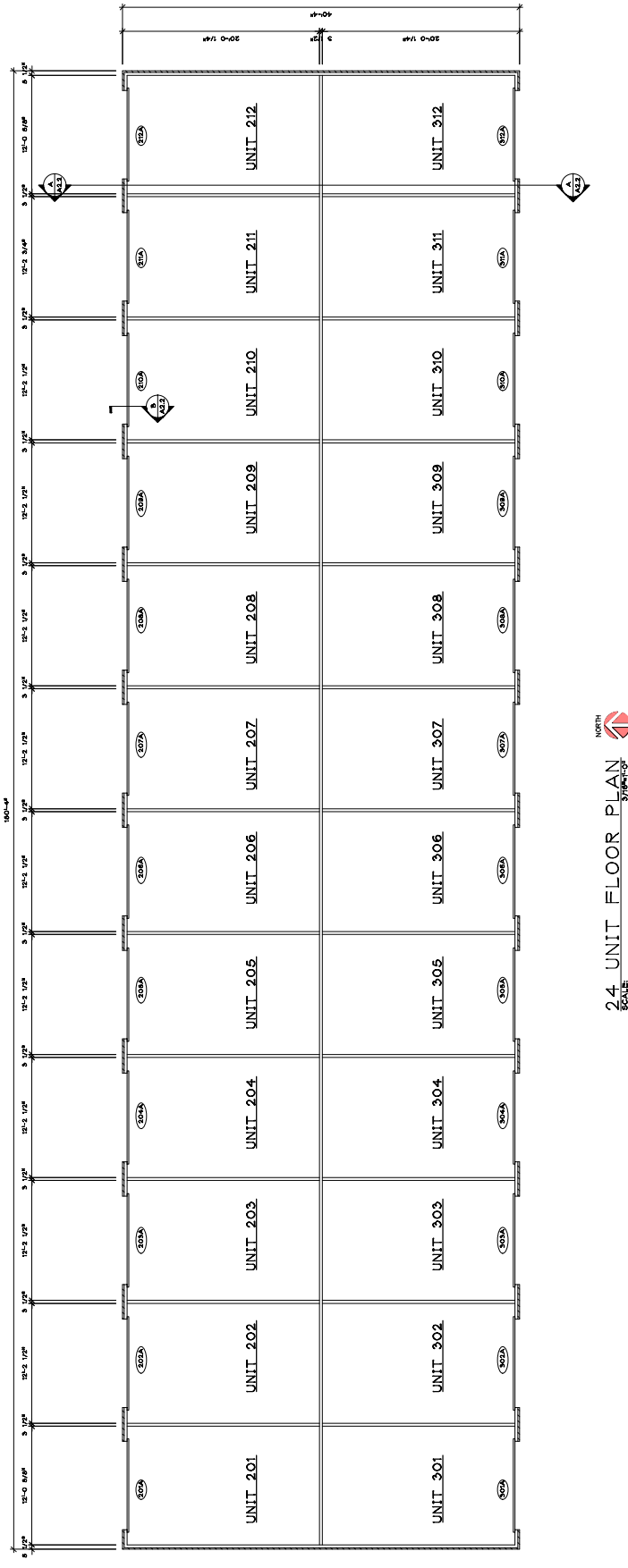
**WISCONSIN**  
**MARATHON AVENUE**  
**GARAGE PLANS FOR, NENAH,**

DATE:	DEC 5, 2022
ARCH:	E. SPINA
D. BY:	
JOB:	2303
REV.	

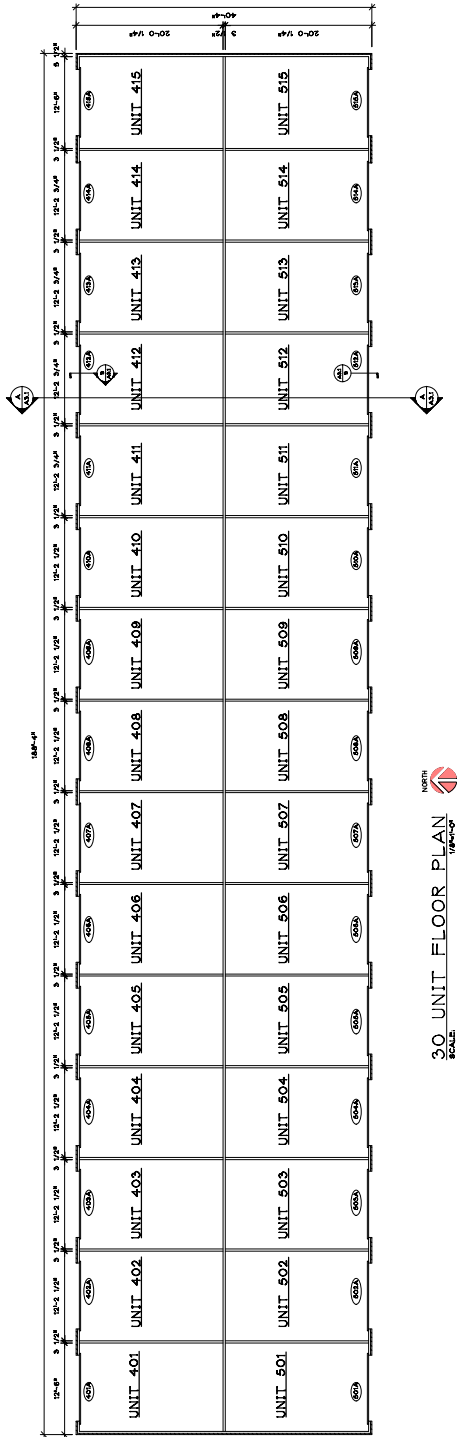
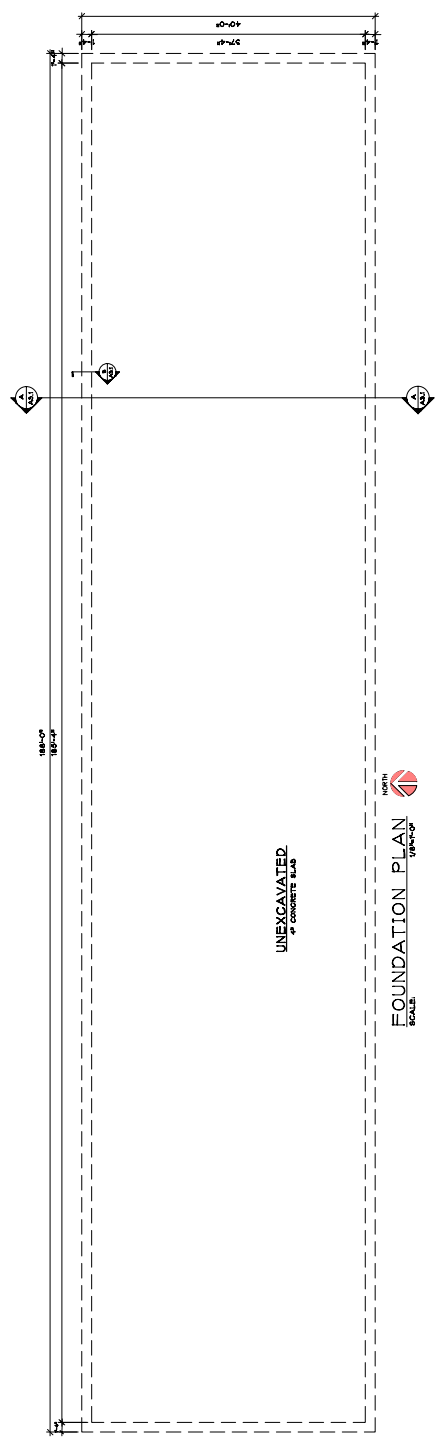
**A**  
**2.0**



NORTH  
**FOUNDATION PLAN**  
 SCALE: 3/8"=1'-0"

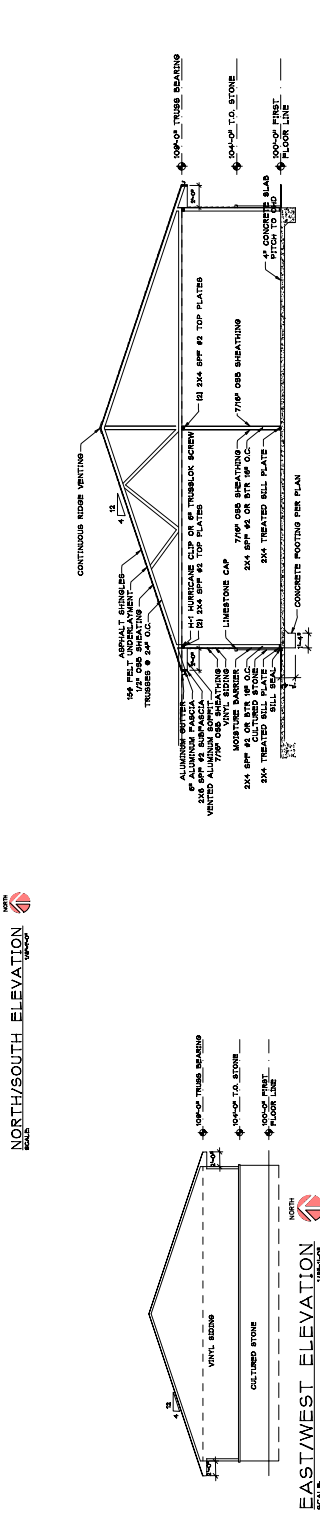
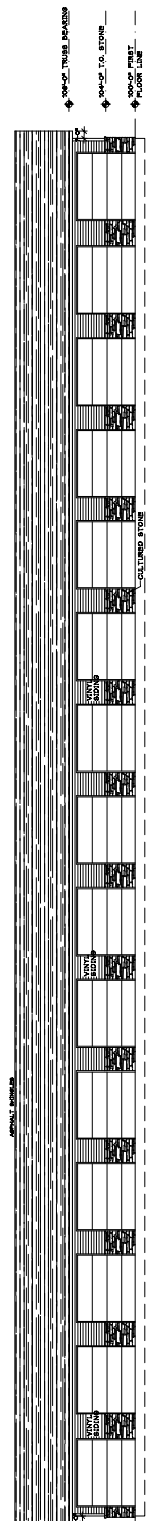








A  
 3.1



**DOOR & FRAME SCHEDULE**

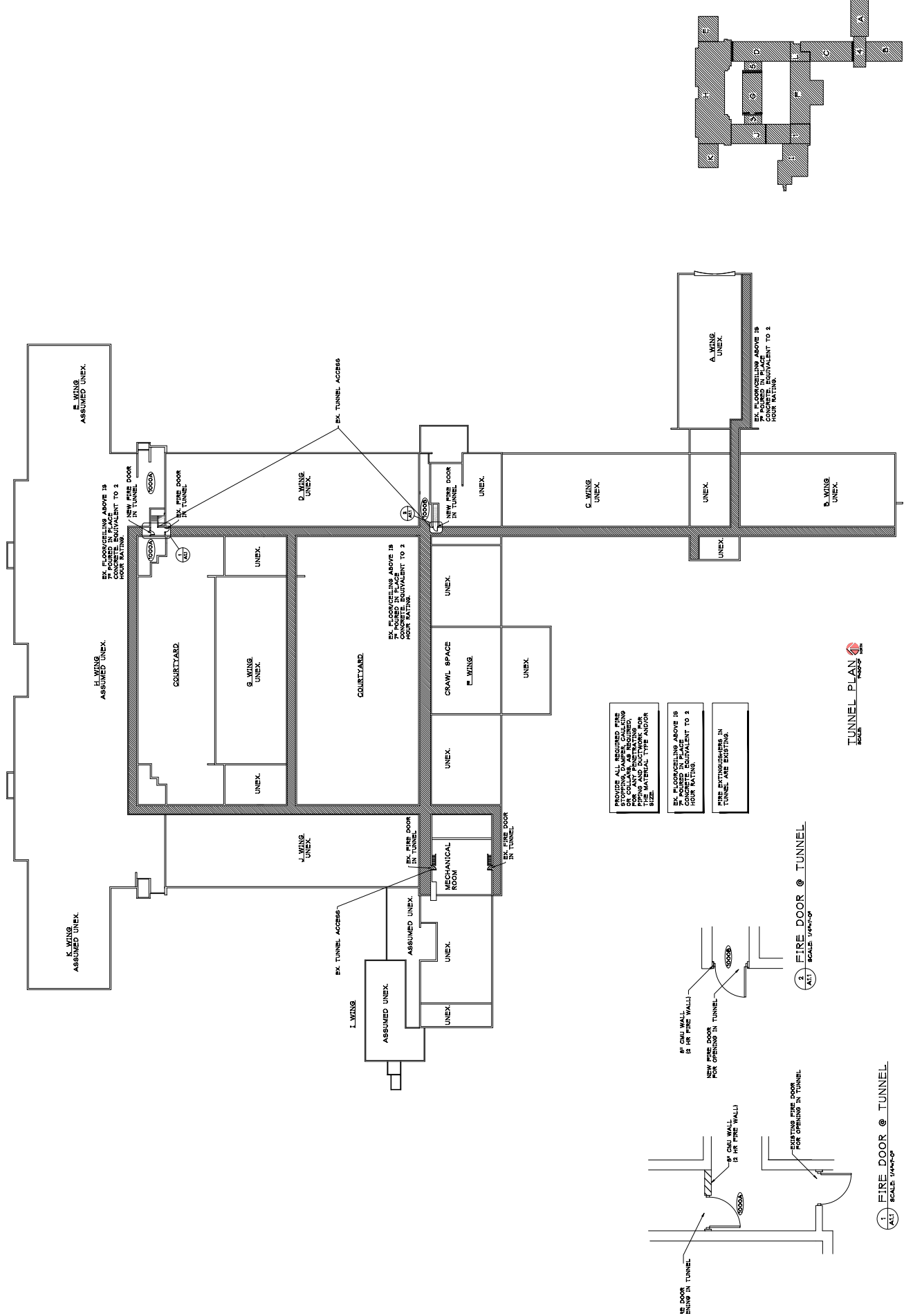
NO.	DOOR	UNIT	TR	MATERIAL	HAND	FIN.	FUNCTION	REMARKS	DOOR	FRAME	REMARKS
100A	8'0" x 8'0" PREN	UNIT 401	A	M/L	---	---	---	---	---	M/L	CSA
100B	8'0" x 8'0" EXT	UNIT 402	A	M/L	---	---	---	---	---	M/L	CSA
100C	8'0" x 8'0" EXT	UNIT 403	A	M/L	---	---	---	---	---	M/L	CSA
100D	8'0" x 8'0" EXT	UNIT 404	A	M/L	---	---	---	---	---	M/L	CSA
100E	8'0" x 8'0" EXT	UNIT 405	A	M/L	---	---	---	---	---	M/L	CSA
100F	8'0" x 8'0" EXT	UNIT 406	A	M/L	---	---	---	---	---	M/L	CSA
100G	8'0" x 8'0" EXT	UNIT 407	A	M/L	---	---	---	---	---	M/L	CSA
100H	8'0" x 8'0" EXT	UNIT 408	A	M/L	---	---	---	---	---	M/L	CSA
100I	8'0" x 8'0" EXT	UNIT 409	A	M/L	---	---	---	---	---	M/L	CSA
100J	8'0" x 8'0" EXT	UNIT 410	A	M/L	---	---	---	---	---	M/L	CSA
100K	8'0" x 8'0" EXT	UNIT 411	A	M/L	---	---	---	---	---	M/L	CSA
100L	8'0" x 8'0" EXT	UNIT 412	A	M/L	---	---	---	---	---	M/L	CSA
100M	8'0" x 8'0" EXT	UNIT 413	A	M/L	---	---	---	---	---	M/L	CSA
100N	8'0" x 8'0" EXT	UNIT 414	A	M/L	---	---	---	---	---	M/L	CSA
100O	8'0" x 8'0" EXT	UNIT 415	A	M/L	---	---	---	---	---	M/L	CSA
100P	8'0" x 8'0" EXT	UNIT 416	A	M/L	---	---	---	---	---	M/L	CSA
100Q	8'0" x 8'0" EXT	UNIT 417	A	M/L	---	---	---	---	---	M/L	CSA
100R	8'0" x 8'0" EXT	UNIT 418	A	M/L	---	---	---	---	---	M/L	CSA
100S	8'0" x 8'0" EXT	UNIT 419	A	M/L	---	---	---	---	---	M/L	CSA
100T	8'0" x 8'0" EXT	UNIT 420	A	M/L	---	---	---	---	---	M/L	CSA
100U	8'0" x 8'0" EXT	UNIT 421	A	M/L	---	---	---	---	---	M/L	CSA
100V	8'0" x 8'0" EXT	UNIT 422	A	M/L	---	---	---	---	---	M/L	CSA
100W	8'0" x 8'0" EXT	UNIT 423	A	M/L	---	---	---	---	---	M/L	CSA
100X	8'0" x 8'0" EXT	UNIT 424	A	M/L	---	---	---	---	---	M/L	CSA
100Y	8'0" x 8'0" EXT	UNIT 425	A	M/L	---	---	---	---	---	M/L	CSA
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100AA	8'0" x 8'0" EXT	UNIT 427	A	M/L	---	---	---	---	---	M/L	CSA
100AB	8'0" x 8'0" EXT	UNIT 428	A	M/L	---	---	---	---	---	M/L	CSA
100AC	8'0" x 8'0" EXT	UNIT 429	A	M/L	---	---	---	---	---	M/L	CSA
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100AE	8'0" x 8'0" EXT	UNIT 431	A	M/L	---	---	---	---	---	M/L	CSA
100AF	8'0" x 8'0" EXT	UNIT 432	A	M/L	---	---	---	---	---	M/L	CSA
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100AI	8'0" x 8'0" EXT	UNIT 435	A	M/L	---	---	---	---	---	M/L	CSA
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100AL	8'0" x 8'0" EXT	UNIT 438	A	M/L	---	---	---	---	---	M/L	CSA
100AM	8'0" x 8'0" EXT	UNIT 439	A	M/L	---	---	---	---	---	M/L	CSA
100AN	8'0" x 8'0" EXT	UNIT 440	A	M/L	---	---	---	---	---	M/L	CSA
100AO	8'0" x 8'0" EXT	UNIT 441	A	M/L	---	---	---	---	---	M/L	CSA
100AP	8'0" x 8'0" EXT	UNIT 442	A	M/L	---	---	---	---	---	M/L	CSA
100AQ	8'0" x 8'0" EXT	UNIT 443	A	M/L	---	---	---	---	---	M/L	CSA
100AR	8'0" x 8'0" EXT	UNIT 444	A	M/L	---	---	---	---	---	M/L	CSA
100AS	8'0" x 8'0" EXT	UNIT 445	A	M/L	---	---	---	---	---	M/L	CSA
100AT	8'0" x 8'0" EXT	UNIT 446	A	M/L	---	---	---	---	---	M/L	CSA
100AU	8'0" x 8'0" EXT	UNIT 447	A	M/L	---	---	---	---	---	M/L	CSA
100AV	8'0" x 8'0" EXT	UNIT 448	A	M/L	---	---	---	---	---	M/L	CSA
100AW	8'0" x 8'0" EXT	UNIT 449	A	M/L	---	---	---	---	---	M/L	CSA
100AX	8'0" x 8'0" EXT	UNIT 450	A	M/L	---	---	---	---	---	M/L	CSA
100AY	8'0" x 8'0" EXT	UNIT 451	A	M/L	---	---	---	---	---	M/L	CSA
100AZ	8'0" x 8'0" EXT	UNIT 452	A	M/L	---	---	---	---	---	M/L	CSA
100BA	8'0" x 8'0" EXT	UNIT 453	A	M/L	---	---	---	---	---	M/L	CSA
100BB	8'0" x 8'0" EXT	UNIT 454	A	M/L	---	---	---	---	---	M/L	CSA
100BC	8'0" x 8'0" EXT	UNIT 455	A	M/L	---	---	---	---	---	M/L	CSA
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100BE	8'0" x 8'0" EXT	UNIT 457	A	M/L	---	---	---	---	---	M/L	CSA
100BF	8'0" x 8'0" EXT	UNIT 458	A	M/L	---	---	---	---	---	M/L	CSA
100BG	8'0" x 8'0" EXT	UNIT 459	A	M/L	---	---	---	---	---	M/L	CSA
100BH	8'0" x 8'0" EXT	UNIT 460	A	M/L	---	---	---	---	---	M/L	CSA
100BI	8'0" x 8'0" EXT	UNIT 461	A	M/L	---	---	---	---	---	M/L	CSA
100BJ	8'0" x 8'0" EXT	UNIT 462	A	M/L	---	---	---	---	---	M/L	CSA
100BK	8'0" x 8'0" EXT	UNIT 463	A	M/L	---	---	---	---	---	M/L	CSA
100BL	8'0" x 8'0" EXT	UNIT 464	A	M/L	---	---	---	---	---	M/L	CSA
100BM	8'0" x 8'0" EXT	UNIT 465	A	M/L	---	---	---	---	---	M/L	CSA
100BN	8'0" x 8'0" EXT	UNIT 466	A	M/L	---	---	---	---	---	M/L	CSA
100BO	8'0" x 8'0" EXT	UNIT 467	A	M/L	---	---	---	---	---	M/L	CSA
100BP	8'0" x 8'0" EXT	UNIT 468	A	M/L	---	---	---	---	---	M/L	CSA
100BQ	8'0" x 8'0" EXT	UNIT 469	A	M/L	---	---	---	---	---	M/L	CSA
100BR	8'0" x 8'0" EXT	UNIT 470	A	M/L	---	---	---	---	---	M/L	CSA
100BS	8'0" x 8'0" EXT	UNIT 471	A	M/L	---	---	---	---	---	M/L	CSA
100BT	8'0" x 8'0" EXT	UNIT 472	A	M/L	---	---	---	---	---	M/L	CSA
100BU	8'0" x 8'0" EXT	UNIT 473	A	M/L	---	---	---	---	---	M/L	CSA
100BV	8'0" x 8'0" EXT	UNIT 474	A	M/L	---	---	---	---	---	M/L	CSA
100BV	8'0" x 8'0" EXT	UNIT 475	A	M/L	---	---	---	---	---	M/L	CSA

1" = 1'-0" PASSAGE - PRIVACY - KEYED LOCK

**MARATHON AVENUE**  
 INTERIOR ALTERATIONS FOR,  
 NENAH,

DATE:	SEPT. 3, 2003
ARCH:	E. SPILL
D. BY:	2/03
REV:	1. REVISIONS ACCORDING TO PERMITS
	2. PERMITS
	3. PERMITS
	4. PERMITS

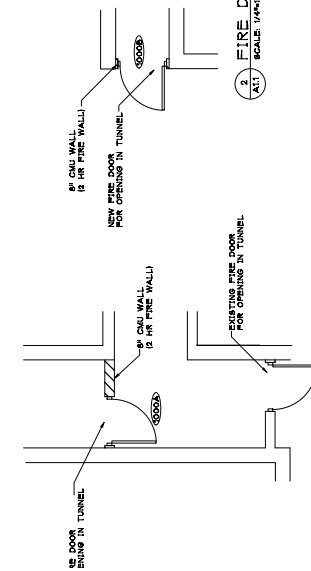
**A**  
**1.1**



PROVIDE ALL REQUIRED FIRE STOPPING, DAMPER COLLARS AND GASKETS FOR ALL PENETRATIONS THROUGH THE MATERIAL TYPE AND/OR SIZE.

EX. FLOORING ABOVE IS TO BE FLOORED IN PLACE CONCRETE EQUIVALENT TO 2 HOUR RATING.

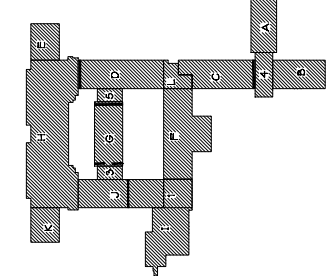
EXIST. FINISHES IN TUNNEL ARE EXISTING.

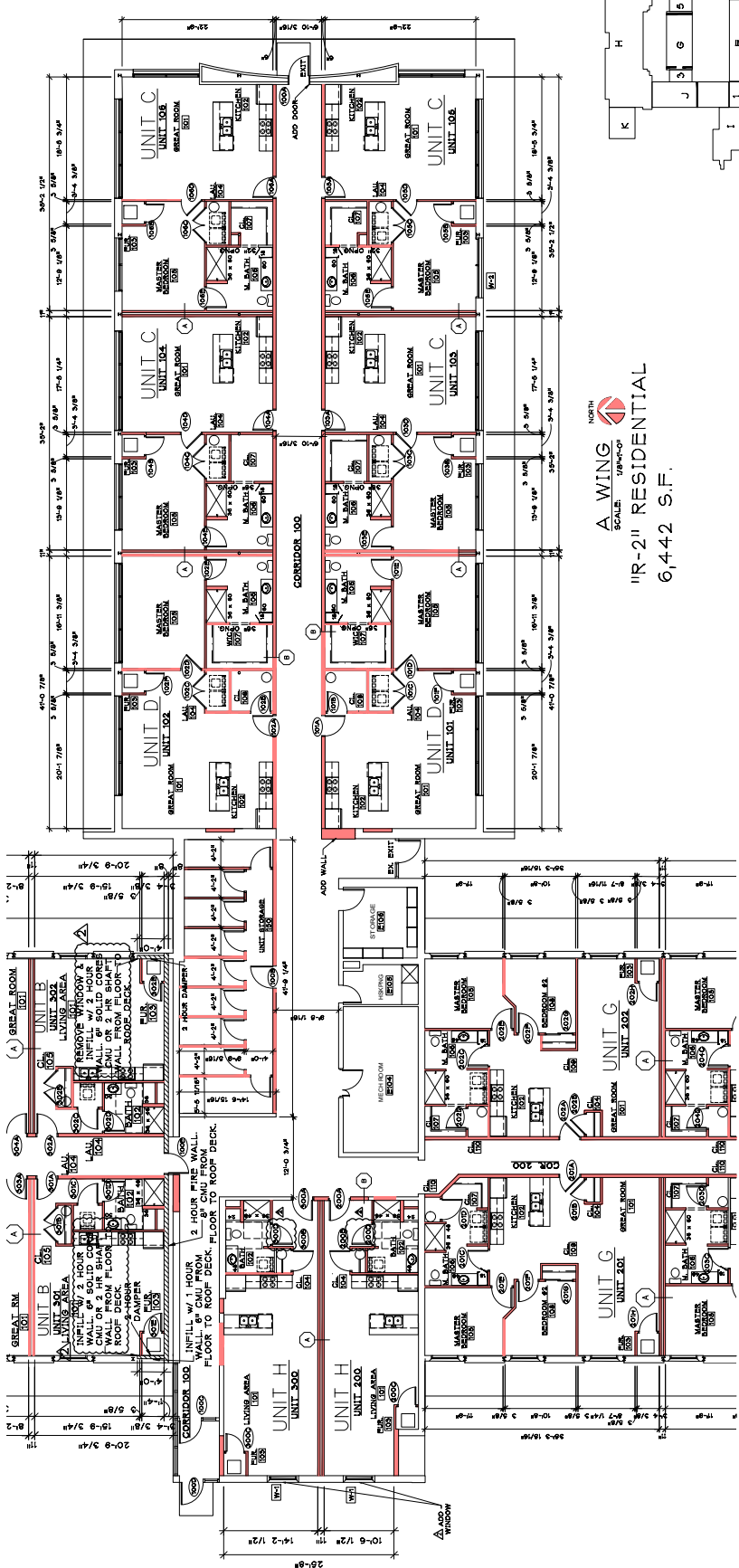



**1** FIRE DOOR @ TUNNEL  
 SCALE: 1/4"=1'-0"

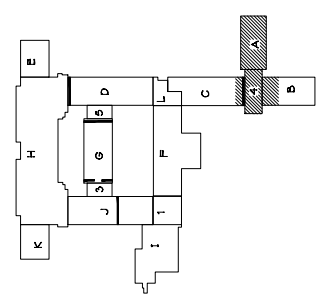
**2** FIRE DOOR @ TUNNEL  
 SCALE: 1/4"=1'-0"

**TUNNEL PLAN**  
 SCALE: 1/4"=1'-0"





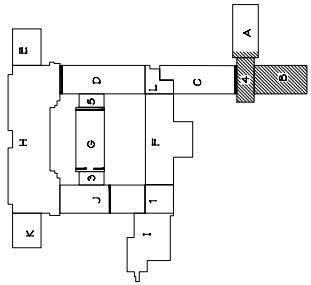
  
**A WING**  
 SCALE: 1/8"=1'-0"  
 "R-2" RESIDENTIAL  
 6,442 S.F.



**MARATHON AVENUE**  
 INTERIOR ALTERATIONS FOR,  
 NENAH,

DATE: SEPT. 3, 2025  
 ARCH: E. SPILL  
 D. BY: \_\_\_\_\_  
 JOB: 2503  
 REV: 1. ADDITION OF INTERIOR ALTERATIONS TO EXISTING UNIT 202.  
 2. ADDITION OF INTERIOR ALTERATIONS TO EXISTING UNIT 203.  
 3. ADDITION OF INTERIOR ALTERATIONS TO EXISTING UNIT 204.

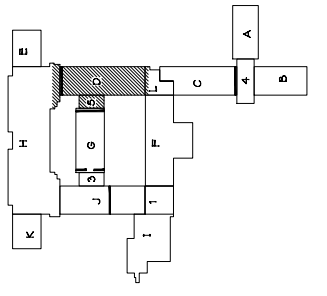
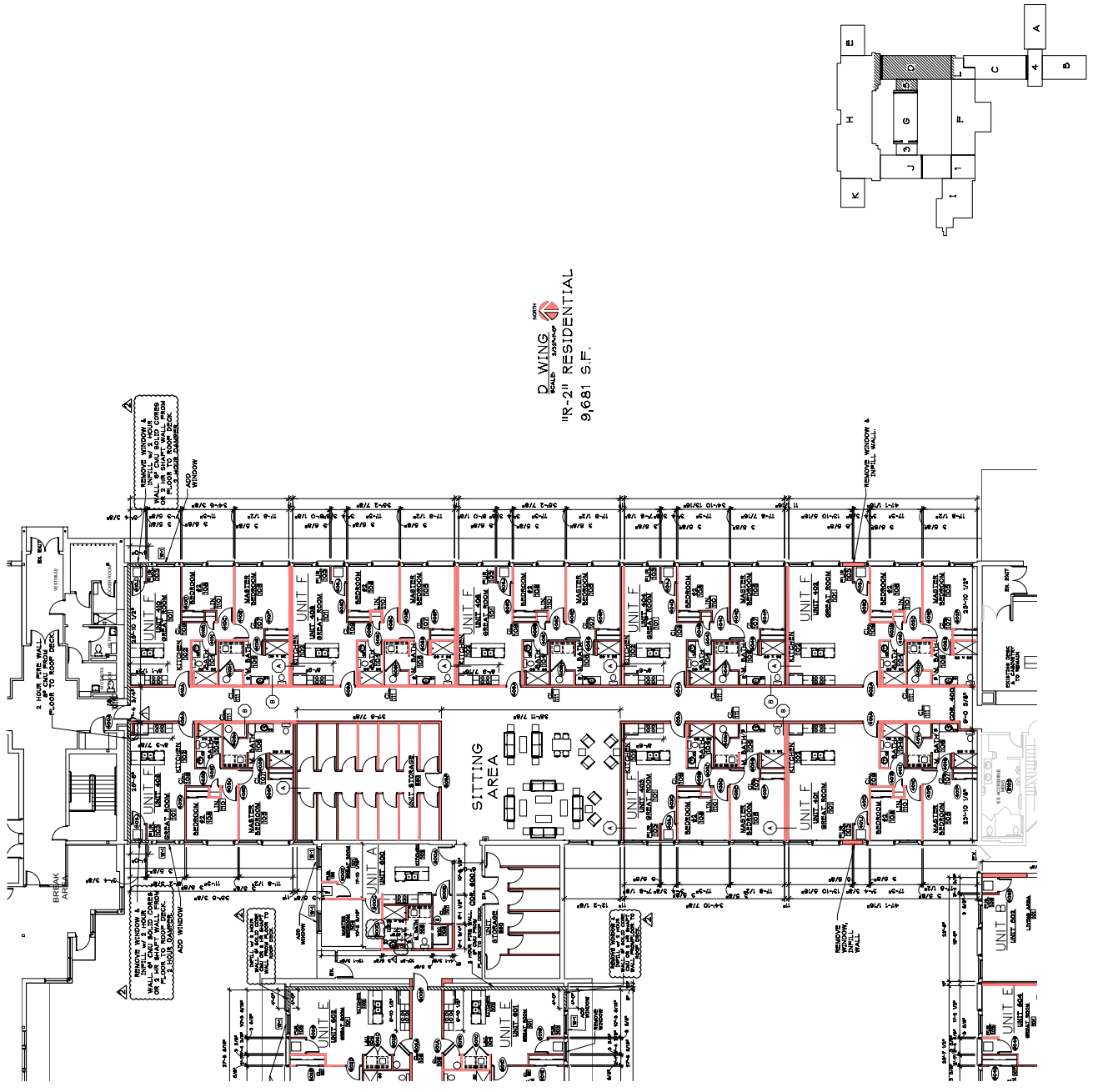
**A**  
**1.3**



NORTH  
**B WING**  
 SCALE: 1/8"=1'-0"  
 "R-2" RESIDENTIAL  
 7,085 S.F.



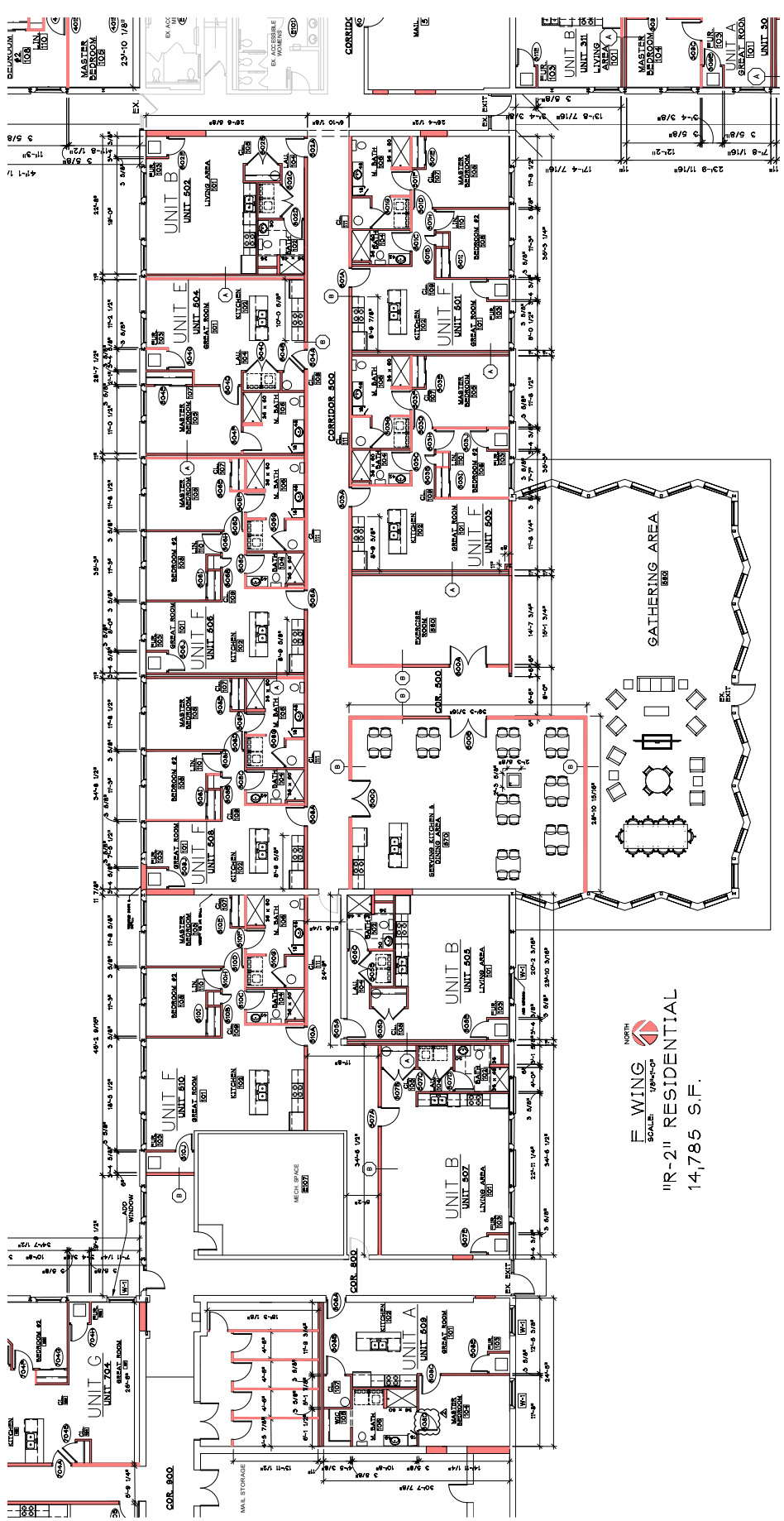
**MARATHON AVENUE**  
 INTERIOR ALTERATIONS FOR,  
 NENAH,  
 WISCONSIN




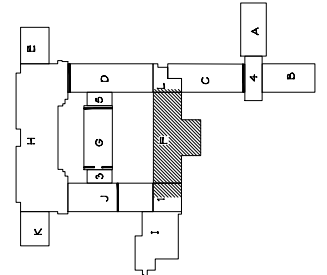
**INTERIOR ALTERATIONS FOR,**  
**MARATHON AVENUE**  
 WISCONSIN, MENA, WI

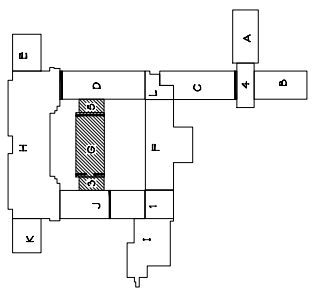
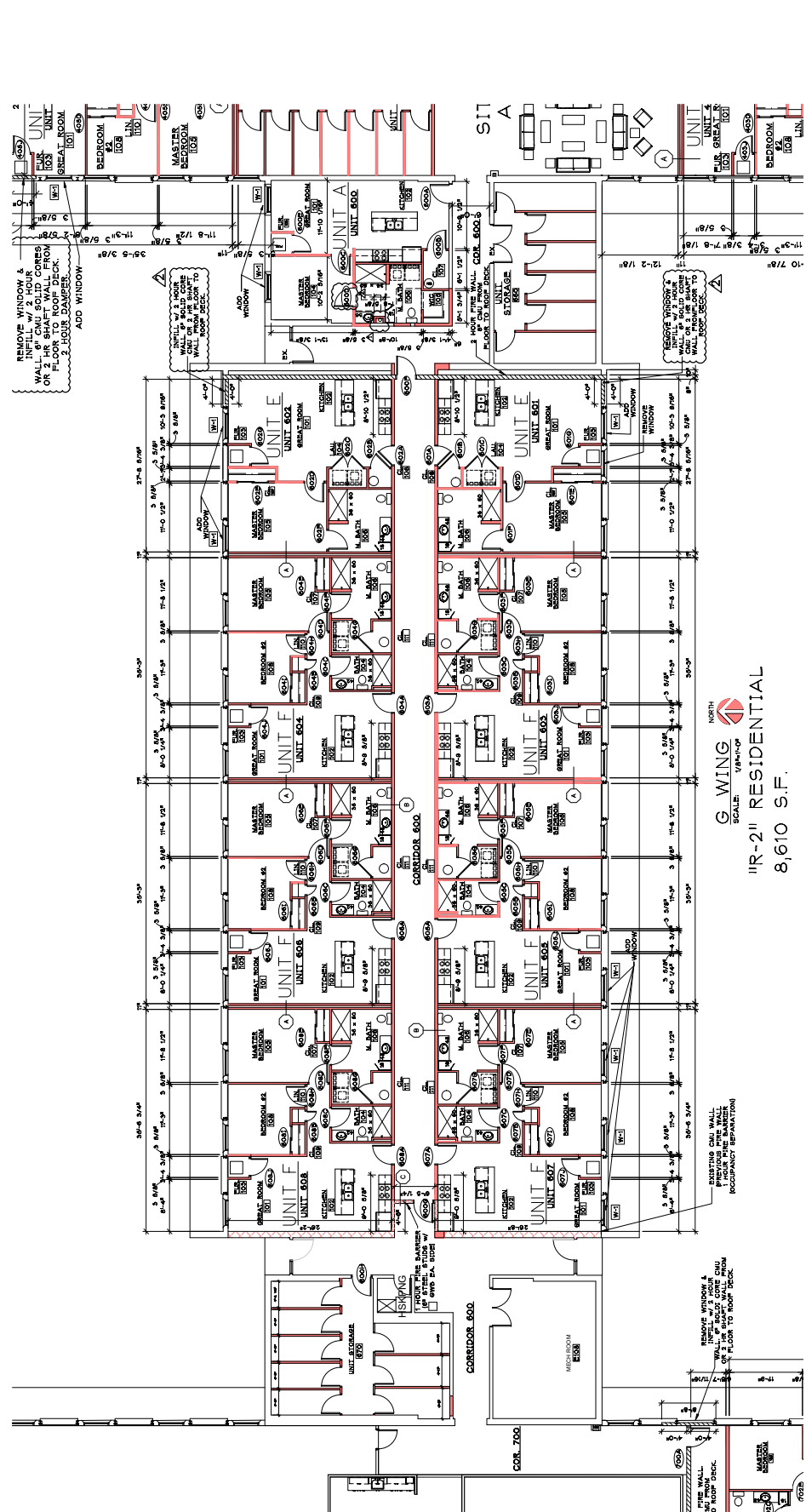
DATE:	REV:	3/2023
ARCH:	BY:	E. BROWN
D. BY:	DATE:	3/2023
JOB:	REV:	INTERIOR ALTERATIONS FOR MARATHON AVENUE
REV:	DATE:	3/2023
REV:	DATE:	3/2023
REV:	DATE:	3/2023
REV:	DATE:	3/2023
REV:	DATE:	3/2023
REV:	DATE:	3/2023

**A**  
**1.6**



  
**F-WING**  
 SCALE: 1/8"=1'-0"  
**"R-2" RESIDENTIAL**  
 14,785 S.F.





NORTH  
**G WING**  
 SCALE: 1/8"=1'-0"  
**"R-2" RESIDENTIAL**  
 8,610 S.F.





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## M E M O R A N D U M

---

**DATE:** February 7, 2023  
**TO:** Mayor Lang and Plan Commission  
**FROM:** Brad Schmidt, AICP, Deputy Director  
**RE:** 2 Lot CSM – 2001 Marathon Avenue

---

The CSM proposes to divide the parcel located at 2001 Marathon Avenue into two separate lots. The parcel is zoned C-1, General Commercial District. The subject property, located on the northwest corner of Marathon Avenue and Byrd Avenue, includes the former KC South Office building. Lot 1 of the proposed CSM would include the existing building, while Lot 2 would include the balance of the property. Lot 2 also includes an access easement from Marathon Avenue to Lot 1. The zoning of each new lot will remain C-1, General Commercial District. The C-1 District does not require a minimum lot size. Lot 1, 12.83 acres, and Lot 2, 7.97 acres, are more than sufficient in size to accommodate future development. Lot 1 is proposed to be used as multi-family residential in the former office building. There are no plans for proposed Lot 2.

### **Recommendation**

**An appropriate action at this time is for the Plan Commission to approve the 2 lot CSM for the property located at 2001 Marathon Avenue subject the CSM review letter.**



City of Neenah Community Development  
211 Walnut Street  
Neenah WI 54956  
Ph 920.886.6130

February 01, 2023

COREY VANEVENHOVEN  
PARK PLACE HOLDINGS, LLC  
1674 EISENHOWER RD  
DE PERE, WI 54115

**RE: CSM #1-23 - 2001 Marathon Avenue - 2 Lot CSM Certified Survey Map Review () Status Approved**

Dear COREY VANEVENHOVEN:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt  
Deputy Director of Community Development and Assessment  
bschmidt@ci.neenah.wi.us  
920-886-6126

## Plan Review Comments

**Planning - Brad Schmidt -  
bschmidt@ci.neenah.wi.us**

**Approved**

**Review Comments:**

1. Rename Marathon Street to Marathon Avenue on the CSM.
2. Will the 22' or 42' access easement on proposed Lot 2 include any language related to the on-going maintenance or re-construction of the existing drive?
3. New addresses: Lot 1 - 301 Byrd Avenue and Lot 2 - 2001 Marathon Avenue
4. New Parcel IDs: Lot 1 - 80205801000 and Lot 2 - 80205802000

---

**Assessor - Kathy Engelbreth - 920-886-6117  
kengelbreth@ci.neenah.wi.us**

**Approved**

**Review Comments:**

---

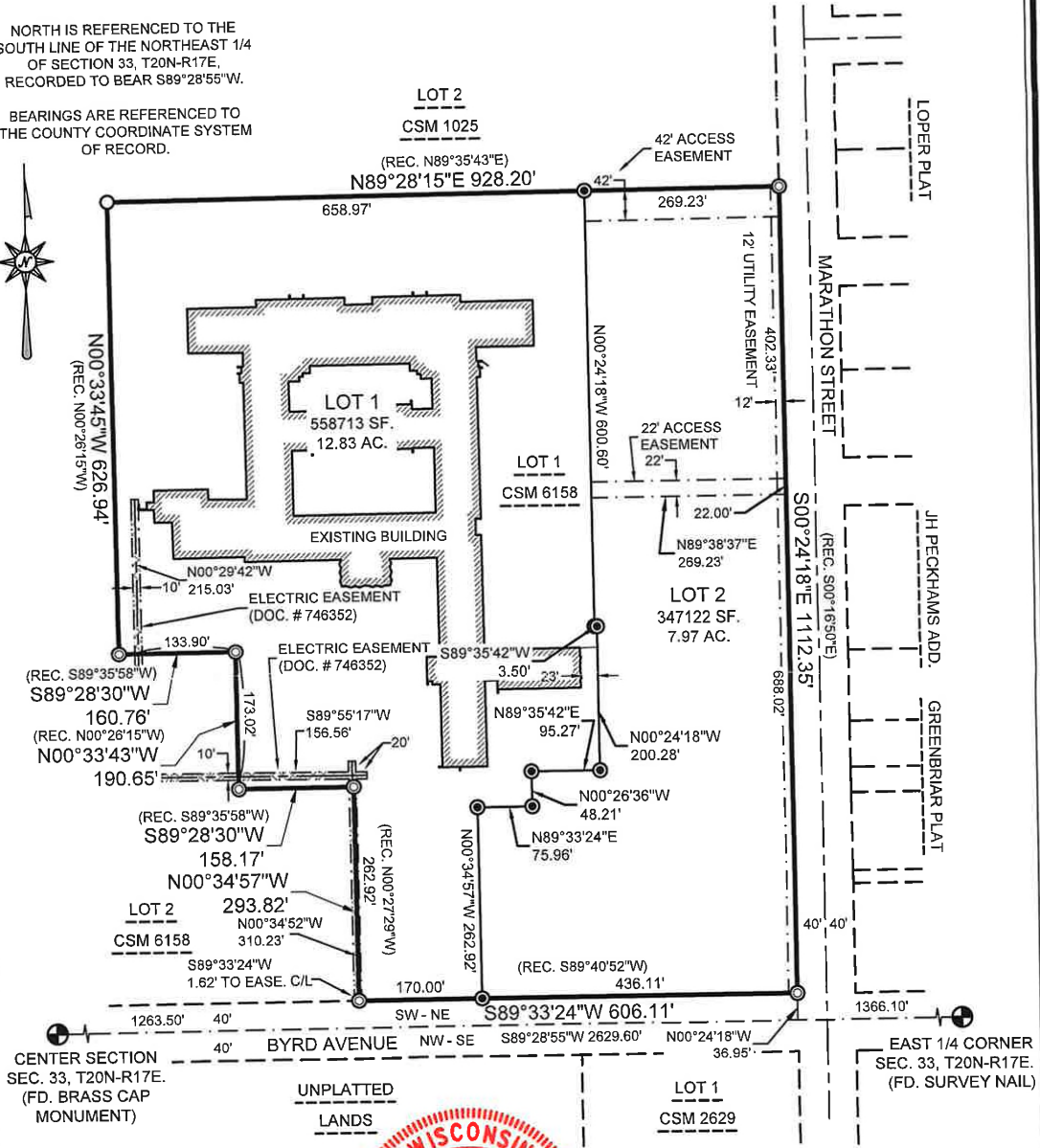
# CERTIFIED SURVEY MAP

LOT 1 OF VOLUME 1 OF CERTIFIED SURVEY MAPS, PAGE 6158, (DOC. #1451238-MAP #6158), LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 33, T20N-R17E, CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

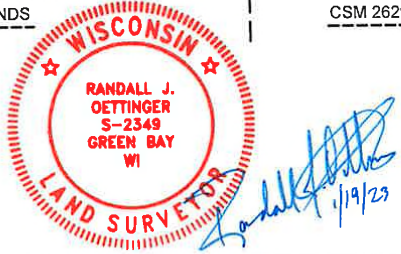


NORTH IS REFERENCED TO THE SOUTH LINE OF THE NORTHEAST 1/4 OF SECTION 33, T20N-R17E, RECORDED TO BEAR S89°28'55"W.

BEARINGS ARE REFERENCED TO THE COUNTY COORDINATE SYSTEM OF RECORD.



- LEGEND**
- ⊙ 1" IRON PIPE FOUND
  - ⊙ 1.32"X18" IRON PIPE WITH CAP, WEIGHING 1.13 # / L.F. SET
  - 3/4" IRON PIPE FOUND
  - ⊕ MONUMENT FOUND, TYPE NOTED



**MACH IV**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salschler Court, Green Bay, WI  
54313 PH:520-569-5705; Fax: 920-569-5787  
www.mach-v.com

CLIENT: ACS, INC.  
DRAFTED BY: RJO  
TAX PARCEL NO.: 80205800000

SCALE:  
1"=200'

SHEET: 1 OF 3  
PROJECT NO. 1939-01-22  
DRAWING NO. 1747

# CERTIFIED SURVEY MAP

LOT 1 OF VOLUME 1 OF CERTIFIED SURVEY MAPS, PAGE 6158, (DOC. #1451238-MAP #6158), LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 33, T20N-R17E, CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

## SURVEYOR'S CERTIFICATE

I, RANDALL J. OETTINGER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED, DIVIDED AND MAPPED LOT 1 OF VOLUME 1 OF CERTIFIED SURVEY MAPS, PAGE 6158, (DOC. #1451238-MAP #6158), LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 33, T20N-R17E, CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN.

SAID PARCEL CONTAINS 905,835 SQ. FT. \ 20.80 ACRES OF LAND, MORE OR LESS.  
SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEY AND THE DIVISION THEREOF. THAT I HAVE MADE SUCH A SURVEY AND PLAT BY THE DIRECTION OF THE OWNERS LISTED HEREON. THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236, SECTION 236.34 OF THE WISCONSIN STATUTES AND THE CITY OF NEENAH IN SURVEYING AND MAPPING THE SAME.

  
RANDALL J. OETTINGER S-2349  
JANUARY 19, 2023



## CITY RESOLUTION:

RESOLVED THAT THIS CERTIFIED SURVEY MAP, ATTACHED HERETO, AND FILED WITH THE CITY OF NEENAH, IS HEREBY APPROVED.

APPROVED BY:  
PLANNING COMMISSION-CITY OF NEENAH

\_\_\_\_\_  
PLANNING COMMISSION REPRESENTATIVE

I HEREBY CERTIFY THAT THE FORGOING RESOLUTION WAS ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF NEENAH, WISCONSIN, ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
CLERK

# CERTIFIED SURVEY MAP

LOT 1 OF VOLUME 1 OF CERTIFIED SURVEY MAPS, PAGE 6158, (DOC. #1451238-MAP #6158), LOCATED IN THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4, SECTION 33, T20N-R17E, CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

## LIMITED LIABILITY COMPANY OWNER'S CERTIFICATE

PARK PLACE HOLDINGS-MARATHON STREET, LLC, A LIMITED LIABILITY COMPANY DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, DOES HEREBY CERTIFY THAT SAID LIMITED LIABILITY COMPANY CAUSED THE LAND ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON. PARK PLACE HOLDINGS-MARATHON STREET, LLC DOES FURTHER CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED TO BE SUBMITTED TO THE CITY OF NEENAH FOR APPROVAL OR OBJECTION IN ACCORDANCE WITH CURRENT LAND SUBDIVISION ORDINANCES.

IN WITNESS WHEREOF, THE SAID PARK PLACE HOLDINGS-MARATHON STREET, LLC HAS CAUSED THESE PRESENTS TO BE

SIGNED BY \_\_\_\_\_, ITS MEMBER, ON THIS \_\_\_ DAY OF \_\_\_\_\_, 20\_\_.

\_\_\_\_\_  
MEMBER-PARK PLACE HOLDINGS-MARATHON STREET, LLC

PERSONALLY CAME BEFORE ME THIS \_\_\_ DAY OF \_\_\_\_\_, 20\_\_, THE ABOVE NAMED MEMBER OF SAID LIMITED LIABILITY COMPANY AND ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT AS SUCH MEMBER AS THE DEED OF SAID LIMITED LIABILITY COMPANY, BY ITS AUTHORITY.

NOTARY PUBLIC \_\_\_\_\_ MY COMMISSION EXPIRES \_\_\_\_\_

STATE OF \_\_\_\_\_ }  
  } SS  
COUNTY OF \_\_\_\_\_ }



*Randall J. Oettinger*  
1/19/23

**MACH IV**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salschelder Court Green Bay, WI  
54313 PH: 920-569-5705, Fax: 920-669-5767  
www.mach-iv.com

CLIENT: ACS, INC.

DRAFTED BY: RJO  
TAX PARCEL NO.: 8020580000

SCALE:

SHEET: 3 OF 3  
PROJECT NO. 1939-01-22  
DRAWING NO. 1747



---

**DATE:** February 7, 2023  
**TO:** Mayor Lang and Plan Commission  
**FROM:** Brad Schmidt, Deputy Director  
**RE:** Project Plan Approval #1-23 – 1121 Westowne Drive – Chipotle Restaurant

---

### **Request**

DH Prime Development, Inc, owner of 1121 Westowne Drive, has submitted a project plan to construct a new Chipotle restaurant with a drive-thru pick-up lane.

### **Background**

The subject property is located in the Westside Business District Planned Development District (PDD) which was created in 2004. In 2007, a Perkins restaurant was constructed on the site. The restaurant vacated the property in 2022 and the building is currently unoccupied. The property contains a 5,000 square-foot building with off-street parking. Access to the property is from a driveway along Westowne Drive.

### **Consideration**

The site plan proposes to remove the existing building and construct a new 2,300 square-foot Chipotle restaurant with a drive-thru lane for mobile/online pick up. The majority of the site will remain as-is including the existing perimeter parking, access along Westowne Drive, and perimeter landscaping. The use of the site as a restaurant is consistent with the Westside Business District PDD Master Plan and is consistent with the surrounding commercial uses along Westowne Drive and Winneconne Avenue.

The proposed site plan will include 76 off-street parking stalls (4 handicap accessible) which is a slight reduction of 6 stalls from what is existing. Per the Zoning Code, a minimum of 33 parking stalls is required based on the use of the property. The total building coverage of the site is about 5% which is less than the maximum of 30%. Finally, the total impervious area of the property is slightly reduced and the green space on the site increases to over 26%.

The proposed building is a prototypical Chipotle restaurant building design. The rectangular building will be oriented east/west with the long side of the building facing Winneconne Avenue. The height of the building is about 20 feet tall and total area of 2,361 square feet. The building will be constructed out of EIFS and include aluminum and glass. The drive-thru pick-up window is located on the south portion of the building while the main entrance is located on the north side of the building.

**Recommendation**

**An appropriate action at this time is to recommend Council approve Ordinance No. 2023-01, approving Project Plan Approval #1-23 for the Westside Business District, allowing the construction of a restaurant with a drive-thru lane located at 1121 Westowne Drive.**



**City of Neenah Community Development**  
**211 Walnut Street**  
**Neenah WI 54956**  
**Ph 920.886.6130**

February 02, 2023

ADAM STEIN  
LOGIC DESIGN AND ARCHITECTURE, INC  
10400 W INNOVATION DRIVE  
MILWAUKEE, WI 53226

**RE: PPA #1-23 - 1121 Westowne Dr - Chipotle Restaurant Project Plan Review () Status Approved**

Dear ADAM STEIN:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt  
Deputy Director of Community Development and Assessment  
bschmidt@ci.neenah.wi.us  
920-886-6126

## Plan Review Comments

**Planning - Brad Schmidt -  
bschmidt@ci.neenah.wi.us**

Approved

**Review Comments:**

1. Prior to installation of signage, please contact (920) 886-6130 or visit <https://evolvepublic.ci.neenah.wi.us/> to obtain permits.
2. Removal of any landscape plantings along the perimeter of the property must be replaced by a similar planting.
3. If not already installed, the garbage collection area must be screened with a 6-foot tall sight-fight fence.
4. Work within the City's right-of-way requires a right-of-way permit. Please contact the Department of Public Works for more information (920) 886-6240.
5. Any changes to the site plan must be submitted to the City Planner (BSchmidt@ci.neenah.wi.us).

**Community Development - Chris Haese -  
chaese@ci.neenah.wi.us**

Approved

**Review Comments:**

**Engineering - Heath Kummerow - 920-886-6245  
hkummerow@ci.neenah.wi.us**

Approved

**Review Comments:**

Recommend connecting sanitary lateral to existing sanitary lateral connected to Westowne Drive sanitary main. Existing sanitary main on east side of property is an 8 inch main not 10 inch as shown. If connection is made to main on east side of lot as proposed, the connection shall be made with a wye cut into existing 8" main. Connection of the wye shall be made with repair clamp or PVC coupler, no Fernco type connector may be used. Rock elevation is estimated to be between 760 to 761.

**Fire Department - Adam Dorn - 886-6204  
adorn@ci.neenah.wi.us**

Approved

**Review Comments:**

Please see the NMFR Site Plan Review Document for additional information.

**Public Works - Gerry Kaiser -  
gkaiser@ci.neenah.wi.us**

Approved

**Review Comments:**

**Inspections - Building Commercial - Kyle Pederson - 920-886-6131  
kpederson@ci.neenah.wi.us**

Approved

**Review Comments:**

**Inspections - Plumbing/HVAC Commercial - Daniel Brown - 920-886-6133  
dbrown@ci.neenah.wi.us**

Approved

**Review Comments:**

**Water Utility - Anthony Mach - 920-886-6180  
amach@ci.neenah.wi.us**

Approved

**Review Comments:**

Per our records, the service from the main to the building is 4". Please contact us when you need the water turned off at the curb stop.

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**Traffic - James Merten - 920-886-6243**  
**[jmerten@ci.neenah.wi.us](mailto:jmerten@ci.neenah.wi.us)**

**Approved**

**Review Comments:**

No concerns.

**Advisory Comments:**

W. Winneconne Avenue is not county jurisdiction. (CTH JJ is west of CTH CB).

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# Neenah-Menasha Fire Rescue

Office of Adam J. Dorn

Assistant Chief of Fire Prevention / Fire Marshal

125 E. COLUMBIAN AVENUE, NEENAH, WI 54956

Phone: 920-886-6200 Fax: 920-886-6208 Website: [www.nmfire.org](http://www.nmfire.org) Email: [adorn@nmfire.org](mailto:adorn@nmfire.org)

Date: 01-25-2023

Address: 1121 Westowne Dr, Neenah, WI

**Re: Wisconsin DSPS Transaction ID No.: NOT PROVIDED**  
**Wisconsin Site ID No.: NOT PROVIDED**  
**Project No.: 22-132**

To: DH Prime Development, Inc.  
Adam J. Stein  
Login Design and Architecture, Inc

Neenah-Menasha Fire Rescue Fire Prevention Office has reviewed the site plans for the occupancy indicated above. The documents have been reviewed for conformance to the Wisconsin Department of Safety and Professional Services, IBC, NFPA, and Local ordinances of the Cities of Neenah and Menasha (as applicable). Prior to issuing any conditional approvals the review process requires the following stipulations:

1. A copy of this letter shall be given to the general contractor. The general contractor shall arrange for a pre-construction consultation regarding fire prevention and other safeguards. Failure to contact the Fire Prevention Office of Neenah-Menasha Fire Rescue may delay the project. **Please call 920-886-6204 to schedule this consultation.**
2. A Knox Box is required (if not already equipped) for this building and shall be installed on the exterior of the building and discuss the location with the Fire Marshal of Neenah-Menasha Fire Rescue. Also obtain a Knox key switch for the parking garage entrance, if applicable. These may be ordered online at [www.knoxbox.com](http://www.knoxbox.com).
3. If the construction area will have limited access due to construction fence or chained access, the contractor will be required to obtain a department approved Knox Padlock [Model 3770](http://www.knoxbox.com). This lock may be ordered online at [www.knoxbox.com](http://www.knoxbox.com). This padlock will be used as the last link in the chain with the construction padlock placed through the locked shackle.
4. Neenah-Menasha Fire Rescue advocates and strongly recommends the installation of a complete NFPA 13 compliant fire suppression system throughout the building. The fire suppression system shall be monitored by appropriate system.
5. Neenah-Menasha Fire Rescue advocates and strongly recommends the installation of a complete NFPA 72 compliant automatic fire alarm system throughout the building to best protect its occupants, if not already equipped.
6. The sprinkler contractor shall submit a set of DSPS approved plans and proper permit fees for installation of new or modification to all fire suppression systems. Note: 20 heads or less does not require DSPS review, if applicable.

7. The electrical contractor shall submit a set of DSPS approved plans and proper permit fees for installation of new or modification to all fire/smoke alarm systems. Note: 20 devices or less does not require DSPS review, if applicable.
8. Prior to occupancy operational and functional acceptance test reports for all fire protection, suppression and detection systems, elevator phase I & phase II operations, and fire/smoke dampers shall be submitted to Neenah-Menasha Fire Rescue, if applicable.
9. A copy of this letter and enclosures shall be given to the sprinkler and electrical contractor. Copies shall also be available on-site and open for inspection.
10. All other fire and life safety requirements as outlined by local, state, and national ordinances and codes must be adhered to.

The owner of the building, structure and premise is responsible for maintaining the property in compliance with all applicable codes. In granting this approval Neenah-Menasha Fire Rescue reserves the right to require changes or additions if conditions arise making them necessary for code compliance. Nothing in this review shall relieve the owner or designer of the responsibility for designing a safe building, structure or component.

You may direct all questions and concerns to this office.

Sincerely,

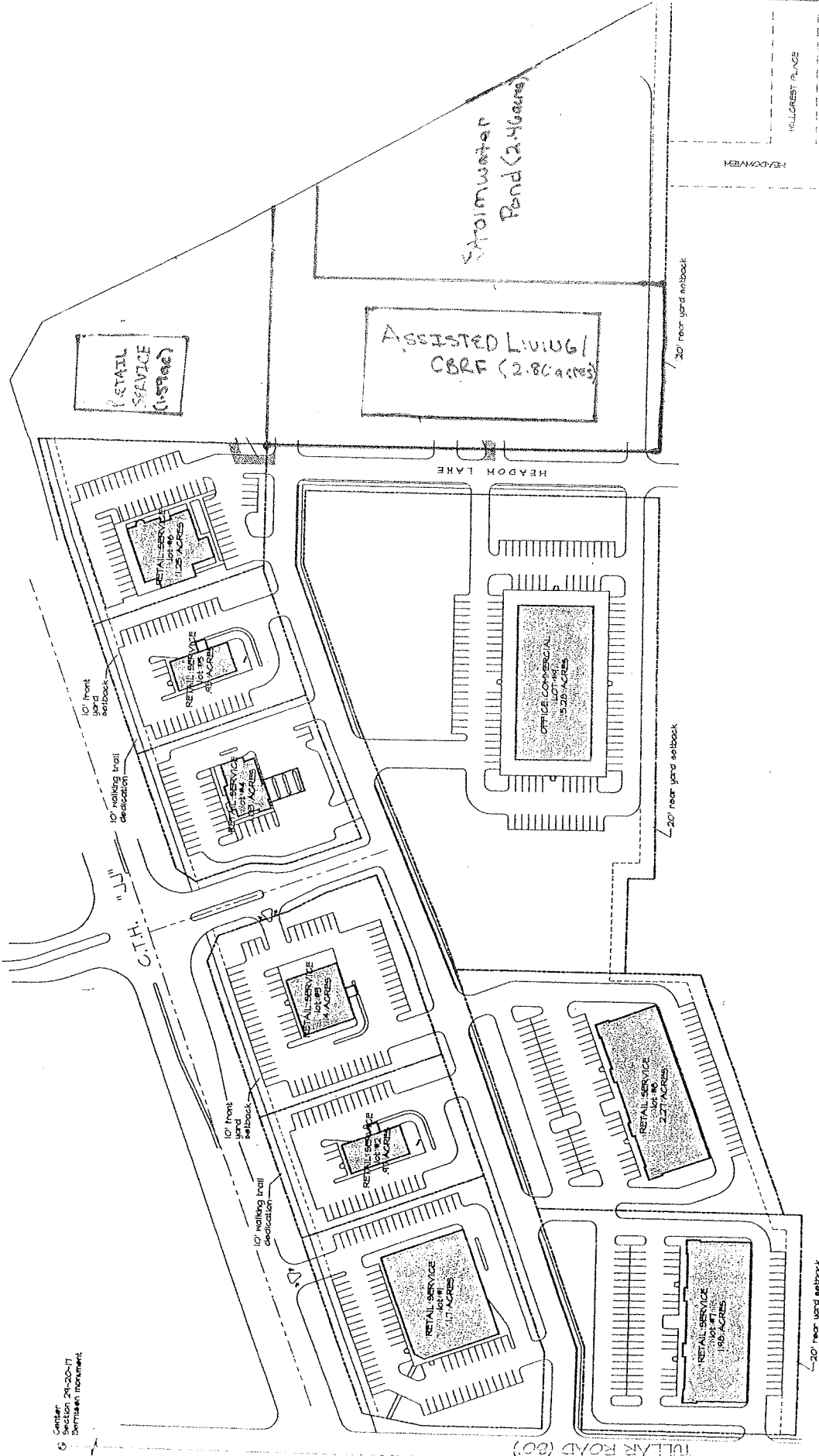
Adam J. Dorn  
Assistant Chief/ Fire Marshal  
920-886-6204  
adorn@nmfire.org

Cc: Building Department  
File

Part of Lot 13, Meadow Lane Court Replat, City of Neenah and part of the SE 1/4, Section 29, T20N, R17E, Town of Neenah, Winnebago County, Wisconsin



Center Section 29-20-11  
 6" barbs monument



West 1/2, SE 1/4, Section 29-20-11

A-100  
 05.14.19  
 04.13.18

DR Prime Development  
 19747 41 and Winnebago Avenue  
 Neenah, Wisconsin

MASTER OVERALL SITE PLAN  
 10/1/2019





211 Walnut Street  
Neenah, WI 54956

AN ORDINANCE: By the Neenah Plan Commission  
Re: Project Plan approval #1-23 for West Side  
Business Development District construct a new  
Chipotle restaurant located at 1121 Westowne  
Drive.

ORDINANCE NO. 2023-01  
Introduced: \_\_\_\_\_  
Committee/Commission Action: \_\_\_\_\_

## AN ORDINANCE

The Common Council of the City of Neenah, Wisconsin, do ordain as follows:

**Section 1.** That pursuant to Section 26-353 of the Neenah Municipal Code, the Common Council of the City of Neenah approves the following West Side Business Development Planned Development Project Plan.

Project Plan Approval 1-23, which is detailed in the attached Exhibit "A", which are incorporated herein by reference.

**Section 2. Severability.** In the event any section, subsection, clause, phrase or portion of this ordinance is for any reason held illegal, invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of this ordinance. It is the legislative intent of the Common Council that this ordinance would have been adopted if such illegal provision had not been included or any illegal application had not been made.

**Section 3. Repeal and Effective Date.** All ordinances or parts of ordinances and resolutions in conflict herewith are hereby repealed. This ordinance shall take effect from and after its passage and publication.

Approved:

Adopted: \_\_\_\_\_

\_\_\_\_\_  
Jane B. Lang, Mayor

Published: \_\_\_\_\_

Attest:

\_\_\_\_\_  
Charlotte Nagel, City Clerk



SE Corner



SW Corner



NE Corner




NW Corner



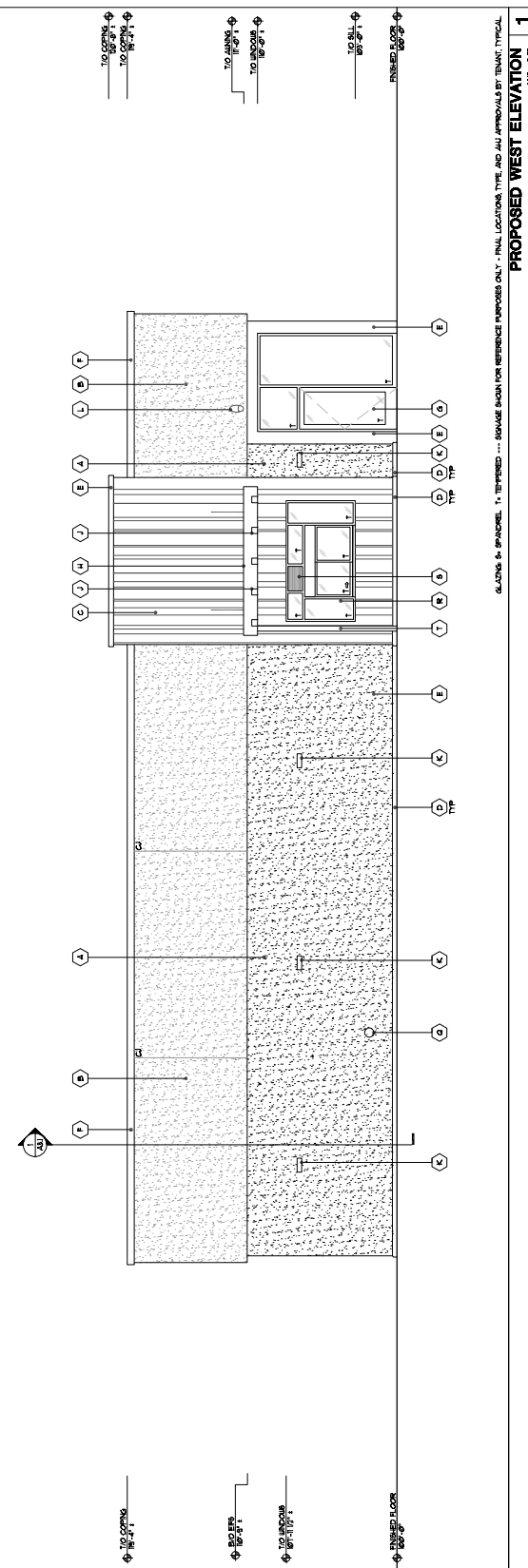
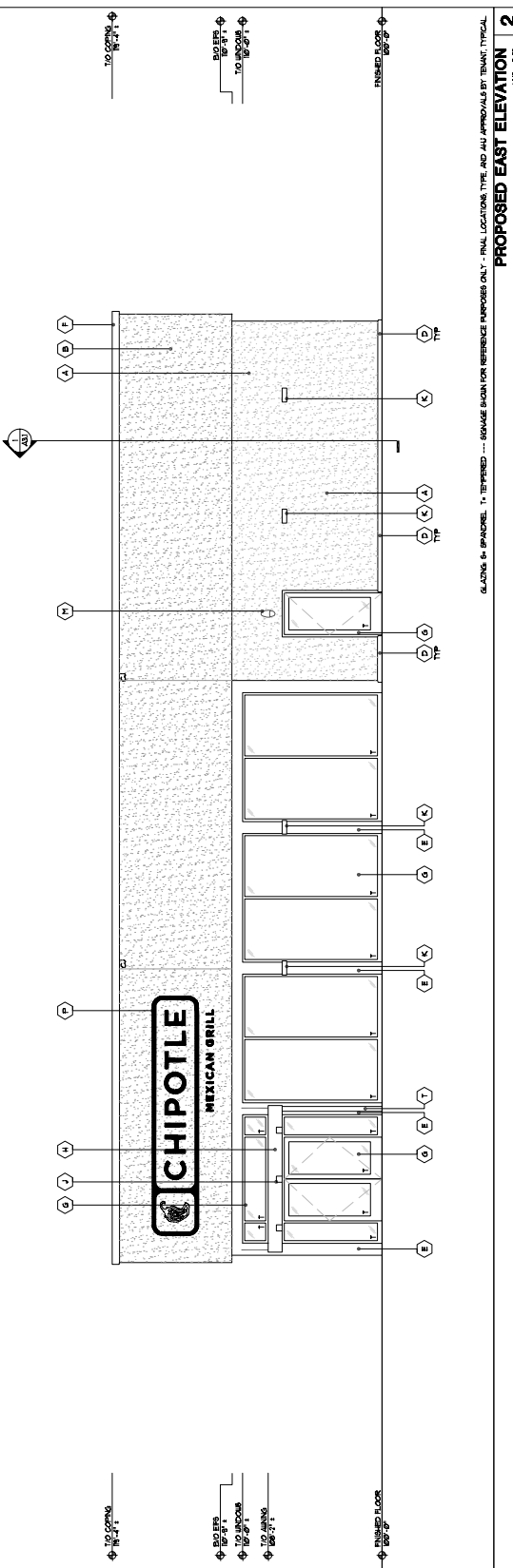
# Proposed Outlot Building @ Westowne Dr.

Neenah, WI | January 24th, 2023



J.D. design & architecture, Inc.  
Logo: 4142000000  
Project Manager: WSM  
Job Number: 25 252

Additional Info	
Project Name <b>Proposed Retail Outlet Building</b>	
Dates/Revisions DISAS PC SUBMITTAL	
1221 Westtowne Dr Menasha, WI 54956	
Drawing Title <b>PROPOSED ELEVATIONS</b>	
A21	



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS FROM THE DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS FROM THE DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS FROM THE DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS FROM THE DRAWINGS AND FIELD SURVEY.

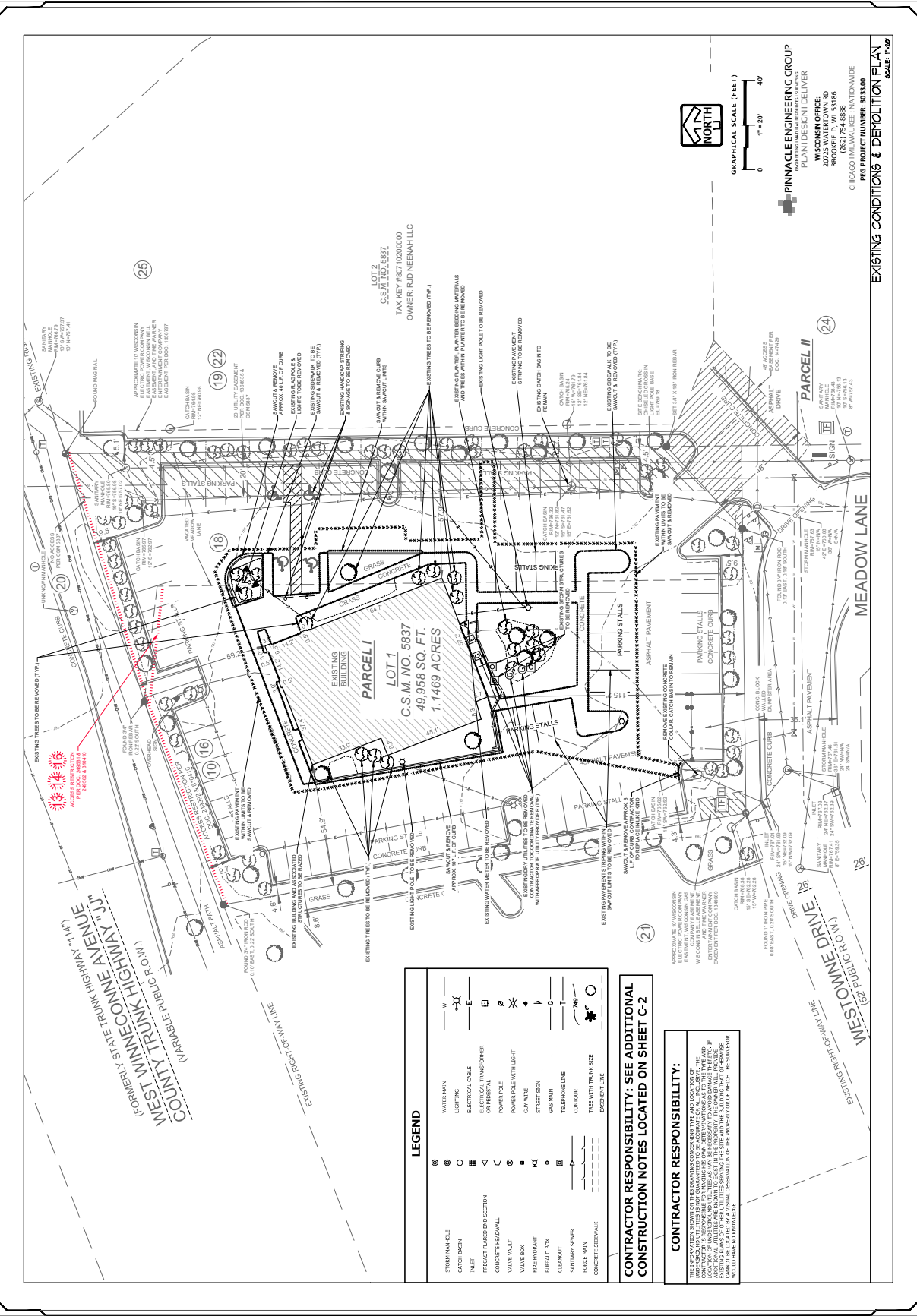
NOT FOR CONSTRUCTION  
- PRELIMINARY -



DA  
design & architecture, inc.  
Project Manager: WBW  
Job Number: 22-132

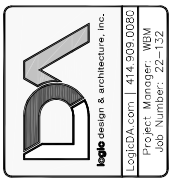
Additional Info	Project Name Proposed Retail Outlet	Drawing Title EXISTING CONDITIONS & DEPOSITION PLAN	Scale C-3
	Project Address Proposed Retail Outlet Building 1121 Westown Dr Neenah, WI 54956	Dates/Revisions 12-20-19 PC SUBMITTAL	

RIGHTS RESERVED - THIS DRAWING IS NOT TO BE REPRODUCED, OWNED, COPIED OR ASSIGNED TO ANY THIRD PARTY IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF DA. THE CLIENT AGREES TO INDEMNIFY AND HOLD DA AND ITS ENGINEERS, ARCHITECTS, ENGINEERS, CONTRACTORS, AND OTHER PROFESSIONALS HARMLESS FROM ANY DAMAGES, LIABILITY, OR COSTS OF DEFENSE, REASONABLY INCURRED BY DA OR FROM ANY BASIS OF DAMAGES OR CLAIMS AGAINST THE PROFESSIONAL PERSONNEL OF DA.



**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**CONTRACTOR RESPONSIBILITY:**  
THE INFORMATION SHOWN ON THIS DRAWING CONCERNING THE TYPE AND LOCATION OF EXISTING UTILITIES IS BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A PROFESSIONAL OBSERVATION OF THE PROPERTY OF WHICH THE SURVEYOR WOULD HAVE NO KNOWLEDGE.



Additional Info	Project Name Proposed Retail Outlot Building 1121 Westlowne Dr Neenah, WI 54956
Dates/Revisions	PC SUBMITTAL
Drawing Title	SITE DIMENSIONAL & PAVING PLAN
Sheet	C-4

THIS DRAWING IS NOT TO BE REPRODUCED, CHANGED, COPIED OR ADAPTED IN ANY MANNER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF LDI. THE CLIENT AGREES TO HOLD LDI AND ITS ENGINEERS, ARCHITECTS/ENGINEERS, LANDSCAPE ARCHITECTS AND DESIGNERS HARMLESS FROM ANY DAMAGES, LIABILITY, OR COSTS INCURRED BY THEM OR THEIR CONTRACTORS OR SUBCONTRACTORS AS A RESULT OF ANY REVISIONS MADE BY ANYONE OTHER THAN THE LDI OR FROM ANY REVISIONS OF THE DRAWINGS MADE WITHOUT THE WRITTEN PERMISSION OF LDI.

**LEGEND**

	LIGHT DUTY ASPHALT PAVEMENT 1" MIN. THICKNESS (SEE DETAIL) 4" MIN. CURB & GUTTER (SEE DETAIL) 1" MIN. FINISH (SEE DETAIL)
	HEAVY DUTY ASPHALT PAVEMENT 1" MIN. THICKNESS (SEE DETAIL) 4" MIN. CURB & GUTTER (SEE DETAIL) 1" MIN. FINISH (SEE DETAIL)
	CONCRETE SLAB 4" MIN. THICKNESS (SEE DETAIL) 4" MIN. CURB & GUTTER (SEE DETAIL) 1" MIN. FINISH (SEE DETAIL)
	CONCRETE SLAB WITH REINFORCEMENT 4" MIN. THICKNESS (SEE DETAIL) 4" MIN. CURB & GUTTER (SEE DETAIL) 1" MIN. FINISH (SEE DETAIL)
	4" WHITE STRIPE
	4" DIAGONAL AT 45° SPACED @ 2' O.C.
	12" CURB & GUTTER (SEE DETAIL)
	12" HERRINGBONE CURB & GUTTER (SEE DETAIL)
	SIDEWALK FLUSH WITH PAVEMENT (SEE DETAIL)
	ADA STAIR INSET
	ADA COMPLIANT RAMP w/ TAPERED DOWNS (SEE DETAIL)
	ASPHALT PAVEMENT (SEE DETAIL)
	CONCRETE WHEEL STOP (SEE DETAIL)
	PARKING COUNT (FOR INFORMATION ONLY, NOT TO BE PAINTED)

**SITE DATA**

SITE AREA:	1.13 AC (49,958 SF)
JOB TOTAL AREA LIMITS:	0.43 AC (18,348 SF)
BUILDING AREA:	0.56 AC (2,381 SF)
PROPOSED CAR PARKING SPACES:	74 SPACES (A, A-2, A-3)
PARKING PER BUILDING:	24.2 SPACES PER 1,000 SF
TOTAL IMPERVIOUS AREA:	0.39 AC (1,714 SQ. FT.)
GREEN SPACE (%):	26.31 %

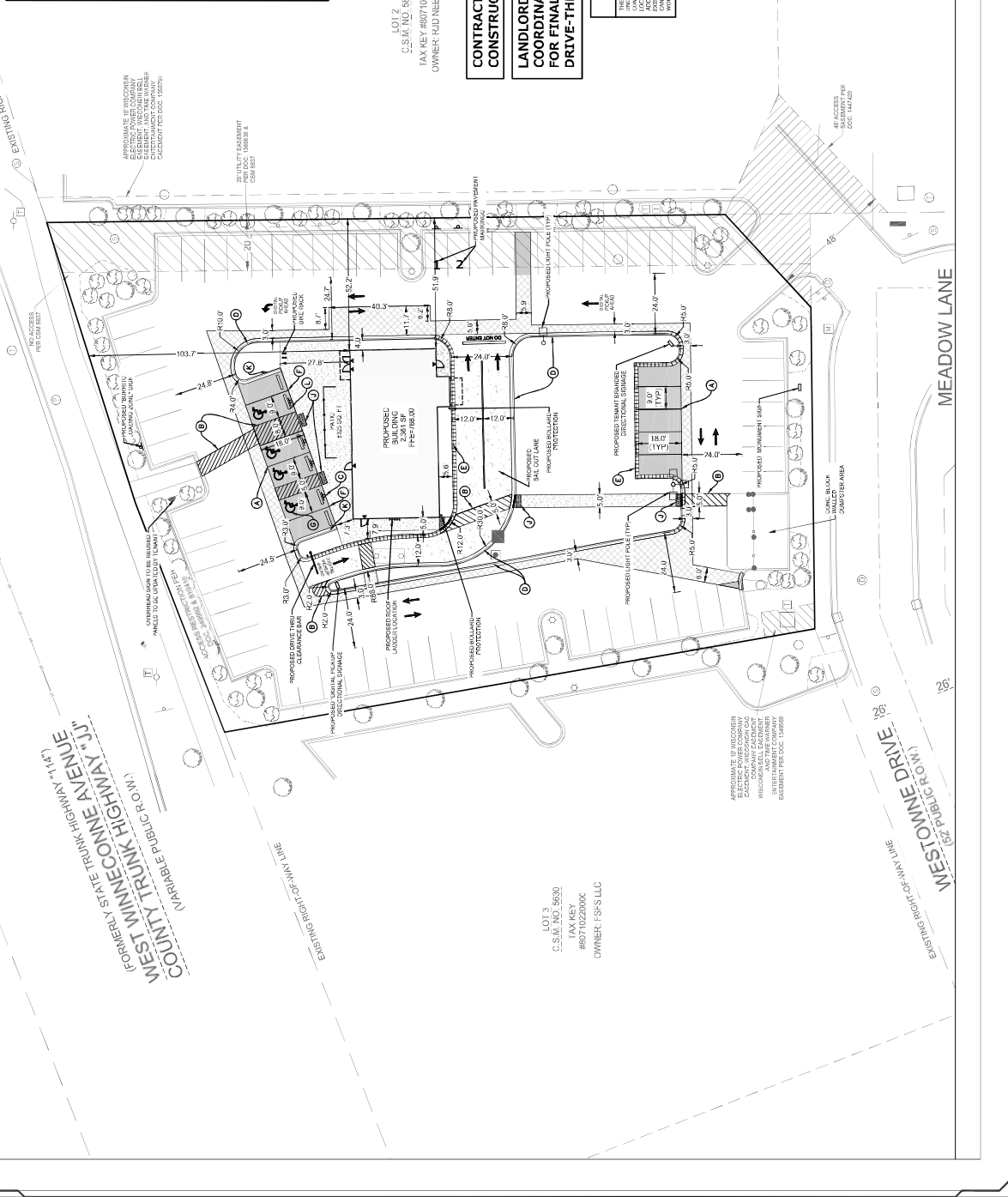
LOT 2  
C.S.M. NO. 5837  
TAX KEY #6071020000  
OWNER: RAD NEENAH LLC

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**LANDLORD GENERAL CONTRACTOR TO COORDINATE WITH TENANT PERMIT DRAWINGS FOR FINAL LOCATIONS AND DETAILS OF ALL DRIVE-THRU EQUIPMENT AND WAYFINDING**

**CONTRACTOR RESPONSIBILITY:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.




FORMERLY STATE TRUNK HIGHWAY 7147  
WEST WINECONE AVENUE  
COUNTY TRUNK HIGHWAY 1171  
(VARIABLE PUBLIC ROW)

LOT 3  
C.S.M. NO. 5630  
TAX KEY  
#6071020000  
OWNER: SFS LLC

**PINNACLE ENGINEERING GROUP**  
PLANNING & DESIGN  
WISCONSIN OFFICE  
20735 WATERCOURT RD  
BROOKFIELD, WI 53186  
CHICAGO, ILLINOIS, NATIONAL OFFICE  
PEG PROJECT NUMBER: 3033.00

SITE DIMENSIONAL & PAVING PLAN  
SCALE: 1"=20'

NOT FOR CONSTRUCTION

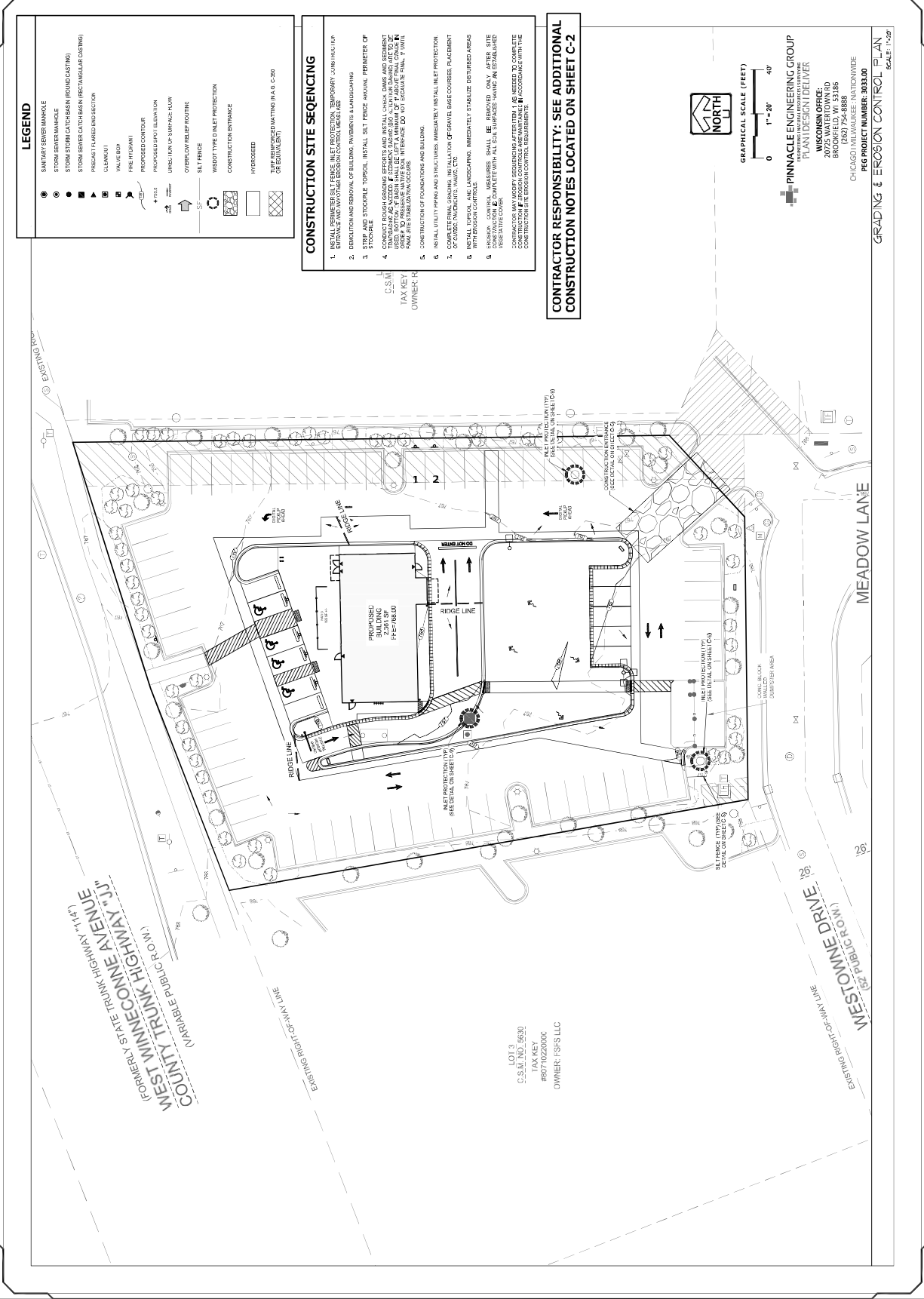


**DVA**  
design & architecture, inc.

Project Manager: WBW  
Job Number: 22-132

Project Name Proposed Retail Outlet	Dates/Revisions PC SUBMITTAL 1/21/2024 Nemah, WI 54956
Project Info	
Drawing Title GRADING & EROSION CONTROL PLAN	
C-5	

RIGHT LOGIC DESIGN & ARCHITECTURE, INC. (L&A), 2023 ALL RIGHTS RESERVED - THIS DRAWING IS NOT TO BE REPRODUCED, CHANGED, COPIED OR ASSIGNED TO ANY OTHER PARTY IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF L&A. THE CLIENT AGREES TO HOLD L&A AND THE ENGINEER/ARCHITECT/CONSULTANT HARMLESS FROM ANY DAMAGES, LIABILITY OR COSTS INCURRED BY ANYONE OTHER THAN THE L&A OR FROM ANY BASIS OF THE DAMAGES OR IN THE EVENT OF THE PROJECT BEING ABANDONED OR THE PROJECT BEING STOPPED AT ANY POINT IN TIME.



### LEGEND

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM STORM CATCH BASIN (ROUND CASTING)
- STORM SEWER CATCH BASIN (RECTANGULAR CASTING)
- ▭ PRECAST TRENCH AND DUCT
- ▭ CLEANOUT
- ▭ VALVE BOX
- ▭ FIRE HYDRANT
- ▭ PROPOSED CURB
- ▭ PROPOSED ASPHALT PAVEMENT
- ▭ UNFINISHED CONCRETE FLOOR
- ▭ OVERFLOW BLEED ROUTINE
- ▭ SILT FENCE
- ▭ WIDTH TYPE DRAIN PROTECTION
- ▭ CONSTRUCTION ENTRANCE
- ▭ HYDRATED
- ▭ TURF REINFORCED GRANULAR (T.R.G.) OR EQUIVALENT

- ### CONSTRUCTION SITE SEQUENCING
1. INSTALL PERIMETER SILT FENCE, INLET PROTECTION, TEMPORARY CURB PROTECTION, ENTRANCE AND OTHER EROSION CONTROL MEASURES
  2. DEMOLITION AND REMOVAL OF EXISTING PAVEMENTS & LANDSCAPING
  3. STOP AND STAKEOUT TYPICAL, INSTALL SILT FENCE AROUND PERIMETER OF CONSTRUCTION
  4. CONDUCT EROSION CONTROL MEASURES AND INSTALL CONCRETE AND FINISH TRENCHES AS NOTED. IF ANY TRENCHES ARE TO BE INSTALLED, THEY SHALL BE INSTALLED IN THE ORDER OF PRECEDENCE IN THE ORDER OF PRECEDENCE. DO NOT EXCEED FINAL 1" FINISH EROSION CONTROL MEASURES
  5. COMPLETION OF FOUNDATIONS AND BUILDING
  6. INSTALL UTILITY PIPING AND STRUCTURES. IMMEDIATELY INSTALL INLET PROTECTION, COMPLETE FINAL GRADING, AND ALL CURB AND FINISH CONCRETE PLACEMENT
  7. COMPLETE FINAL GRADING, AND ALL CURB AND FINISH CONCRETE PLACEMENT
  8. INSTALL DRAINAGE AND LANDSCAPING. IMMEDIATELY STABILIZE DISTURBED AREAS WITH EROSION CONTROL
  9. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE RESTORATION IS COMPLETE WITH ALL SOIL SURFACES WITHIN 48" ESTABLISHED VEGETATIVE COVER
- CONTRACTOR SHALL VERIFY SEQUENCING AFTER ITEM 1 IS NEEDED TO COMPLETE THE CONSTRUCTION. CONTRACTOR SHALL VERIFY SEQUENCING AFTER ITEM 1 IS NEEDED TO COMPLETE THE CONSTRUCTION. CONTRACTOR SHALL VERIFY SEQUENCING AFTER ITEM 1 IS NEEDED TO COMPLETE THE CONSTRUCTION. CONTRACTOR SHALL VERIFY SEQUENCING AFTER ITEM 1 IS NEEDED TO COMPLETE THE CONSTRUCTION.

**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**



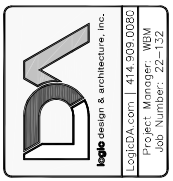
**PINNACLE ENGINEERING GROUP**  
P.E. AND E.C. LICENSED ENGINEER  
WISCONSIN OFFICE:  
20725 WATERCOURT RD  
BROOKFIELD, WI 53186  
CHICAGO, ILLINOIS OFFICE:  
100 N. LA SALLE ST. SUITE 1000  
CHICAGO, ILLINOIS 60602  
REG. PROJECT NUMBER: 3033.00

GRADING & EROSION CONTROL PLAN  
SCALE: 1"=20'

LOT 13  
C.S.M. NO. 5630  
TAX KEY  
#6071022000C  
OWNER: SFS LLC

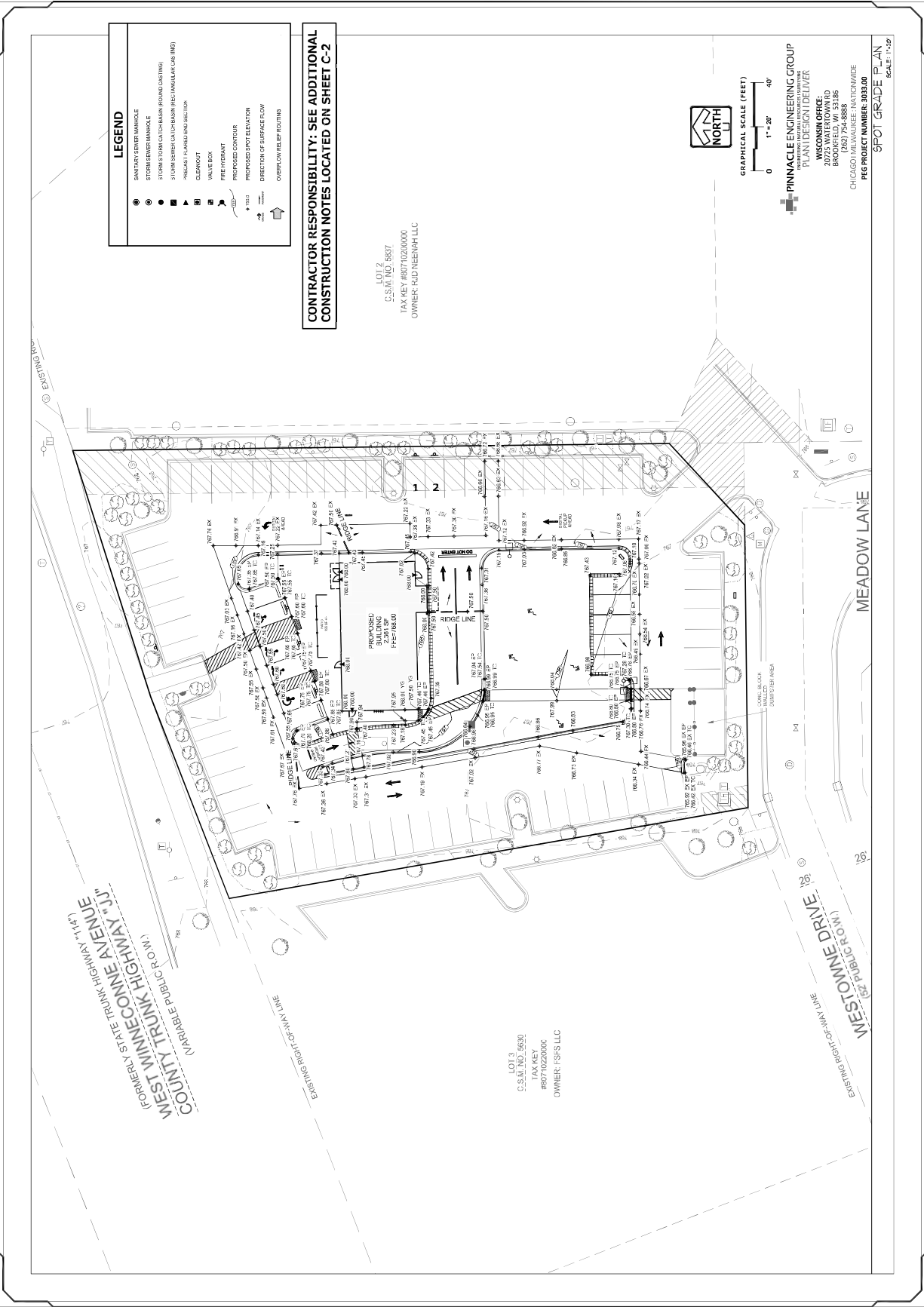
WEST STONE DRIVE  
FORMERLY STATE TRUNK HIGHWAY 7147  
COUNTY TRUNK HIGHWAY 7147  
VARIABLE PUBLIC ROW

MEADOW LANE  
EXISTING RIGHT-OF-WAY LINE  
125' PUBLIC ROW



Additional Info	Project Name Proposed Retail Outlet 1121 Westown Dr Neenah, WI 54956
Dates/Revisions	PC SUBMITTAL
Drawing Title	SPOT GRADE PLAN
Sheet Number	C-6

RIGHT LOGIC DESIGN & ARCHITECTURE, INC. (LAD), 2023 ALL RIGHTS RESERVED - THIS DRAWING IS NOT TO BE REPRODUCED, CHANGED, COPIED OR ASSIGNED TO ANY OTHER PARTY IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF LAD. THE CLIENT AGREES TO HOLD LAD AND THE ENGINEER/ARCHITECT/HANDSOME COMPANY LIABILITY ON COST, INCLUDING ATTORNEY'S FEES AND COSTS OF DEFENSE ARISING FROM ANY CHARGE OR ALLEGATION MADE BY ANYONE OTHER THAN THE LAD, OR FROM ANY REUSE OF THE DRAWING OR ANY MATERIAL FROM ANY PART OF THE PROJECT.



NOT FOR CONSTRUCTION - PRELIMINARY

Project Manager: WBW  
 Job Number: 22-132

Additional Info

Project Name  
 Proposed Retail Outlot

Dates/Revisions  
 12/15/2022  
 PC SUBMITTAL

1121 Westlome Dr  
 Neenah, WI 54956

Drawing Title  
 STORY SEWER  
 PLAN

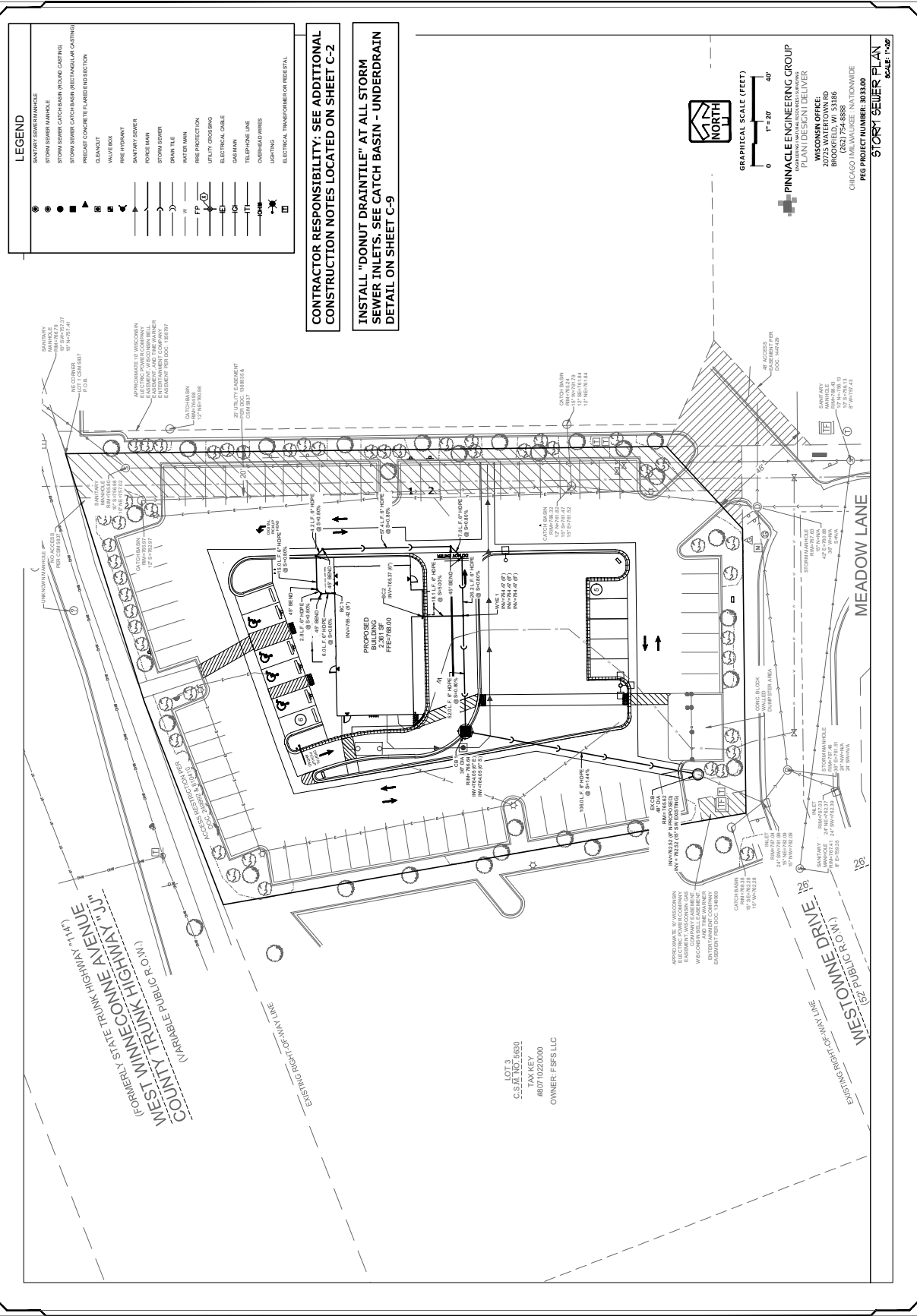
Scale: 1"=20'

GRAPHICAL SCALE (FEET)  
 0 1' 20' 40'

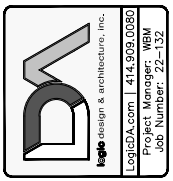
PINNACLE ENGINEERING GROUP  
 20725 WATERLOO RD  
 BROOKFIELD, WI 53186  
 CHICAGO, ILL. 60616  
 PEG PROJECT NUMBER: 303300

STORY SEWER PLAN  
 SCALE: 1"=20'

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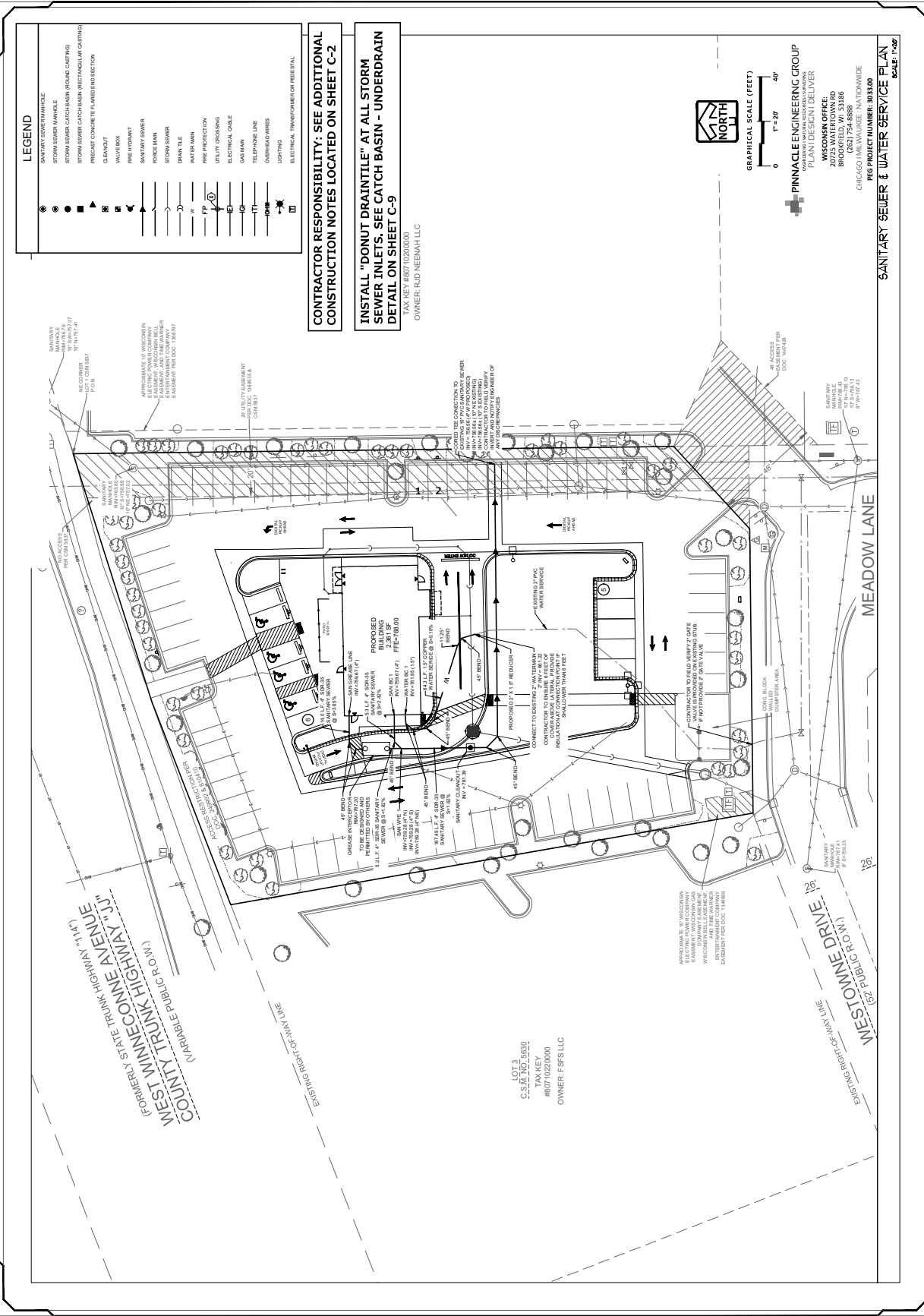


WESTLOME DRIVE (25' PUBLIC ROW)  
 MEADOW LANE  
 COUNTY TRUNK HIGHWAY 117  
 FORMERLY STATE TRUNK HIGHWAY 717  
 COUNTY TRUNK HIGHWAY 117 (VARIABLE PUBLIC ROW)



<b>Project Name</b> Proposed Retail Outlet 1121 Westlome Dr Neenah, WI 54956	
<b>Dates/Revisions</b> 01/2022 PC SUBMITTAL	<b>Drawing Title</b> <b>SANITARY SEWER &amp; WATER SERVICE PLAN</b>
<b>C-8</b>	

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**CONTRACTOR RESPONSIBILITY: SEE ADDITIONAL CONSTRUCTION NOTES LOCATED ON SHEET C-2**

**INSTALL "DONUT DRAINTILE" AT ALL STORM SEWER INLETS. SEE CATCH BASIN - UNDERDRAIN DETAIL ON SHEET C-9**

TAX KEY #8071020000  
 OWNER: RJD NEENAH LLC

**LOT 3**  
 C.S.M. NO. 5090  
 TAX KEY  
 #8071020000  
 OWNER: F S F S LLC

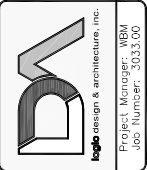
**LEGEND**

- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- STORM SEWER CATCHMENT (ROUND CASTING)
- STORM SEWER CATCHMENT (RECTANGULAR CASTING)
- PRECAST CONCRETE FLARED INLET SECTION
- CLEANOUT
- VAULT BOX
- PRE-PHOSPHATE
- SANITARY SEWER
- FORCE MAIN
- STORM SEWER
- DRINK T.E.
- WATER MAIN
- FREE PROTECTION
- UTILITY CROSSING
- ELECTRICAL CABLE
- CONDUIT
- TELEPHONE LINE
- OVERHEAD WIRE
- LIGHTING
- ELECTRICAL TRANSFORMER FOR RETAIL

**GRAPHICAL SCALE (FEET)**  
 0 1" = 20' 40'

**PINNACLE ENGINEERING GROUP**  
 20725 WATERLOAN RD  
 BROOKFIELD, WI 53186  
 CHICAGO, ILL. LICENSE NUMBER: 0303300  
 PEG PROJECT NUMBER: 303300

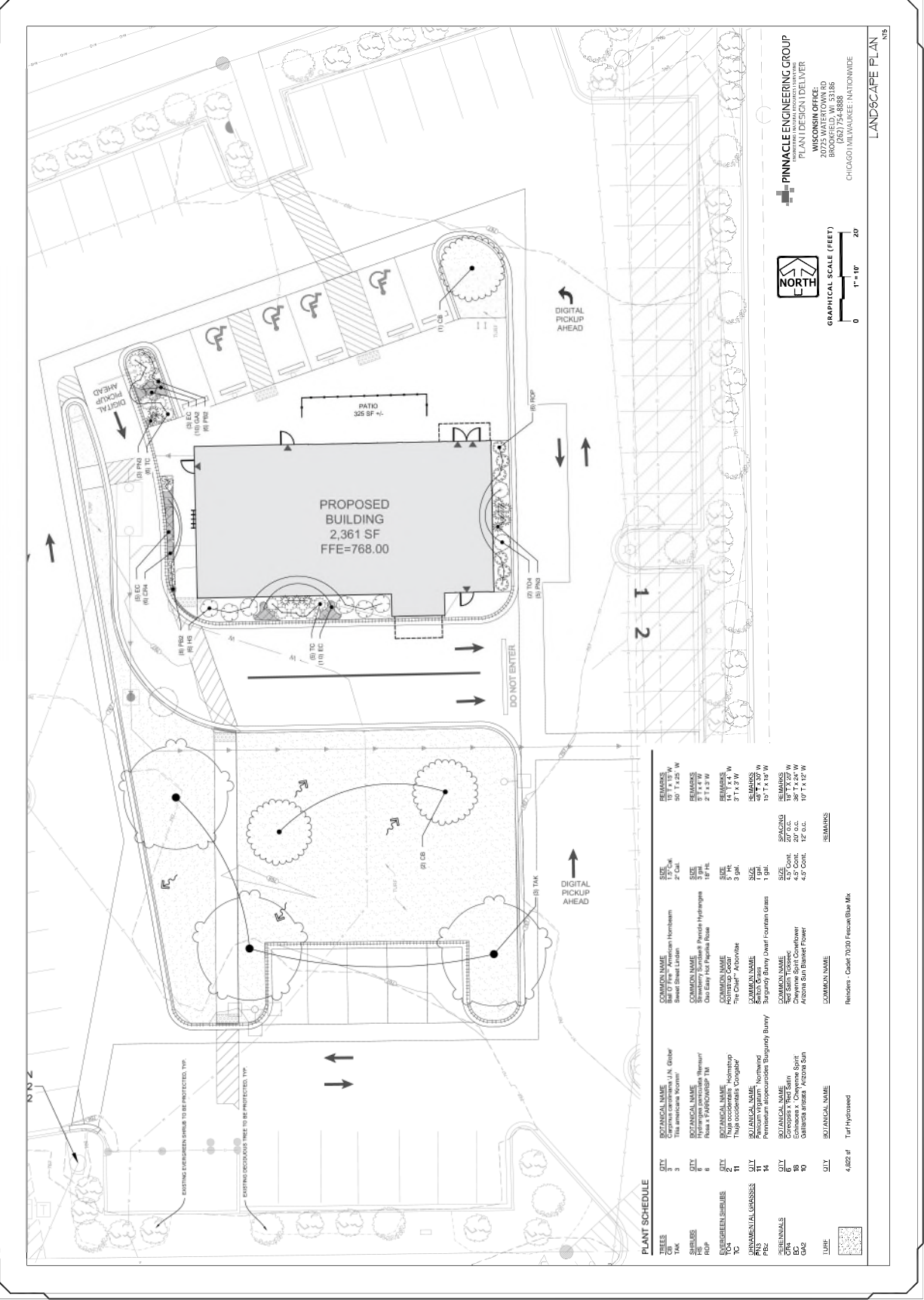
**SANITARY SEWER & WATER SERVICE PLAN**  
 SCALE: 1"=20'



Additional Info	Project Name	Dates/Revisions	Drawing Title
	1121 WESTOWNE DRIVE, NEENAH WI 54956	11.18.22 PRELIM. 20% SET	LANDSCAPE PLAN

NOT FOR CONSTRUCTION  
PRELIMINARY

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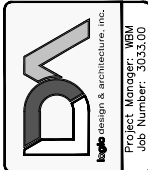
**Pinnacle Engineering Group**  
 WISCONSIN OFFICE  
 PLANT DESIGN DELIVER  
 BROOKFIELD, WI 53185  
 (262) 754-8888  
 CHICAGO/MILWAUKEE/NATIONWIDE

**GRAPHICAL SCALE (FEET)**  
 0 10 20  
 1" = 10'

**LANDSCAPE PLAN**  
 NS

**PLANT SCHEDULE**

TILES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
CLK	3	Cornus canadensis J.N. Oster	Black Dog American Hornbeam	2" Clk	10' T x 15' W
REB	6	Reboulia laevis	Reboulia	2" Clk	10' T x 15' W
REP	6	Reboulia laevis	Reboulia	2" Clk	10' T x 15' W
ESPER	6	Esperdy Blum Dwarf Fountain Grass	Esperdy Blum Dwarf Fountain Grass	1 gal.	10' T x 15' W
TC	11	Thalictrum occidentale 'Cottage'	The Chief' Poppy	3 gal.	10' T x 15' W
PRZ	14	Pennisetum alopecuroides 'Burgundy Bunny'	Burgundy Bunny Dwarf Fountain Grass	1 gal.	10' T x 15' W
REB	16	Reboulia laevis	Reboulia	2" Clk	10' T x 15' W
CA2	10	Callitriche arvensis 'Arizona Sun'	Arizona Sun Banker Power	4.5' Cont.	10' T x 15' W
LUK	4,652 sf	Turf Hybridized	Reboulia - Cultiv 7030 Fescue/Blue Mix		



Project Manager: VBM  
Job Number: 35353.00

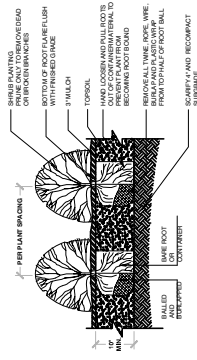
Project Name	CHIPPOTLE NEENAH
Dates/Revisions	11.18.22 PRELIM 20% SET
Drawing Title	LANDSCAPE NOTES & DETAILS
Sheet	L-2

NOT FOR CONSTRUCTION - FINAL LAYOUT

CONTRACTOR SHALL VERIFY ALL UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE. THE CONTRACTOR SHALL VERIFY ALL UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE.

**SOIL PLACEMENT NOTES**

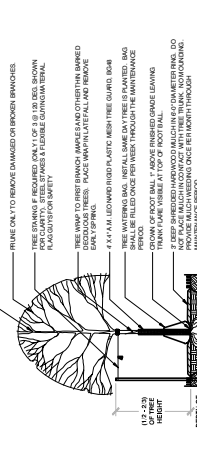
- LOOSEN SUBGRADE TO A MINIMUM DEPTH INDICATED IN PLANTING NOTES USING A CULTIVATOR OR SIMILAR EQUIPMENT, AND REMOVE STONES MEASURING OVER 1-1/2 INCHES IN ANY DIMENSION, STICKS, RUBBISH AND OTHER EXTRANEUS MATTER. AREAS ADJACENT TO WALKS AND PAVEMENT SHALL BE FREE OF EXCESS STONE AND PAVING MATERIALS SO AS TO PROVIDE AN UNINTERRUPTED CROSS SECTION OF SOIL. INTERNAL PARKING ISLANDS SHALL BE LOOSENE TO A DEPTH OF 3'-0".
- PLANTING SOIL MIX FOR PLANTING BEDS AREAS: (1) PART EXISTING SOIL, (1) PART TOPSOIL, (1) PART ORGANIC SOIL AMENDMENT, (2) POUNDS PER CUBIC YARD OF 4-4-4 ANALYSIS SLOW RELEASE FERTILIZER.
- TREE AND SHRUB HOLES SHALL BE FILLED WITH A PREPARED PLANTING MIXTURE OF 1 PART TOPSOIL, 2 PARTS PLANTING SOIL MIX, 3 PARTS ORGANIC SOIL MIX AND 1 PART FERTILIZER. DO NOT EXCEED 10% FERTILIZER. AFTER NATURAL SETTLEMENT, FINISH GRADE OF PLANTING BEDS SHALL BE 2" BELOW ADJACENT SURFACES. FINISH GRADE OF TURF SEEDING AREAS SHALL BE 1" BELOW ALL ADJACENT HARD SURFACES, WALKS, AND CURBS.
- PLACE APPROXIMATELY 1/2 OF TOTAL AMOUNT OF SOIL REQUIRED. WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER. THEN PLACE REMAINDER OF THE SOIL. SOIL TRANSITION LAYER SHALL BE TILLED TO A MINIMUM DEPTH OF 6" BELOW THE DEPTH OF NEWLY PLACED SOIL. PARKING LOT ISLANDS SHALL BE CROWNED TO A HEIGHT OF 6" TO PROVIDE PROPER DRAINAGE UNLESS OTHERWISE NOTED.
- DO NOT SPREAD PLANTING SOIL OR SUBGRADE IF FROZEN, MUDDY, OR EXCESSIVELY WET.
- FINISH GRADING: GRADE SOIL TO A SMOOTH, UNIFORM SURFACE PLANE WITH A LOOSE, UNIFORM, FINE TEXTURE.
- ROLL AND RAKE. REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES.
- RESTORE PLANTING BEDS IF FROZED OR OTHERWISE DISTURBED AFTER FINISH GRADING AND BEFORE PLANTING.



- REMOVE ALL EXISTING MULCH AND SOIL FROM PLANTING AREA.
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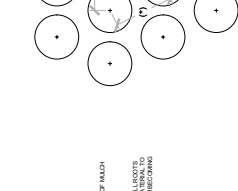
**GENERAL PLANTING NOTES**

- THE LAYOUT OF ALL PLANTING BEDS AND INDIVIDUAL TREES AND SHRUBS SHALL BE STAKED BY THE CONTRACTOR IN ADVANCE OF INSTALLATION. FLAGGING, STAKES, OR PAINT MAY BE USED TO DELINEATE LOCATIONS AS SCALED FROM THE PLANS. AN APPROVED REPRESENTATIVE WILL REVIEW THE LOCATIONS WITH THE CONTRACTOR AND MAKE MINOR ADJUSTMENTS AS NECESSARY. BED LAYOUT SHALL BE RECORDED AND SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND VERIFYING THE PLANT MATERIAL QUANTITIES REQUIRED BY THE LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT.
- NO PLANT MATERIAL OR PLANT SIZE SUBSTITUTIONS WILL BE ACCEPTED WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT. ANY CHANGES SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO INSTALLATION.
- ALL BINS STOCK SHALL BE NURSERY GROWN IN A CLAY LOAM SOIL. FOR A MINIMUM OF THREE GROWING SEASONS WITHIN 200 MILES OF PROJECT LOCATION. IN A ZONE COMPATIBLE WITH USDA HARDINESS ZONE 6A. SEED SHALL BE PROVIDED FROM A NURSERY (WITHIN 200 MILES) WITH A PROPER GROWING RECORDS AND TAGS.
- ALL PLANT MATERIALS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND POTENTIALLY SELECT ANY PLANT MATERIAL DEEMED TO NOT MEET THE REQUIRED STANDARDS.
- ALL STOCK SHALL BE FREE OF DISEASES AND HARMFUL INSECTS, DAMAGE, DISORDERS AND MUTATIONS.
- TREES SHALL HAVE SINGLE, STRAIGHT TRUNKS AND WELL-BALANCED BRANCH SYSTEMS. MULTISTEM TREES SHALL HAVE 3-4 STRAIGHT TRUNKS AND WELL-BALANCED BRANCH SYSTEMS. HEIGHT-TO-CANOPY RATIOS SHALL BE CONSISTENT WITH THE LATEST EDITION OF ANSI Z60.1.
- ROOT SYSTEMS SHALL BE LARGE ENOUGH TO ALLOW FULL RECOVERY OF THE TREE, AND SHALL CONFORM TO STANDARDS AS THEY APPEAR IN THE MOST CURRENT REVISION OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S AMERICAN STANDARD OF NURSERY STOCK (ANSI Z60.1).
- BINS TREES SHALL BE DUG WITH A BALL OF SOIL, NOT SOFT BALLED OR POTTED, AND SHALL BE FIRM IN THEIR ROOTBALL. ROOT BALL SHALL BE WRAPPED (WITH BUBBLEWRAP OR NETTING), THE TREE ROOT FLARE OR COLLAR, SHALL BE AT OR WITHIN THE TOP THREE INCHES OF GRADE. ALL SPRING TREES MUST BE FRESHLY DUG IN THE MOST RECENT SPRING.
- ALL AUTUMN TREES MUST BE FRESHLY DUG IN THE MOST RECENT AUTUMN.
- TREES SHALL BE ALIVE, HEALTHY AND APPROPRIATELY MOIST AT TIME OF DELIVERY. TREES SHALL BE SUBJECT TO INSPECTION FOR PROPER SOIL AMENDMENTS AND TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY TREES THAT DO NOT MEET THE SPECIFICATIONS OR THAT HAVE BEEN DAMAGED DURING SHIPMENT. THE LANDSCAPE INSTALLER MUST RECEIVE APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY SUBSTITUTIONS OR ALTERATIONS.
- ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE A MINIMUM 10" DEPTH OF PREPARED SOIL. WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 10" OF SOIL. REFER TO SOIL PLACEMENT NOTES.
- WHILE PLANTING TREES AND SHRUBS, BUCK OFF ALL OF PLANTING HOLE AND WATER TREE THOROUGHLY BEFORE INSTALLING THE REMAINDER OF SOIL MIXTURE. AFTER ALL SOIL HAS BEEN PLACED INTO THE PLANTING HOLE, WATER THOROUGHLY AGAIN.
- THE CONTRACTOR MUST LABEL ALL TREES WITH THE COMMON AND BOTANICAL NAMES PRIOR TO FINAL INSPECTION.
- ALL PLANTING BEDS SHALL BE MULCHED WITH 3" DEEP SHREDDED HARDWOOD MULCH, AND ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3" DEEP SHREDDED HARDWOOD MULCHED KING AS SHOWN IN PLANTING DETAILS.
- ALL PLANTING BEDS AND TREES SHALL HAVE A 4" DEEP PREPARED BED EDGE CREATED BY EITHER A FLAT LANDSCAPE SPADE OR UNIFORM LAWN.
- ALL PLANTING BEDS AND TREES SHALL BE CUT CLEAN AND SMOOTHLY SHOWN ON LANDSCAPE PLANS WITH A CLEAR DEFINITION BETWEEN TURF AND PLANTING AREAS.
- ALL TURF SEED AREAS SHALL RECEIVE A MINIMUM OF 6" DEPTH OF TOPSOIL, WITH APPROVAL, EXISTING SOIL MAY BE UTILIZED PROVIDED THE PROPER SOIL AMENDMENTS ARE TILLED THOROUGHLY INTO THE TOP 6" OF SOIL AS INDICATED IN THE SOIL PLACEMENT NOTES. REQUIRED AMENDMENTS SHALL BE DETERMINED BASED ON A SOIL ANALYSIS TO BE PERFORMED. ALL TOPSOIL AMENDMENT SHALL BE AGED FREE NATURE OR CLASS 1 ORGANIC MATTER.
- OR LAWN SEEDING, PLANTS SHALL BE SEED AS PERMANENTLY AT THE RATE RECOMMENDED BY MANUFACTURER, AND PROVIDE A MULCH SPECIFICATIONS TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. EROSION CONTROL MEASURES ARE TO BE INSTALLED IN THOSE AREAS REQUIRING STABILIZATION (SWALES, SLOPES EXCEEDING 1:3, AND THOSE LOCATIONS INDICATED IN CIVIL DRAWINGS).
- THE CONTRACTOR TO ENSURE A SMOOTH, UNIFORM QUALITY TURF IS ACHIEVED WITH NO BARE SPOTS, LARGER THAN 6" X 6". ANY BARE SPOTS SHALL BE RESEED AT THE END OF ESTABLISHMENT PERIOD SHALL BE RESEED AT THE CONTRACTORS EXPENSE TO OBTAIN A DENSE, UNIFORM LAWN.
- ALL FINISH GRADING AND LAWN AREAS TO BE INSTALLED BY LANDSCAPE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE PROJECT SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.
- ALL DISTURBED AREAS OUTSIDE THE LIMITS OF WORK SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONSULT DIGGERS HOTLINE. TREES SHALL BE INSTALLED NO CLOSER THAN:
  - 10 FEET FROM STORM MAINS, SANITARY SEWER LATERALS, DRIVEWAYS, AND WATER SERVICE
- THE CONTRACTOR SHALL ENSURE THAT SOIL CONDITIONS AND COMPACTION ARE ADEQUATE TO ALLOW FOR PROPER DRAINAGE AROUND THE CONSTRUCTION SITE. UNDESIRABLE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING OF WORK. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER SURFACE AND SUBSURFACE DRAINAGE IN ALL AREAS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, AND LICENSES NECESSARY FOR THE INSTALLATION OF THIS PLAN.
- THE CONTRACTOR IS TO REVIEW ALL SITE ENGINEERING DOCUMENTS PRIOR TO INSTALLATION. ANY CONFLICTS MUST BE OTHERWISE STATED, LANDSCAPE ARCHITECT. THESE LANDSCAPE DRAWINGS ARE FOR THE INSTALLATION OF PLANT MATERIALS ONLY UNLESS OTHERWISE STATED.
- THE CONTRACTOR SHALL PROVIDE WATERING AND MAINTENANCE SERVICES FOR A PERIOD OF 60 DAYS TO ENSURE VEGETATIVE ESTABLISHMENT AND PROTECTION OF THE PROJECT. CONTRACTOR SHALL SUPPLY THE OWNER IN WRITING WITH ONGOING WATERING AND MAINTENANCE SCHEDULES.
- PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR FROM TIME OF OWNER ACCEPTANCE. ONLY ONE BARE ROOT PLANT WILL BE REQUIRED DURING THE WARRANTY PERIOD EXCEPT IN THE EVENT OF FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO CONDUCT A FINAL WALK THROUGH WITH THE LANDSCAPE ARCHITECT AND/OR OWNERS REPRESENTATIVE TO ANSWER QUESTIONS, PROVIDE IF NECESSARY, AND ENSURE THAT PROJECT REQUIREMENTS HAVE BEEN MET.

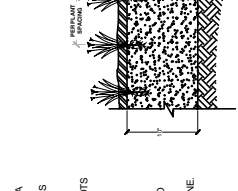


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**2 SHRUB PLANTING**



**1 TREE PLANTING**



(\*) = SPECIFIED PLANT SPACING PER PLANTING LIST

4 PLANT SPACING

3 PERENNIAL PLANTING

**PINNACLE ENGINEERING GROUP**  
PRACTICE: DESIGN CONSULTING  
WISCONSIN OFFICE:  
20725 WATERCROW  
BROOKFIELD, WI 53186  
CHICAGO OFFICE: NATIONWIDE

**LANDSCAPE NOTES & DETAILS**

NS