

#### NEENAH PLAN COMMISSION

#### Tuesday, October 8, 2024 4:00 P.M. Hauser Room, City Administration Building

Virtual Meeting Option: This meeting is available virtually. To access the virtual meeting (Requires Microsoft Teams), please click on the link below:

#### Join the meeting now

Meeting ID: 232 895 442 872 Passcode: Vieh4o

- 1. Approval of Minutes: September 24, 2024
- 2. Public Appearances (Ten minutes divided among those wishing to speak on topics pertinent to the Plan Commission)
- 3. Public Hearings:
  - a. Special Use Permit 903 S. Green Bay Road Class "A" License
  - b. Rezoning 154 Tyler Street R2 District to I2 District
- 4. Action Items:
  - a. Special Use Permit 903 S. Green Bay Road Class "A" License
  - b. Rezoning 154 Tyler Street R2 District to I2 District (Ord. No. 2024-21)
  - c. Site Plan 601 S. Commercial Street Parking Lot Expansion
  - Relocation Order (Amendment) S. Commercial Street (Res. No. 2024-19)
- 5. Housing Study and Needs Assessment
- 6. Announcements and future agenda items:
  - a. Next Meeting: October 29, 2024

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Neenah will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance, or reasonable accommodation in participating in this meeting or event due to a disability as defined under the ADA, please call the Community Development Department Administrative Assistant at 920-886-6125 or the City's ADA Coordinator at (920) 886-6106 or e-mail attorney@NeenahWI.gov at least 48 hours prior to the scheduled meeting or event to request an accommodation.

#### MINUTES OF THE NEENAH PLAN COMMISSION Tuesday, September 24, 2024 4:00 p.m.

#### Present:

| Mayor Jane Lang,   | PRESENT | Sarah Moore-Nokes,   | PRESENT | Gerry Kaiser, Director | PRESENT |
|--------------------|---------|----------------------|---------|------------------------|---------|
| Chairperson        |         | Vice Chairperson     |         | of Public Works        |         |
| Kate Hancock-Cooke | PRESENT | Karen Genett         | ABSENT  | Betsy Ellenberger      | ABSENT  |
| Gerry Andrews      | PRESENT | Alderman Dan Steiner | PRESENT |                        |         |

#### Also Present:

| Brad Schmidt, Deputy Director of | Lisa Mroczkowski, Public Works | Alderman Lendrum |
|----------------------------------|--------------------------------|------------------|
| Community Development            | Office Manager                 |                  |
| Alderman Pollnow                 | Tom Leighton, Stantec          |                  |
|                                  |                                |                  |

<u>Minutes:</u> MSC Andrew/Moore-Nokes, the Plan Commission, to approve the July 30, 2024, meeting minutes. All voting aye. Motion passed.

<u>Public Appearances:</u> Chairperson Mayor Lang opened public appearances to topics not related to the agenda.

No one in attendance spoke. Chairperson Mayor Lang closed public appearances.

#### Public Hearings:

a. Chapter 26 – Zoning Code – Amendment

Deputy Director Schmidt distributed an email from S. Dabill Taylor in regard to the proposed amendment to Chapter 26, Zoning Code pertaining to Tourist Housing.

Chairperson Mayor Lang closed public hearings.

#### Action Items:

a. Chapter 26 – Zoning Code – Amendment (*Ordinance No. 2024-20*)

Deputy Director Schmidt stated that staff is proposing a modification to the tourist housing ordinance, which was adopted in 2017. The background on this is that we've been receiving requests over the years for tourist housing, primarily in commercial districts, where there are mixed uses, commercial on the first floor and resident/apartment on the second floor. Typically, these have been denied because the property is not the owner's primary residence. This proposal would expand tourist housing, or short-term rentals in the city.

Deputy Schmidt stated that the intent of the ordinance in the first place was to protect neighborhoods, so we said that the tourist housing has to be your primary residence. You can't have third party property managers managing the property. Looking at the commercial side of things, tourist housing is really no different than a hotel, which is allowed in our downtown and other commercial districts. Staff is proposing two modifications, the first is adding "except those tourist housing properties located in commercial buildings" language to Sec. 26-661(3) and

ORDINANCE NO. 2024-20 suggests moving the last sentence talking about third party management companies being prohibited to the beginning of the section. Deputy Director Schmidt stated that not just any commercial building can be tourist housing. It still must have a dwelling unit per the definition of a dwelling unit standards. The second change regarding Section 26-661(8) removes the primary residence requirement from commercial property.

Member Andrews said commercial buildings could be apartments. Deputy Director Schmidt stated that apartments would fall under commercial buildings. I look at our downtown business properties, where you have the residents on the second floor, those are commercial properties, and that's where the requests have been coming from, primarily in the downtown where people have an apartment above a business.

Member Moore-Nokes asked what is generating the requests. Deputy Director Schmidt stated that owners are looking at other options for rentals because I think that downtown is a place where people want to be from a tourist standpoint.

Member Moore-Nokes referred to the email that was distributed and how it relates to the effect this change will have on housing shortage in the area. Deputy Director Schmidt stated that it is certainly a concern. I don't know if it's as impactful as that letter is suggesting. He said that we don't have a lot of apartments downtown. I don't think every owner that has an apartment downtown is going to rent it all for short term rentals.

Member Andrews asked how tourist housing is defined. Deputy Director Schmidt stated it is any rental less than 30 days.

Member Moore-Nokes asked if there is a limit to the number of days that a dwelling can be rented. Deputy Director Schmidt stated that it is no more than 180 days per year.

MSC Steiner/Moore-Nokes, the Plan Commission, to recommend Common Council approve Ordinance No. 2024-20, amending Section 26-661(3) and Section 26-661(8) of the Code of Ordinances relating to Tourist Housing. All voting aye. Motion passed.

#### b. Annexation #235-Breezewod Lane – Town of Neenah (Ordinance No.2024-19)

Deputy Director Schmidt stated that there Gerald & Barbara Porsche have submitted a petition for direct annexation to the City of Neenah for property located along the southside of Breezewood Lane in the Town of Neenah. The annexation is approximately 0.27 acres which is currently vacant land. The petitioners want to annex the land and reconfigure it with land they own along Baytree Lane. The property will be zoned R-1, Single Family Residence District once annexed.

MSC Moore-Nokes/Steiner, the Plan Commission, to recommend Common Council approve Annexation #235 (Ordinance 2024-19), and the property also receive an R-1, Single-Family Residence District zoning classification. All voting aye. Motion passed.

Ordinance No.2024-19 **CONSENT AGENDA** 

#### c. CSM #7-24 - Baytree Lane - 3 Lots

Deputy Director Schmidt stated that a certified survey map was submitted which proposed to reconfigure two lots on Baytree Lane and two on Breezewood Lane. There is a narrow strip of land between the three lots (two on Baytree Lane and one on Breezewood Lane) which is located in the Town of Neenah. This strip of land is owned by Gerald and Barbara Porche who reside at 1407 Baytree Lane. The CSM proposed to add a portion of the that strip of land to their property and to the property south of them at 1411 Baytree lane. Deputy Director Schmidt stated that additionally the southern portion of 1480 Breezewood lane is proposed to be added to 1411 Baytree Lane.

MSC Kaiser/Andrews, the Plan Commission, to approve the 3 lot CSM for the property located along Breezewood lane and Baytree Lane conditioned on the approval of Annexation #235.

#### d. Preliminary Plat #3-24 – 4<sup>th</sup> Additional to Homes at Freedom Meadows – 47 Lots

Deputy Director Schmidt stated that this is the final phase of the Homes at Freedom Meadows. It is located within the Freedom Acres and Freedom Meadows subdivisions on that north corner. It is a little over 15 acres and will have 47 single family lots. The average lot dimensions are 72 feet wide and just under 12,000 square feet in area, which is consistent with pretty much everything else in the Homes at Freedom Meadows. There are two roads that are proposed, Sovereign Way and Freeman Drive. Deputy Director Schmidt stated that staff is dealing with the DNR, because there are wetlands impacted here. It is possible that Sovereign Way, might curve just a little bit, depending on DNR is action on that wetland permit.

MSC Andrews/Steiner, the Plan Commission recommend Common Council approve the Preliminary Plat for the 4<sup>th</sup> Addition of the Homes at Freedom Meadows subdivision subject to the conditions on the preliminary plat review letter.

#### 5. Housing Study and Needs Assessment – Consultant Introduction

Deputy Director Schmidt stated that Stantec is the consultant that's working on our housing study. to the Plan Commission will be serving as the steering committee for the housing study as we continue to develop it. There will be future meetings where Tom's and his colleagues will be bringing back information, data analysis, survey questions and other information that the steering committee will need to address and provide feedback on.

Mr. Leighton provided information to the Plan Commission on the staff that will be working on the housing study, project timeline, strategies, and how they offer a unique look at developing individual housing studies for communities.

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<u>Adjournment:</u> The Commission adjourned its meeting at 4:48 p.m. MSC Steiner/Kaiser. All voting Aye. Motion passed.

Respectfully Submitted,

Lisa Mraskowski

Lisa Mroczkowski

Public Works Office Manager

#### **Brad R. Schmidt**

From:

Dabill Taylor <sdabilltaylor3@gmail.com>

Sent:

Tuesday, September 24, 2024 9:54 AM

To:

Cari C. Lendrum; Mark A. Ellis; Kathie A. Boyette; Brad R. Schmidt; mlang@neenahwi.gov

Subject:

Plan Commission Public Hearing - Tourist Housing

I am writing to express an opinion regarding the change to the Tourist Housing Ordinance (Section 26-661(3) and Section 26-661(8)) to allow Commercial properties (mixed use dwelling units) to be used as Tourist housing in lieu of traditional long-term rental property.

The investor demand for Tourist Housing has excelled in recent years (COVID), and with it - the large profit margin investors/owners make renting units as short-term rentals versus long-term. Typically, a short-term rental can generate more income in a weekend than a traditional rental can generate in a month. Therefore, if the City is concerned about the lack of 'affordable housing' (or just long-term housing) - expanding the scope of Tourist Housing is not the answer. The increased requests by investors/owners for allowing short-term rentals is strictly based on profit - not what is best for the community. This amendment also does not address increased on-street parking needs in the downtown area or maximum persons per unit.

S. Dabill Taylor

**[EXTERNAL EMAIL]** DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.





DATE: October 8, 2024

TO: Mayor Lang and Members of Plan Commission

FROM: Brad Schmidt, AICP, Deputy Director

RE: Special Use Permit – 903 S. Green Bay Road – Class "A" License

#### Request

Kwik Trip, Inc. has submitted a request obtain a Class "A" license to sell fermented malt beverage at their convenience store located at 903 S. Green Bay Road.

#### Consideration

Convenience stores which sell gasoline are required to obtain a Class "A" license and a special use permit to sell fermented malt beverages. Chapter 4 of the Municipal Code includes further limitations related to Class "A" licenses for properties which sell gasoline:

- 1. Alcohol may only be displayed and sold from a lockable area such as a cooler, cage, or similar facility. No open floor display or sale from which will be permitted.
- 2. Total floor area allocated to alcohol sales shall be limited to no more than 10% of the total sales floor area of the store or 750 square feet, whichever is less.
- 3. The area from which alcohol is displayed and sold must be locked and inaccessible to the public between the hours of 9:00 PM and 8:00 AM, pursuant to Wis. State. §125.32(3)(d).
- 4. There shall be no sale of single serve fermented malt beverages in bottles or cans of fewer than 60 ounces per container.
- 5. Fermented malt beverages may only be sold or given away in four-pack or greater collective quantities of 12 or more ounce bottles or cans.
- 6. Advertisement for alcohol products may not be displayed in any exterior location of the business (including upon, at or near gasoline or other fuel pump islands).
- 7. Sales of fermented malt beverages in kegs, of any size, are not permitted.
- 8. Given the "quick stop" and high-volume nature of retail customer businesses at convenience stores, tasting events (i.e. the sale or provision of taste samples of fermented malt beverages) are not permitted on any premises licensed hereunder.
- 9. A cashier selling alcoholic beverages must be at least 18 years of age, and at least on on-duty employee must possess a legal operator's license while alcohol is being sold, being also within sight of all alcohol sales transactions.
- 10. Any license issued hereunder shall be immediately forfeited and surrendered should the convenience store cease to sell and dispense gasoline or other motor fuels.

Kwik Trip is located on a 2.4-acre parcel and includes a 6,650 square-foot building and gasoline pump islands. The total sales floor area is about 3,700 square feet. The proposal is to include an alcohol sales area of 25 square feet in lockable refrigerators with doors accessible to the guests. This area represents less than 1% of the total sales floor area of the building.

The proposed floor plan and sales area for the alcohol sales represents an area less than 10% of the total sales floor area and less than the maximum 750 square feet per the Municipal Code. Any future changes to the proposed alcohol sales floor area may require a modification to this special use permit and the Class "A" fermented malt beverages license. Failure to meet the requirements of the Class "A" license may constitute a forfeiture of the special use permit.

#### Recommendation

Plan Commission finds that the proposed floor plan meets the requirements listed under Section 4.95(f) of the Municipal Code for a Class "A" license and recommends Common Council approve a Special Use Permit for the issuance of a Class "A" license for property located at 903 S. Green Bay Road subject to the conditions of the Special Use Approval Letter.



City of Neenah Community Development 211 Walnut Street Neenah WI 54956 Ph 920.886.6130

October 03, 2024

MARANDA OLIVER KWIK TRIP, INC. 1626 OAK ST LA CROSSE, WI 54603

RE: Special Use Permit #1-24 - 905 S. Green Bay Road - Class "A" License Special Use Review () Status Approved

Dear MARANDA OLIVER:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment bschmidt@neenahwi.gov
920-886-6126

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#### **Plan Review Comments**

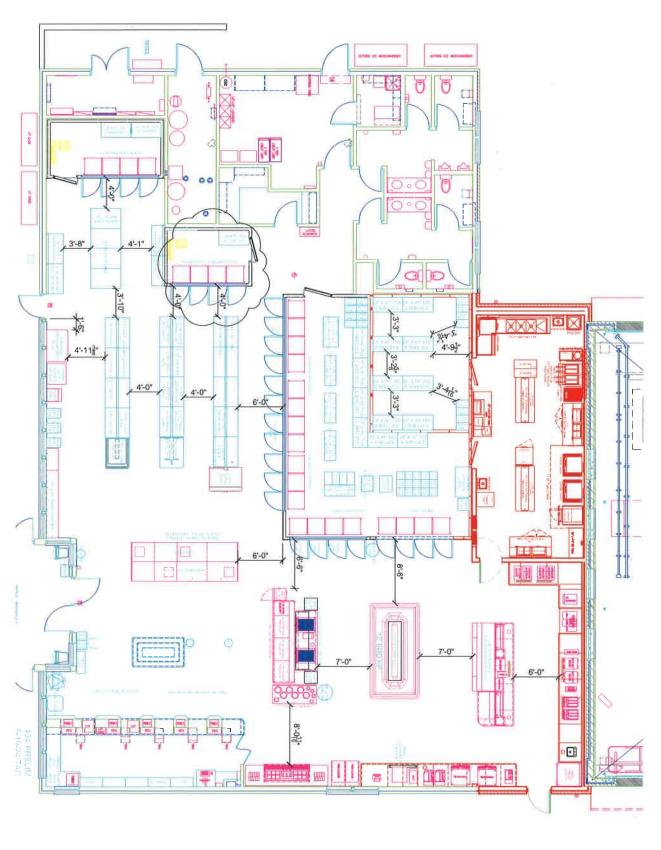
## Planning - Brad Schmidt - bschmidt@neenahwi.gov

**Approved** 

#### **Review Comments:**

- 1. Alcohol may only be displayed and sold from a lockable area such as a cooler, cage, or similar facility. No open floor display or sale from which will be permitted.
- 2. Total floor area allocated to alcohol sales shall be limited to no more than 10% of the total sales floor area of the store or 750 square feet, whichever is less.
- 3. The area from which alcohol is displayed and sold must be locked and inaccessible to the public between the hours of 9:00 PM and 8:00 AM, pursuant to Wis. State. §125.32(3)(d).
- 4. There shall be no sale of single serve fermented malt beverages in bottles or cans of fewer than 60 ounces per container.
- 5. Fermented malt beverages may only be sold or given away in four-pack or greater collective quantities of 12 or more ounce bottles or cans.
- 6. Advertisement for alcohol products may not be displayed in any exterior location of the business (including upon, at or near gasoline or other fuel pump islands).
- 7. Sales of fermented malt beverages in kegs, of any size, are not permitted.
- 8. Given the "quick stop" and high-volume nature of retail customer businesses at convenience stores, tasting events (i.e. the sale or provision of taste samples of fermented malt beverages) are not permitted on any premises licensed hereunder.
- 9. A cashier selling alcoholic beverages must be at least 18 years of age, and at least on on-duty employee must possess a legal operator's license while alcohol is being sold, being also within sight of all alcohol sales transactions.
- 10. Any license issued hereunder shall be immediately forfeited and surrendered should the convenience store cease to sell and dispense gasoline or other motor fuels.
- 11. Modifications to the alcohols sales area require an amendment to the special use permit.
- 12. Failure to adhere to these requirements may constitute a forefiture of the special use permit.

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## MEMORANDUM

DATE: October 8, 2024

TO: Mayor Lang and Plan CommissionFROM: Brad Schmidt, AICP, Deputy Director

**RE**: Rezoning #2-24 – 154 Tyler St (**Ord. No 2024-21**)

#### Request

Galloway Company (601 S. Commercial Street) has submitted a request to rezone 154 Tyler Street from the R-2, Two-Family Residence District to the I-2, General Industrial District.

#### **Background**

Galloway Company is proposing an expansion of their semi-trailer parking to a location on the northwest corner of their property. One of the properties Galloway Company owns, 154 Tyler Street, is zoned R-2, Two-Family Residence District. Rezoning this property to the I-2, General Industrial District is required to allow the proposed parking. In addition, Galloway Company is proposing to consolidate the subject property and other surrounding properties into their main parcel located at 601 S. Commercial Street. The Zoning Code prohibits a parcel from being located in multiple zoning districts.

As with all rezoning requests, the proposed zoning classification must be consistent with the City's Comprehensive Plan 2040 and future land use designation. In this case, the future land use map identifies this area as the Neenah Industrial Corridor. The Industrial Corridor category is intended to promote business and industrial expansion. The I-2 zoning district is consistent with the Comprehensive Plan's future land use map.

#### Recommendation

An appropriate action at this time is for the Plan Commission to recommend Common Council approve Ordinance No. 2024-21 rezoning 154 Tyler Street to the I-2, General Industrial District.



AN ORDINANCE: By the Neenah Plan Commission
Re: Rezoning land located at 154 Tyler Street from
the R-2, Two-Family Residence District to the I2 General Industrial District.

| ORDINANCE NO. 2024-21        |  |
|------------------------------|--|
| Introduced:                  |  |
| Committee/Commission Action: |  |
|                              |  |

## **AN ORDINANCE**

The Common Council of the City of Neenah, Wisconsin, do ordain as follows:

**Section 1.** Section 26-123 of the Neenah Municipal Code pertaining to zoning districts, and the map therein described, is hereby amended by rezoning approximately 0.16 Acres of land located at 154 Tyler Street from the R-2, Two-Family Residence District to the I-2, General Industrial District. The property is more particularly described as follows:

#### Parcel I:

Lot Eleven (11) in Block Five (5), in SHERRY'S SECOND ADDITION TO SHERRYTOWN, in the Second Ward, City of Neenah, Winnebago County, Wisconsin, excepting therefrom the following two (2) parcels:

- 1) Beginning at a point on the West line of Lot 11 that is 46.58 feet North of the Southwest corner of said Lot 11; thence North 80°12' East 8 feet; thence Northwesterly 48.98 feet to a point on the West line of said Lot 11 that is 51.68 feet North of the place of beginning; thence South along the West line of said Lot 11 51.68 feet to the place of beginning.
- 2) Beginning at the Southwest corner of said Lot 11; thence North along the West line of Lot 11, 46.58 feet; thence Northeasterly to a point on the East line of Lot 11 that is 28 feet North of the Southeast corner of Lot 11; thence South along the East line of Lot 11, 28 feet to the Southeast corner of said Lot 11; thence Southwesterly along the South line of Lot 11 to the Southwest corner of said Lot 11, the place of beginning.

#### Parcel II:

1) All that part of Lot Twelve (12), Block Five (5), in SHERRY'S SECOND ADDITION TO SHERRYTOWN, Second Ward, City of Neenah, Winnebago County, Wisconsin, described as follows: Beginning at the Northeast corner of said Lot 12; thence South along the East line of said Lot 12, 47.62 feet; thence Northwesterly 46.84 feet to a point on the North line of said Lot 12 that is 8 feet Southwesterly from the place of beginning;

thence Northeasterly along the North line of said Lot 12, 8 feet to the place of beginning and including one-half the Tyler Street right-of-way.

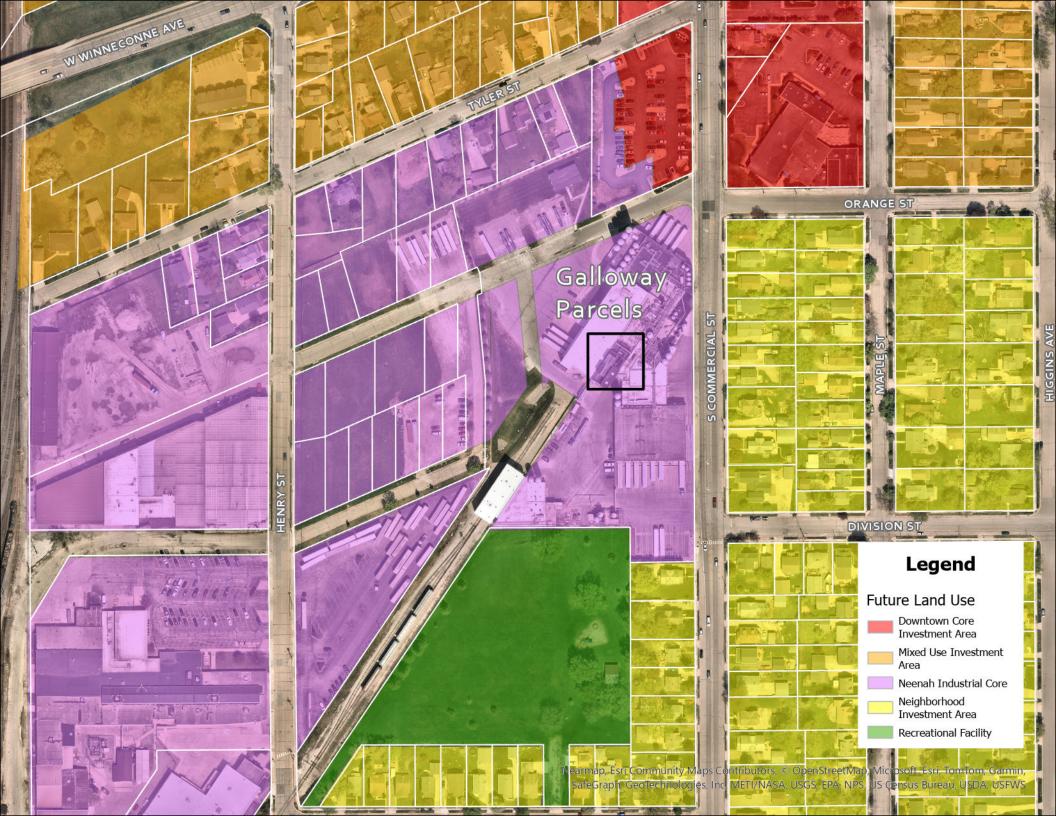
Parcel ID: 802-0051-00-00

- **Section 2.** Severability. In the event any section, subsection, clause, phrase or portion of this ordinance is for any reason held illegal, invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of this ordinance. It is the legislative intent of the Common Council that this ordinance would have been adopted if such illegal provision had not been included or any illegal application had not been made.
- **Section 3.** Repeal and Effective Date. All ordinances or parts of ordinances and resolutions in conflict herewith are hereby repealed. This ordinance shall take effect from and after its passage and publication.

| Adopted:   | Approved:                   |   |
|------------|-----------------------------|---|
| Published: |                             |   |
|            | Jane B. Lang, Mayor         |   |
|            | Attest:                     |   |
|            |                             |   |
|            | Charlotte Nagel. City Clerk | _ |

## 154 Tyler St Rezoning







DATE: October 8, 2024

TO: Mayor Lang and Members of Plan Commission

FROM: Brad Schmidt, AICP, Deputy Director

RE: Site Plan Review – 601 S Commercial Street – Parking Lot

#### Request

Galloway Company has submitted a site plan to modify and construct new semi-trailer parking and interior drives for property located at 601 S. Commercial Street.

#### Consideration

In 2023, the Plan Commission approved a site plan for the construction of a new building addition and parking/drives on the Galloway property. A new site plan was submitted modifying the semi-trailer parking and interior drives on the site. In addition to the site plan submittal, Galloway has also submitted a request to rezone a parcel they own along Tyler Street and a CSM to modify an approved CSM to consolidate Galloway-owned property into one parcel.

The site plan proposes to construct a right-in driveway off Henry Street, two new semi-trailer parking areas, and internal driveways to improve semi-truck circulation within the site. A 36 stall semi-trailer parking area is proposed along the northwest portion of the property. An additional semi-trailer parking area is located along the southwest portion of the property and includes 7 stalls.

Access to the site along Henry Street includes a right-in driveway. As semi-trucks enter the site they will maneuver south and east to drop off product. Semi-trucks will then exit on S. Commercial Street, as they do currently. The proposed improvement are intended to improve truck circulation within the site and prepare for a future receiving building that is proposed along the west portion of the site.

#### **Development Standards**

The I-2 District development standards are listed below. The proposed dimension or size is listed in parentheses next to the standard.

#### Parking Setbacks:

Front Yard – 10 feet (20 feet – Henry Street)
Front Yard – 25 feet (25 feet – Tyler Street)
Side Yard – 10 feet (10 feet – south property line)

#### Landscaping

The Zoning Code requires frontage landscaping as part of the proposed semi-trailer parking area along Tyler Street. There is a total of 280 feet of frontage along Tyler which requires a minimum of seven shade trees and 42 shrubs (1 shade tree and 6 shrubs for each 40 linear feet of frontage). The proposed landscape plan meets the minimum landscape standards. In addition, the plan includes a 6-foot-tall sight-tight fence adjacent to the semi-trailer parking area along Tyler Street, providing additional buffering from the residential properties on the north side of Tyler Street.

#### **Storm Water Management**

A storm water pond is proposed on the northwest portion of the site. Storm water runoff from the proposed semi-trailer parking lot and other impervious areas will drain to the pond. The City is also proposing a regional storm water pond in Douglas Park (south of the Galloway property). A portion of the Galloway site will drain to this storm water pond.

#### **Outdoor Lighting**

A lighting plan proposes the installation of eight light poles with full cut-off LED light fixtures along the proposed drives and parking lots. Lighting levels adjacent to residential properties are 0.0 foot-candles, while the lighting levels along all other property lines are below the maximum 0.5 foot-candle requirement. The light fixtures are poles are affixed to poles which are a total of 28 feet in height.

#### Recommendation

An appropriate action at this time is for Plan Commission to approve the site plan to construct semi-trailer parking on property located at 601 S Commercial Street subject to the conditions of the Site Plan Review Letter.



City of Neenah Community Development 211 Walnut Street Neenah WI 54956 Ph 920.886.6130

October 03, 2024

TROY BEYER
GALLOWAY COMPANY
601 S COMMERCIAL STREET
NEENAH, WI 54956

RE: Site Plan #12-24 - 601 S Commercial Street - Parking Lot Site Plan - Minor Review () Status Approved

Dear TROY BEYER:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment bschmidt@neenahwi.gov
920-886-6126

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#### **Plan Review Comments**

## Planning - Brad Schmidt - bschmidt@neenahwi.gov

**Approved** 

#### **Review Comments:**

- 1. Prior to construction, a parking lot permit is required through the Inspections division: https://evolvepublic.neenahwi.gov/
- 2: A storm water maintenance agreement shall be signed and recorded. Please contact HKummerow@neenahwi.gov.
- 3. Work within the public right-of-way along Henry Street will require a right-of-way permit. Please contact the Department of Public Works (920-886-6240)
- 4. The site plan is conditionally approved and is dependent on the approval of the rezoning request for 154 Tyler Street and the approval and recording on the proposed CSM.
- 5. Modifications to this site plan will require additional site plan review. Please contact BSchmidt@neenahwi.gov if any changes are made to the site plan.
- 6. A storm sewer easement along the south side of the property shall be written and recorded. Please contact HKummerow@neenahwi.gov

Community Development - Chris Haese - chaese@neenahwi.gov

**Approved** 

#### **Review Comments:**

Inspections - Building Commercial - Kyle Pederson - 920-886-6131 kpederson@neenahwi.gov

**Approved** 

#### **Review Comments:**

Water Utility - Anthony Mach - 920-886-6180 amach@neenahwi.gov

**Approved** 

#### **Review Comments:**

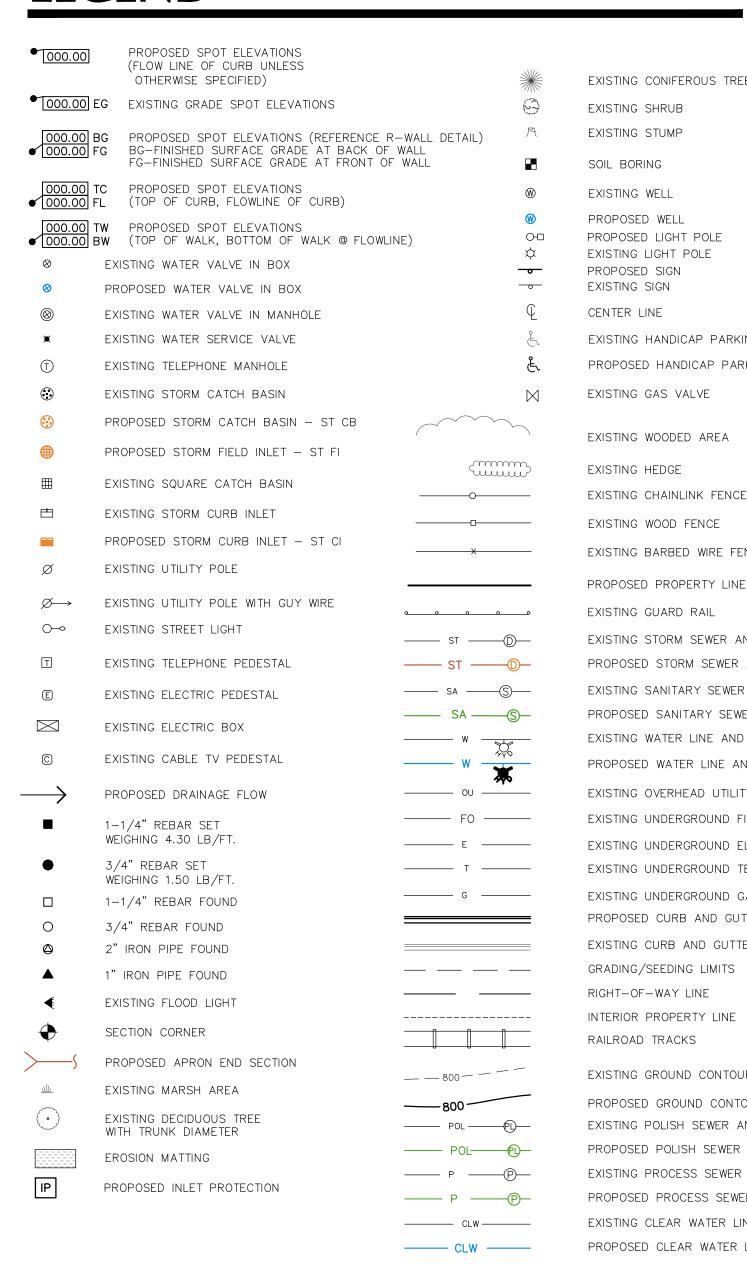
Engineering - Heath Kummerow - 920-886-6245 hkummerow@neenahwi.gov

#### **Review Comments:**

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# PROPOSED EVAPORATOR ADDITION FOR: GALLOWAY CO.

# NEENAH, WISCONSIN LEGEND



## EXISTING CONIFEROUS TREE EXISTING SHRUB SOIL BORING EXISTING WEL PROPOSED WELL PROPOSED LIGHT POLE EXISTING LIGHT POLE PROPOSED SIGN

EXISTING SIGN CENTER LINE EXISTING HANDICAP PARKING STALL PROPOSED HANDICAP PARKING STALL EXISTING GAS VALVE

EXISTING WOODED AREA EXISTING HEDGE EXISTING CHAINLINK FENCE EXISTING BARBED WIRE FENCE

EXISTING GUARD RAIL EXISTING STORM SEWER AND MANHOLE PROPOSED STORM SEWER AND MANHOLE - ST MH EXISTING SANITARY SEWER AND MANHOLE PROPOSED SANITARY SEWER AND MANHOLE - SAN MH EXISTING WATER LINE AND HYDRANT

PROPOSED WATER LINE AND HYDRANT EXISTING OVERHEAD UTILITY LINE EXISTING UNDERGROUND FIBER OPTIC LINE EXISTING UNDERGROUND ELECTRIC CABLE EXISTING UNDERGROUND TELEPHONE CABLE EXISTING UNDERGROUND GAS LINE PROPOSED CURB AND GUTTER EXISTING CURB AND GUTTER GRADING/SEEDING LIMITS RIGHT-OF-WAY LINE INTERIOR PROPERTY LINE

EXISTING GROUND CONTOUR PROPOSED GROUND CONTOUR EXISTING POLISH SEWER AND MANHOLE PROPOSED POLISH SEWER AND MANHOLE EXISTING PROCESS SEWER AND MANHOLE PROPOSED PROCESS SEWER AND MANHOLE PROPOSED CLEAR WATER LINE

## **DIVISION 31 EARTH WORK**

### 31 10 00 SITE CLEARING (DEMOLITION)

A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING SITE DEMOLITION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO

B. CONTRACTOR TO FIELD TELEVISE ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE AT TIME OF DEMOLITION. THE TELEVISING SHALL BE COMPLETED TO ENSURE THE EXISTING LATERAL(S) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISING OF THESE LATERAL(S) SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF

ANY PIPE ORSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVISING . DEMOLITION PLAN IS AN OVERVIEW OF DEMOLITION TO TAKE PLACE ON SITE. CONTRACTOR TO FIELD VERIFY EXISTING SITE CONDITIONS PRIOR TO BIDDING ONTRACTOR SHALL REMOVE, REPLACE, OR DEMOLISH ALL ITEMS AS NEEDED DURING CONSTRUCTION. D. CONTRACTOR TO PROTECT EXISTING IMPROVEMENTS THAT ARE SCHEDULED TO REMAIN. ANY DAMAGE TO EXISTING FACILITIES SHALL BE REPLACED AT

E. ALL CONCRETE NOTED TO BE REMOVED SHALL BE REMOVED TO THE NEAREST CONTROL JOINT

#### 31 20 00 EARTH MOVING

A. CONTRACTOR SHALL CALL DIGGER'S HOT LINE AND CONDUCT A PRIVATE UTILITY LOCATE AS REQUIRED TO ENSURE THAT ALL UTILITIES HAVE BEEN LOCATED BEFORE STARTING EXCAVATION. DESIGN ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN PLAN AND FIELD CONDITIONS PRIOR TO B. PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT FOR ALL EXCAVATION, GRADING, FILL AND BACKFILL WORK AS REQUIRED TO COMPLETE THE GENERAL CONSTRUCTION WORK. ALL EXCAVATION AND BACKFILL FOR ELECTRICALS AND MECHANICALS ARE THE RESPONSIBILITY OF THE RESPECTIVE CONTRACTOR

UNLESS OTHERWISE SPECIFIED IN THE BID DOCUMENTS. C. ALL ORGANIC TOPSOIL INSIDE THE BUILDING AREA, UNDER PAVED AREAS, AND AT SITE FILL AREAS SHALL BE REMOVED. PROOF ROLL SUBGRADES BEFORE PLACING FILL WITH HEAVY PNEUMATIC-TIRED EQUIPMENT, SUCH AS A FULLY-LOADED TANDEM AXLE DUMP TRUCK, TO IDENTIFY SOFT POCKETS AND AREAS OF EXCESS YIELDING. CONTRACTOR SHALL VERIFY TOPSOIL DEPTHS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL REVIEW AND FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND ACCOUNT FOR EXISTING CONDITIONS PRIOR TO SUBMITTING BID FOR THE PROJECT. EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE DIRECTED IN THE PLANS OR BY LOCAL ZONING REQUIREMENTS. D. PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS. UNIFORMLY MOISTEN OR AERATE SUBGRADE AND EACH SUBSEQUENT FILL OR

OTHERWISE SATISFACTORY SOIL MATERIAL THAT IS TOO WET TO COMPACT TO SPECIFIED DRY DENSITY. E. PLACE BACKFILL AND FILL MATERIALS IN LAYERS NOT MORE THAN 8" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4" IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. F. COMPACT THE SOIL TO NOT LESS THAN THE FOLLOWING PERCENTAGES OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D 698, STANDARD PROCTOR TEST. FILL MAY NOT BE PLACED ON FROZEN GROUND AND NO FROZEN MATERIALS MAY BE USED FOR BACK FILL. APPLY THE MORE STRINGENT REQUIREMENTS

BACKFILL LAYER BEFORE COMPACTION AS RECOMMENDED TO ACHIEVE SPECIFIED DRY DENSITY. REMOVE AND REPLACE, OR SCARIFY AND AIR DRY,

1. UNDER FOUNDATIONS - SUBGRADE, AND EACH LAYER OF BACKFILL OR FILL MATERIAL, TO NOT LESS THAN 98 PERCENT 2. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS MORE THAN 3 FEET BELOW THE SLAB - PLACE A DRAINAGE COURSE LAYER OF 3/4" CRUSHED STONE, WITH 5% TO 12% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE

3. UNDER INTERIOR SLAB-ON-GRADE WHERE GROUNDWATER IS WITHIN 3 FEET OF THE SLAB SURFACE- PLACE A DRAINAGE COURSE LAYER OF CLEAN 3/4" CRUSHED STONE. WITH NO MORE THAN 5% FINES, PER THICKNESS INDICATED ON FOUNDATION PLANS ON PREPARED SUBGRADE. COMPACT THE SUBGRADE AND DRAINAGE COURSE TO NOT LESS THAN 95 PERCENT. 4. UNDER EXTERIOR CONCRETE AND ASPHALT PAVEMENTS - COMPACT THE SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN

5. UNDER WALKWAYS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 95 PERCENT 6. UNDER LAWN OR UNPAVED AREAS - COMPACT SUBGRADE AND EACH LAYER OF BACKFILL OR FILL MATERIAL TO NOT LESS THAN 85 PERCENT. G. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM FIELD TESTS AND INSPECTIONS. CONTRACTOR SHALL PROVIDE DOCUMENTATION OF PASSING DENSITY TESTING AND PROOF-ROLLING TO ENGINEER UPON COMPLETION. IT IS SUGGESTED THAT THE GEOTECHNICAL FIRM USED TO PERFORM THE SUBSURFACE SOIL INVESTIGATION BE ENGAGED FOR THE FIELD QUALITY CONTROL TESTS. THE GEOTECHNICAL REPORT WAS PERFORMED BY TBD H. ALLOW THE TESTING AGENCY TO TEST AND INSPECT SUBGRADES AND EACH FILL OR BACKFILL LAYER. PROCEED WITH SUBSEQUENT EARTHWORK ONLY AFTER

TEST RESULTS FOR PREVIOUSLY COMPLETED WORK COMPLY WITH REQUIREMENTS. PROVIDE ONE TEST FOR EVERY 2000 SQUARE FEET OF PAVED AREA OR BUILDING SLAB, ONE TEST FOR EACH SPREAD FOOTING, AND ONE TEST FOR EVERY 50 LINEAR FEET OF WALL STRIP FOOTING. I WHEN THE TESTING AGENCY REPORTS THAT SUBGRADES. FILLS, OR BACKFILLS HAVE NOT ACHIEVED DEGREE OF COMPACTION SPECIFIED. SCARIFY AND MOISTEN OR AERATE. OR REMOVE AND REPLACE SOIL TO DEPTH REOUIRED: RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION IS OBTAINED. THE BUILDING SITE SHALL BE GRADED TO PROVIDE DRAINAGE AWAY FROM THE BUILDING AS INDICATED ON THE PLANS. SITE EARTHWORK SHALL BE GRADED

#### TO WITHIN 0.10' OF REQUIRED EARTHWORK ELEVATIONS ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE GRADING PLAN. 31 30 00 EROSION CONTROL/STORMWATER MANAGEMENT

WHEN COMPARING BETWEEN THE FOLLOWING AND THE GEOTECHNICAL REPORT.

A THE DESIGN ENGINEER SHALL PREPARE A SITE SPECIFIC EROSION CONTROL AND A STORMWATER MANAGEMENT PLAN PURSUANT TO NR 216 46 AND NR 216.47. THE DESIGN ENGINEER SHALL ALSO FILE A CONSTRUCTION NOTICE OF INTENT WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES PURSUANT TO NR 216.43 OR TO AN AUTHORIZED LOCAL PROGRAM PURSUANT TO NR 216.415 TO OBTAIN COVERAGE UNDER THE GENERAL WPDES STORM WATER PERMIT. (INITIAL PHASE IS UNDER 1 ACRE OF DISTURBANCE - NOI TO BE FILED ONCE PROJECT SCOPE INCREASES ABOVE 1 ACRE)

B. THE CONTRACTOR SHALL KEEP THE NOTICE OF INTENT PERMIT, APPROVED EROSION CONTROL AND STORMWATER MANAGEMENT PLANS, AND PLAN AMENDMENTS ON THE CONSTRUCTION SITE AT ALL TIMES PURSUANT TO NR 216.455 UNTIL PERMIT COVERAGE IS TERMINATED.

C. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL EROSION CONTROL PERMITS. D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE MONITORING, MAINTENANCE, AND REPORTING REQUIREMENTS OF NR 216.48. INSPECTIONS OF IMPLEMENTED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES MUST AT A MINIMUM RF INSPECTED EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A PRECIPITATION EVENT OF 0.5" OR MORE. A PRECIPITATION EVENT MAY BE CONSIDERED TO BE THE TOTAL AMOUNT OF PRECIPITATION RECORDED IN ANY CONTINUOUS 24-HOUR PERIOD. THE CONTRACTOR SHALL REPAIR OR REPLACE EROSION AND SEDIMENT CONTROL AS NECESSARY WITHIN 24 HOURS OF AN INSPECTION OR AFTER A DEPARTMENT NOTIFICATION WHERE REPAIR OR REPLACEMENT IS REQUESTED. E. THE CONTRACTOR SHALL MAINTAIN, AT THE CONSTRUCTION SITE OR AVAILABLE VIA AN INTERNET WEBSITE, WEEKLY WRITTEN REPORTS OF ALL INSPECTIONS

CONDUCTED. WISCONSIN DNR CONSTRUCTION SITE INSPECTION REPORT FORM 3400-187 SHALL BE USED. WEEKLY INSPECTION REPORTS SHALL INCLUDE AL 1. THE DATE, TIME, ANDLOCATION OF THE CONSTRUCTION SITE INSPECTION. 2. THE NAME OF THE INDIVIDUAL WHO PERFORMED THE INSPECTION.

3. AN ASSESSMENT OF THE CONDITION OF THE EROSION AND SEDIMENT CONTROLS 4. A DESCRIPTION OF ANY EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE IMPLEMENTATION AND MAINTENANCE PERFORMED. 5. A DESCRIPTION OF THE PRESENT PHASE OF LAND DISTURBING CONSTRUCTION ACTIVITY AT THE CONSTRUCTION SITE. F. EROSION AND SEDIMENT CONTROL IMPLEMENTED DURING CONSTRUCTION SHALL STRICTLY COMPLY WITH THE GUIDELINES AND REQUIREMENTS SET FORTH

IN WISCONSIN ADMINISTRATIVE CODE (W.A.C.) NR 151, THE STATE OF WISCONSIN DEPARTMENT OF NATURAL RESOURCES RUNOFF MANAGEMENT PERFORMANCE STANDARDS. TECHNICAL STANDARDS PUBLISHED BY THE WISCONSIN DNR SHALL ALSO BE UTILIZED TO IMPLEMENT THE REQUIRED PERFORMANCE STANDARDS. THE METHODS AND TYPES OF EROSION CONTROL WILL BE DEPENDENT ON THE LOCATION AND TYPE OF WORK INVOLVED. ALL SEDIMENT CONTROL MEASURES SHALL BE ADJUSTED TO MEET FIELD CONDITIONS AT THE TIME OF CONSTRUCTION, AND INSTALLED PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. BELOW IS A LIST OF EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES TO ACHIEVE THE PERFORMANCE STANDARDS REQUIRED.

1. SILT FENCE SHALL BE PLACED ON SITE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. SILT FENCE SHALL ALSO BE PROVIDED AROUND THE PERIMETER OF ALL SOIL STOCKPILES THAT WILL EXIST FOR MORE THAN 7 DAYS. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1056 (CURRENT EDITION). 2. DITCH CHECKS SHALL BE PROVIDED TO REDUCE THE VELOCITY OF WATER FLOWING IN DITCH BOTTOMS. PLACE AT LOCATIONS SHOWN ON THE EROSION CONTROL PLAN. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1062 (CURRENT EDITION; STONE TRACKING PADS AND TRACKOUT CONTROL PRACTICES SHALL BE PLACED AT ALL CONSTRUCTION SITE ENTRANCES AND SHALL BE INSTALLED PRIOR TO ANY TRAFFIC LEAVING THE CONSTRUCTION SITE. SEE THE EROSION CONTROL PLAN FOR LOCATIONS. THE AGGREGATE USED FOR THE STONE TRACKING PAD SHALL BE 3/8" TO 3 INCH CLEAR OR WASHED STONE AND SHALL BE PLACED IN A LAYER AT LEAST 12 INCHES THICK. THE STONE SHALL BE UNDERLAIN

WITH A WISDOT TYPE R GEOTEXTILE FABRIC AS NEEDED. THE TRACKING PAD SHALL BE THE FULL WIDTH OF THE EGRESS POINT (12' MIN WIDTH) AND SHALL BE A MINIMUM OF 50 FEET LONG. SURFACE WATER MUST BE PREVENTED FROM PASSING THROUGH THE TRACKING PAD. OTHER TRACKOUT CONTROL PRACTICES INCLUDING STABILIZED WORK SURFACES, MANUFACTURED TRACKOUT CONTROL DEVICES, TIRE WASHING, AND STREET/PAVEMENT CLEANING SHALL BE IMPLEMENTED AS NECESSARY TO MITIGATE THE TRACKOUT OF SEDIMENT OFFSITE. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1057 (CURRENT EDITION). 4. STORM DRAIN INLET PROTECTION SHALL BE PROVIDED FOR ALL NEW AND DOWNSTREAM STORM CATCH BASINS AND CURB INLETS. TYPE B OR C

PROTECTION SHOULD BE PROVIDED AND SHALL BE IN CONFORMANCE WITH WISCONSIN DNR TECHNICAL STANDARD 1060 (CURRENT EDITION). 5. DUST CONTROL MEASURES SHALL BE PROVIDED TO REDUCE OR PREVENT THE SURFACE AND AIR TRANSPORT OF DUST DURING CONSTRUCTION. CONTROL MEASURES INCLUDE APPLYING MULCH AND ESTABLISHING VEGETATION, WATER SPRAYING, SURFACE ROUGHENING, APPLYING POLYMERS, SPRAY-ON fackifiers, Chlorides, and Barriers. Some sites may require an approach that utilizes a combination of measures for dust control. FOLLOW PROCEDURES FOUND IN WISCONSIN DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). 1. THE USE, STORAGE, AND DISPOSAL OF CHEMICALS, CEMENT, AND OTHER COMPOUNDS AND MATERIALS USED ON SITE SHALL BE MANAGED DURING THE CONSTRUCTION PERIOD TO PREVENT THEIR TRANSPORT BY RUNOFF INTO WATERS OF THE STATE.

L CONTRACTOR SHALL PROVIDE AN OPEN AGGREGATE CONCRETE TRUCK WASHOUT AREA ON SITE. CONTRACTOR TO ENSURE THAT CONCRETE WASHOUT SHALL BE CONTAINED TO THIS DESIGNATED AREA AND NOT BE ALLOWED TO RUN INTO STORM INLETS OR INTO THE OVERLAND STORMWATER DRAINAGE SYSTEM. WASHOUT AREA SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION. 3. TEMPORARY SITE RESTORATION SHALL TAKE PLACE IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO FINAL GRADE OR ON WHICH LAND DISTURBING ACTIVITIES WILL NOT BE PERFORMED FOR A PERIOD GREATER THAN 14 DAYS AND REQUIRES VEGETATIVE COVER FOR LESS THAN ONE YEAR. THIS FEMPORARY SITE RESTORATION REOUIREMENT ALSO APPLIES TO SOIL STOCKPILES THAT EXIST FOR MORE THAN 7 DAYS. PERMANENT RESTORATION APPLIES TO AREAS WHERE PERENNIAL VEGETATIVE COVER IS NEEDED TO PERMANENTLY STABILIZE AREAS OF EXPOSED SOIL. PERMANENT STABILIZATION SHALL OCCUR WITHIN 3 WORKING DAYS OF FINAL GRADING. TOPSOIL. SEED. AND MULCH SHALL BE IN GENERAL CONFORMANCE WITH TECHNICAL STANDARDS 1058 AND 1059 AND SHALL MEET THE SPECIFICATIONS FOUND IN THE LANDSCAPING AND SITE STABILIZATION SECTION OF THIS

4. IF SITE DEWATERING IS REQUIRED FOR PROPOSED CONSTRUCTION ACTIVITIES, ALL SEDIMENT LADEN WATER GENERATED DURING THE DEWATERING PROCESS SHALL BE TREATED TO REMOVE SEDIMENT PRIOR TO DISCHARGING OFF-SITE OR TO WATERS OF THE STATE. FOLLOW ALL PROCEDURES FOUND IN 5. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH

WORKING DAY. DUST CONTROL REQUIREMENTS SHALL BE FOLLOWED PER WI DNR TECHNICAL STANDARD 1068 (CURRENT EDITION). FLUSHING SHALL NOT

CONSTRUCTION DOCUMENT. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR FINAL STABILIZATION MUST BE REPAIRED AND THE

5. EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL THE AREA(S) SERVED HAVE ESTABLISHED VEGETATIVE COVER. H. ONCE THE CONSTRUCTION SITE HAS BEEN FULLY STABILIZED AND TEMPORARY EROSION CONTROL BEST MANAGEMENT PRACTICES HAVE BEEN REMOVED, THE CONTRACTOR SHALL FILE A CONSTRUCTION NOTICE OF TERMINATION WITH THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES IN ACCORDANCE WITH

I. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL GIVE THE OWNER COPIES OF THE EROSION CONTROL AND STORM WATER MANAGEMENT PLANS, AMENDMENTS TO PLANS, SUPPORTING PLAN DATA, AND CONSTRUCTION SITE EROSION CONTROL INSPECTION REPORTS. THE OWNER SHALL RETAIN THESE FOR A PERIOD OF 3 YEARS FROM THE DATE OF TERMINATING COVERAGE UNDER WPDES GENERAL PERMIT. J. ALL POST CONSTRUCTION STORMWATER MANAGEMENT BEST MANAGEMENT PRACTICES SHALL BE CONSTRUCTED BEFORE THE SITE HAS UNDERGONE FINAL

## PLAN SPECIFICATIONS (BASED ON CSI FORMAT)

#### **DIVISION 32 EXTERIOR IMPROVEMENTS**

#### 32 00 00 GRAVEL AREAS

A. CONTRACTOR TO PROVIDE COMPACTED GRAVEL WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR TO PROVIDE AGGREGATE TYPES AND DEPTHS AS

RECYCLED ASPHALT AREA STANDARD GRAVEL 8" OF 3/4" CRUSHED AGGREGATE 4" PULVERIZED RECYCLED ASPHALT 8" OF 3" CRUSHED AGGREGATE 4" OF 3/4" CRUSHED AGGREGATI 8" OF 3" CRUSHED AGGREGATE

B. CONTRACTOR TO COMPACT THE AGGREGATE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL GRAVEL AREAS SHALL BE GRADED TO WITHIN 0.10' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1% SLOPE SHALL BE MAINTAINED IN ALL GRAVEL AREAS

#### 32 10 00 AGGREGATE BASE & ASPHALT PAVEMENT

A. CONTRACTOR TO PROVIDE COMPACTED AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT WHERE INDICATED ON THE PLANS. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. PROVIDE HOT MIX ASPHALT MIXTURE TYPES PER SECTION 460 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND REVIEW SOILS REPORT FOR RECOMMENDATIONS FOR GEO-GRID / GEOTEXTILE BELOW CRUSHED AGGREGATE (IF APPLICABLE). CONTRACTOR TO PROVIDE AGGREGATE BASE AND HOT MIX ASPHALT PAVEMENT TYPES AND DEPTHS AS INDICATED BELOW:

STANDARD ASPHALT PAVING SECTION 1-1/2" SURFACE COURSE (5 LT 58-28S) 2" BINDER COURSE (4 LT 58-28S) 10" OF 1-1/4" CRUSHED AGGREGATE

HEAVY DUTY TRUCK TRAFFIC ASPHALT PAVING SECTION - INDUSTRIAL SITES 2" SURFACE COURSE (4 MT 58-28H)

2-1/2" BINDER COURSE (3 MT 58-28S) 12" OF 1-1/4" CRUSHED AGGREGATE

B. CONTRACTOR TO COMPACT THE AGGREGATE BASE, ASPHALT BINDER COURSE, AND ASPHALT SURFACE COURSE TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL ASPHALT PAVEMENT AREAS SHALL BE PAVED TO WITHIN 0.05' OF DESIGN SURFACE GRADES WITH POSITIVE DRAINAGE BEING MAINTAINED IN ACCORDANCE WITH DESIGN PLANS. A MINIMUM OF 1.5% SLOPE SHALL BE MAINTAINED C. HOT MIX ASPHALT CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF GEOTECHNICAL REPORT OR CONSTRUCTION DOCUMENTS. D. CONTRACTOR TO PROVIDE 4" WIDE WHITE PAINTED STRIPING FOR PARKING STALLS. TRAFFIC LANES, AND NO PARKING AREAS. WHITE PAINT MARKINGS SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

#### 32 20 00 CONCRETE AND AGGREGATE BASE

A. CONTRACTOR TO PROVIDE CRUSHED AGGREGATE BASE AND CONCRETE WHERE INDICATED ON THE PLANS. B. ALL AGGREGATE PROVIDED MUST COMPLY WITH SECTION 305 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION. ALL AGGREGATE PLACED MUST BE COMPACTED TO AN AVERAGE DENSITY PER WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION C. DESIGN AND CONSTRUCTION OF ALL CAST-IN-PLACE EXTERIOR CONCRETE FLAT WORK SHALL CONFORM TO ACI 330R-08 & ACI 318-08.

D. EXTERIOR CONCRETE FLAT WORK CONSTRUCTION TO BE PROVIDED PER MORE STRINGENT REQUIREMENTS OF THE GEOTECHNICAL REPORT OR THIS SPECIFICATION. CONCRETE FLAT WORK CONSTRUCTION IS AS FOLLOWS: 1. SIDEWALK CONCRETE - 4" OF CONCRETE OVER 4" OF 3/4" CRUSHED AGGREGATE BASE. CONTRACTION JOINTS SHALL CONSIST OF 1/8" WIDE BY 1" DEEP TOOLED JOINT WHERE INDICATED ON THE PLANS.

2. LOADING DOCK / TRASH COMPACTOR CONCRETE - 8" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE BASE. a. CONCRETE SHALL BE REINFORCED WITH ONE OF THE FOLLOWING AND PLACED IN THE UPPER 1/3 TO ½ OF THE SLAB: 1) 4"X4" W5 5XW5 5 W W F

2). TWO LAYERS OF 4"X4" W 2.9XW2.9 W.W.F. 3), #3 REBARS AT 7-1/2" O.C

4). #4 REBARS AT 13" O.C. b. LOADING DOCK CONCRETE JOINTING SHALL BE AS FOLLOWS:

1). CONTRACTION SAWCUT JOINT -CONTRACTOR SHALL PROVIDE A SAWCUT JOINT AT MAXIMUM SPACING OF 15' ON CENTER. SAWCUT JOINT 2). TYPICAL POUR CONTROL JOINT - POUR CONTROL JOINT SHALL BE PROVIDED WITH 1-1/4" DIAMETER BY 20" LONG SMOOTH DOWEL PLACED AT 12" ON CENTER ONE HALF OF THE DOWEL SHALL BE GREASED. GREENSTREAK 9" SPEED DOWEL TUBES SHALL BE USED.

3. HEAVY DUTY CONCRETE DOLLY PAD - 6" OF CONCRETE OVER 6" OF 3/4" CRUSHED AGGREGATE. CONCRETE SHALL BE REINFORCED WITH #3 REBARS ON CHAIRS AT 3' O.C. REBAR SHALL BE PLACED PLACED IN THE UPPER 1/3 TO 1/2 OF THE SLAB. CONTRACTION JOINTS SHALL BE SAWCUT 1.5" IN DEPTH AND BE SPACED A MAXIMUM OF 15' ON CENTER

DESIGN MIXES SHALL BE IN ACCORDANCE WITH ASTM C94 1. STRENGTH TO BE MINIMUM OF 4.500 PSI AT 28 DAYS FOR EXTERIOR CONCRETE.

2. MAXIMUM WATER/CEMENT RATIO SHALL BE 0.45. SLUMP SHALL NOT EXCEED 4" FOR EXTERIOR CONCRETE FLAT WORK

4. SLUMP SHALL BE 2.5" OR LESS FOR SLIP-FORMED CURB AND GUTTER 5. SLUMP SHALL BE BETWEEN 1.5" TO 3" FOR NON SLIP-FORMED CURB AND GUTTER.

FLOATING AND TROWFLLING

6. ALL EXTERIOR CONCRETE SHALL BE AIR ENTRAINED WITH 4% TO 7% AIR CONTENT. NO OTHER ADMIXTURES SHALL BE USED WITHOUT APPROVAL OF EXCEL ENGINEERING, INC. CALCIUM CHLORIDE SHALL NOT BE USED 7. MAXIMUM AGGREGATE SIZE FOR ALL EXTERIOR CONCRETE SHALL BE 0.75 INCHES.

:. VERIFY EQUIPMENT CONCRETE PAD SIZES WITH RESPECTIVE CONTRACTORS. PADS SHALL HAVE FIBERMESH 300 FIBERS AT A RATE OF 1.5 LBS/CU. YD. OR 6 X 6-W1.4 X W1.4 WELDED WIRE MESH WITH MINIMUM 1 INCH COVER. EQUIPMENT PADS SHALL BE 3.5 INCHES THICK WITH 1 INCH CHAMFER UNLESS SPECIFIED OTHERWISE. COORDINATE ADDITIONAL PAD REQUIREMENTS WITH RESPECTIVE CONTRACTOR. G. ALL CONCRETE FLAT WORK SURFACES AND CONCRETE CURB FLOWLINES SHALL BE CONSTRUCTED TO WITHIN 0.05' OF DESIGN SURFACE AND FLOWLINE GRADES ASSUMING POSITIVE DRAINAGE IS MAINTAINED IN ACCORDANCE WITH THE DESIGN PLANS. H. CONCRETE FLAT WORK SHALL HAVE CONSTRUCTION JOINTS OR SAW CUT JOINTS PLACED AS INDICATED ON THE PLANS OR PER THIS SPECIFICATION.

SAWCUTS SHALL BE DONE AS SOON AS POSSIBLE. BUT NO LATER THAN 24 HOURS AFTER CONCRETE IS PLACED. CONCRETE CURB AND GUTTER JOINTING SHALL BE PLACED EVERY 10' OR CLOSER (6' MIN.). IF CONCRETE PAVEMENT IS ADJACENT TO CONCRETE CURB, JOINTING IN THE PAVEMENT AND CURB SHALL ALIGN. ALL EXTERIOR CONCRETE SHALL HAVE A LIGHT BROOM FINISH UNLESS NOTED OTHERWISE. A UNIFORM COAT OF A HIGH SOLIDS CURING COMPOUND MEETING ASTM C309 SHOULD BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. ALL CONCRETE IS TO BE CURED FOR 7 DAYS. EXTERIOR CONCRETE SHALL BE SEPARATED FROM BUILDINGS WITH CONTINUOUS 0.5 INCH FIRER EXPANSION JOINT AND/OR 0.25 INCH FIRER EXPANSION JOINT AT DECORATIVE MASONRY

I. ALL REINFORCING BARS SHALL BE ASTM A615 GRADE 60. THICKNESS OF CONCRETE COVER OVER REINFORCEMENT SHALL BE NOT LESS THAN 3" WHERE CONCRETE IS DEPOSITED AGAINST THE GROUND WITHOUT THE USE OF FORMS AND NOT LESS THAN 1.5" IN ALL OTHER LOCATIONS. ALL REINFORCING SHALL BE LAPPED 36 DIAMETERS FOR UP TO #6 BARS, 60 DIAMETERS FOR #7 TO #10 BARS OR AS NOTED ON THE DRAWINGS AND EXTENDED AROUND CORNERS WITH CORNER BARS. PLACING AND DETAILING OF STEEL REINFORCING AND REINFORCING SUPPORTS SHALL BE IN ACCORDANCE WITH CRSI AND ACI MANUAL AND STANDARD PRACTICES. THE REINFORCEMENT SHALL NOT BE PAINTED AND MUST BE FREE OF GREASE/OIL, DIRT OR DEEP RUST WHEN PLACED IN THE WORK. ALL WELDED WIRE FABRIC SHALL MEET THE REQUIREMENTS OF ASTM A 185. WELDED WIRE FABRIC SHALL BE PLACED 2" FROM TOP OF SLAB, J. CONTRACTOR SHALL ENGAGE A QUALIFIED INDEPENDENT TESTING AND INSPECTING AGENCY TO SAMPLE MATERIALS, PERFORM TESTS, AND SUBMIT TEST

REPORTS DURING CONCRETE PLACEMENT. TESTS WILL BE PERFORMED ACCORDING TO ACI 301. CAST AND LABORATORY CURE ONE SET OF FOUR STANDARD CYLINDERS FOR EACH COMPOSITE SAMPLE FOR EACH DAY'S POUR OF EACH CONCRETE MIX EXCEEDING 5 CU. YD., BUT LESS THAN 25 CU. YD., PLUS ONE SET FOR FACH ADDITIONAL 50 CU. YD. OR FRACTION THEREOF PERFORM COMPRESSIVE-STRENGTH TESTS ACCORDING TO ASTMIC 39. TEST TWO SPECIMENS AT 7 DAYS AND TWO SPECIMENS AT 28 DAYS. PERFORM SLUMP TESTING ACCORDING TO ASTM C 143. PROVIDE ONE TEST AT POINT OF PLACEMENT FOR EACH COMPOSITE SAMPLE, BUT NOT LESS THAN ONE TEST FOR EACH DAY'S POUR OF EACH CONCRETE MIX. PERFORM ADDITIONAL TESTS WHEN CONCRETE CONSISTENCY APPEARS TO CHANGE. K. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. IN HOT, DRY, AND WINDY WEATHER, APPLY AN EVAPORATION-CONTROL COMPOUND ACCORDING TO MANUFACTURER'S INSTRUCTIONS AFTER SCREEDING AND BULL FLOATING, BUT BEFORE POWER

M. TEST RESULTS WILL BE REPORTED IN WRITING TO THE DESIGN ENGINEER, READY-MIX PRODUCER, AND CONTRACTOR WITHIN 24 HOURS AFTER TESTS. REPORTS OF COMPRESSIVE STRENGTH TESTS SHALL CONTAIN THE PROJECT IDENTIFICATION NAME AND NUMBER, DATE OF CONCRETE PLACEMENT, NAME OF CONCRETE TESTING SERVICE, CONCRETE TYPE AND CLASS, LOCATION OF CONCRETE BATCH IN STRUCTURE, DESIGN COMPRESSIVE STRENGTH AT 28 DAYS. CONCRETE MIX PROPORTIONS AND MATERIALS, COMPRESSIVE BREAKING STRENGTH, AND TYPE OF BREAK FOR BOTH 7-DAY TESTS AND 28-DAY TESTS. N. CONTRACTOR TO PROVIDE 4" WIDE WHITE PAINTED STRIPING FOR PARKING STALLS, TRAFFIC LANES, AND NO PARKING AREAS. WHITE PAINT MARKINGS

LIMIT MAXIMUM WATER-CEMENTIOUS RATIO OF CONCRETE EXPOSED TO FREEZING, THAWING AND DEICING SALTS TO 0.45.

## SHALL ALSO BE PROVIDED FOR H.C. ACCESSIBLE SYMBOLS, TRAFFIC ARROWS, AND TRAFFIC MESSAGES.

FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059.

SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS.

## 32 30 00 LANDSCAPING AND SITE STABILIZATION

A. TOPSOIL: CONTRACTOR TO PROVIDE A MINIMUM OF 6" OF TOPSOIL FOR ALL DISTURBED OPEN AREAS, OTHER THAN IN LANDSCAPE ISLANDS WHICH SHALL BE PROVIDED WITH A MINIMUM OF 10" OF TOPSOIL. REUSE SURFACE SOIL STOCKPILED ON SITE AND SUPPLEMENT WITH IMPORTED OR MANUFACTURED TOPSOIL FROM OFF SITE SOURCES WHEN QUANTITIES ARE INSUFFICIENT. EXCAVATOR SHALL BE RESPONSIBLE FOR ROUGH PLACEMENT OF TOPSOIL TO WITHIN 1" OF FINAL GRADE PRIOR TO LANDSCAPER FINAL GRADING. LANDSCAPER TO PROVIDE PULVERIZING AND FINAL GRADING OF TOPSOIL. PROVIDE SOIL ANALYSIS BY A QUALIFIED SOIL TESTING LABORATORY AS REQUIRED TO VERIFY THE SUITABILITY OF SOIL TO BE USED AS TOPSOIL AND TO DETERMINE THE NECESSARY SOIL AMENDMENTS. TEST SOIL FOR PRESENCE OF ATRAZINE AND INFORM EXCEL ENGINEERING, INC. IF PRESENT PRIOR TO BIDDING PROJECT TOPSOIL SHALL HAVE A PH RANGE OF 5.5 TO 8, CONTAIN A MINIMUM OF 5 PERCENT ORGANIC MATERIAL CONTENT, AND SHALL BE FREE OF STONES 1 INCH OR LARGER IN DIAMETER. ALL MATERIALS HARMFUL TO PLANT GROWTH SHALL ALSO BE REMOVED.

TOPSOIL INSTALLATION: LOOSEN SUBGRADE TO A MINIMUM DEPTH OF 6 INCHES AND REMOVE STONES LARGER THAN 1" IN DIAMETER. ALSO REMOVE ANY STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND DISPOSE OF THEM OFF THE PROPERTY. SPREAD TOPSOIL TO A DEPTH OF 6" BUT NOT LESS THAN WHAT IS REQUIRED TO MEET FINISHED GRADES AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. DO NOT SPREAD TOPSOIL IF SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET. GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 0.05 FEET OF FINISHED GRADE ELEVATION. B. SEEDED LAWNS:

PERMANENT LAWN AREAS SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 65% KENTUCKY BLUEGRASS BLEND (2.0-2.6 LBS./1,000 S.F.), 20% PERENNIAL RYEGRASS (0.6-0.8 LBS./1,000 S.F.), 15% FINE FESCUE (0.4-0.6 LBS/1,000 S.F.). STRAW AND MULCH SHALL BE LAID AT 100LBS/1,000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS/1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED. ALL SITE DISTURBED AREAS NOT DESIGNATED FOR OTHER LANDSCAPING AND SITE STABILIZATION METHODS SHALL BE SEEDED AS PERMANENT LAWN. NO BARE TOPSOIL SHALL BE LEFT ONSITE. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059. 2. ALL PERMANENT AND TEMPORARY STORM WATER CONVEYANCE SWALE BOTTOMS AND SIDE SLOPES AS WELL AS STORMWATER MANAGEMENT BASIN BOTTOMS AND SIDE SLOPES SHALL BE SEEDED WITH THE FOLLOWING MIXTURE: 45% KENTUCKY BLUEGRASS (0.60 LBS./1000 S.F.), 40% CREEPING RED FESCUE (0.50 LBS./1,000 S.F.), AND 15% PERENNIAL RYEGRASS (0.20 LBS./1,000 S.F.). FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS /1 000 S.F. SEE FROSION MATTING SPECIFICATIONS AS REQUIRED. FOLLOW PROCEDURES FOUND IN WDNR TECHNICAL STANDARDS 1058 & 1059 3. ALL TEMPORARY SEEDING SHALL CONSIST OF THE FOLLOWING MIXTURE: 100% RYEGRASS AT 1.9 LBS./1,000 S.F. STRAW AND MULCH SHALL BE LAID AT 100 LBS./1.000 S.F. FERTILIZE AS PER SOIL TEST OR APPLY 5-10-10 OR EQUIVALENT AT 5-6 LBS./1,000 S.F. SEE EROSION MATTING SPECIFICATIONS AS REQUIRED.

E. SEEDED LAWN MAINTENANCE: CONTRACTOR TO PROVIDE MAINTENANCE OF ALL LANDSCAPING FOR A PERIOD OF 90 DAYS FROM THE DATE OF NSTALLATION. AT THE END OF THE MAINTENANCE PERIOD, A HEALTHY, UNIFORM, CLOSE STAND OF GRASS SHOULD BE ESTABLISHED FREE OF WEEDS AND SURFACE IRREGULARITIES. LAWN COVERAGE SHOULD EXCEED 90% AND BARE SPOTS SHOULD NOT EXCEED 5"X5". CONTRACTOR SHOULD REESTABLISH LAWNS THAT DO NOT COMPLY WITH THESE REQUIREMENTS AND CONTINUE MAINTENANCE UNTIL LAWNS ARE SATISFACTORY.

D. EROSION MATTING . CONTRACTOR TO PROVIDE EROSION CONTROL MATTING (NORTH AMERICAN GREEN \$150) OR EQUIVALENT ON ALL SLOPES THAT ARE 4:1 AND GREATER OUTSIDE OF STORMWATER CONVEYANCE SWALES AND STORMWATER MANAGEMENT BASINS. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH SEEDING REQUIREMENTS AND MANUFACTURER SPECIFICATIONS. 2. CONTRACTOR TO PROVIDE EROSION MATTING (NORTH AMERICAN GREEN C125) OR EQUIVALENT IN ALL SWALE BOTTOMS AND SIDE SLOPES AS WELL AS STORMWATER MANAGEMENT BASIN BOTTOMS AND SIDE SLOPES AS REQUIRED. LAWN SEED SHALL BE PLACED BELOW MATTING IN ACCORDANCE WITH

E. RIP RAP: ALL RIP RAP ASSOCIATED WITH STORMWATER MANAGEMENT AND STORMWATER CONVEYANCE, AS DELINEATED ON THE PLANS, SHALL BE CONSTRUCTED WITH THE TOP OF RIP RAP MATCHING THE PROPOSED ADJACENT GRADE ELEVATIONS. PLACEMENT OF RIP RAP ABOVE THE PROPOSED ADJACENT GRADE ELEVATIONS IS NOT ACCEPTABLE. ALL RIP RAP SHALL BE PLACED ON TYPE HR FILTER FABRIC PER SECTION 645 OF THE WISCONSIN STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURAL CONSTRUCTION.

## DIVISION 33 UTILITIES

## 33 10 00 SITE UTILITIES

A. CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES ON SITE. CONTRACTOR TO VERIFY PIPE LOCATIONS, SIZES, AND DEPTHS AT POINT OF PROPOSED CONNECTIONS AND VERIFY PROPOSED UTILITY ROUTES ARE CLEAR (PER CODE) OF ALL EXISTING UTILITIES AND OTHER OBSTRUCTIONS PRIOR TO

CONSTRUCTION. COSTS INCURRED FOR FAILURE TO DO SO SHALL BE THE CONTRACTORS RESPONSIBILITY. B. CONTRACTOR TO FIFLD TELEVISE ALL EXISTING SANITARY AND STORM LATERALS THAT ARE SCHEDULED TO BE RE-USED AND/OR CONNECTED TO ON SITE. THE TELEVISING SHALL BE COMPLETED TO ENSURE THE EXISTING LATERAL(S) ARE FREE OF OBSTRUCTIONS AND IN SOUND STRUCTURAL CONDITION. TELEVISING OF THESE LATERAL(S) SHOULD BE COMPLETED AT BEGINNING OF CONSTRUCTION AND DESIGN ENGINEER SHALL BE NOTIFIED OF ANY PIPE OBSTRUCTIONS AND/OR STRUCTURAL DEFICIENCIES IMMEDIATELY AFTER COMPLETION OF FIELD TELEVISING

C. ALL PROPOSED SANITARY PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE PROPOSED PLANSET. ALL PROPOSED SANITARY PIPE BELOW PROPOSED & FUTURE BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE PROPOSED PLANSET. ALL PROPOSED CPVC PROCESS PIPING SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON C0.1 OF THE PROPOSED PLANSET

D. SANITARY AND PROCESS MANHOLES SHALL BE 48" PRECAST AND CONFORM TO THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN-CURRENT EDITION UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PROCESS MANHOLES SHALL BE LINED W/ GSE STUDLINER LINING. SANITARY & PROCESS MANHOLE FRAME AND GRATE TO BE NEENAH R-1550-A OR EQUAL. RIM ELEVATION TO BE SET AT FINISHED GRADE IN DEVELOPED AREAS AND 12" ABOVE FINISHED GRADE IN UNDEVELOPED AREAS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER E. CLEANOUTS SHALL BE PROVIDED FOR THE SANITARY SERVICE AT LOCATIONS INDICATED ON THE UTILITY PLAN. THE CLEANOUT SHALL CONSIST OF A COMBINATION WYE FITTING IN LINE WITH THE SANITARY SERVICE WITH THE CLEANOUT LEG OF THE COMBINATION WYE FACING STRAIGHT UP. THE CLEANOLIT SHALL CONSIST OF A 6" VERTICAL PVC PIPE WITH A WATER TIGHT REMOVABLE CLEANOLIT PLUG. AN 8" PVC FROST SLEEVE SHALL BE PROVIDED

THE BOTTOM OF THE FROST SLEEVE SHALL TERMINATE 12" ABOVE THE TOP OF THE SANITARY LATERAL OR AT LEAST 6" BELOW THE PREDICTED FROST DEPTH, WHICHEVER IS SHALLOWER. THE CLEANOUT SHALL EXTEND JUST ABOVE THE SURFACE GRADE IN LAWN OR LANDSCAPE AREAS WITH THE FROST SLEEVE TERMINATING AT THE GRADE SURFACE. THE CLEANOUT SHALL EXTEND TO 4 INCHES BELOW SURFACE GRADE IN PAVED SURFACES WITH A ZURN (Z-1474-N) HEAVY DUTY CLEANOUT HOUSING PLACED OVER THE TOP OF THE CLEANOUT FLUSH WITH THE SURFACE GRADE. IN PAVED SURFACES, THE FROST SLEEVE SHALL TERMINATE IN A CONCRETE PAD AT LEAST 6" THICK AND EXTENDING AT LEAST 9" FROM THE SLEEVE ON ALL SIDES, SLOPING AWAY THE CLEANOUT HOUSING SHALL BE CONSTRUCTED PER MANUFACTURERS REQUIREMENTS. F. ALL PROPOSED WATER PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE

PROPOSED PLANSET. 6' MINIMUM COVER SHALL BE PROVIDED OVER ALL WATER PIPING UNLESS OTHERWISE SPECIFIED. G. ALL PROPOSED STORM PIPE SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON C0.1 OF THE PROPOSED PLANSET. ALL PROPOSED STORM PIPE BELOW BUILDINGS SHALL BE IN ACCORDANCE WITH MATERIALS SPECIFIED IN TABLE A: ALLOWABLE PIPE MATERIAL SCHEDULE ON CO.1 OF THE PROPOSED PLANSET. SEE UTILITY PLANS FOR ALL STORM PIPE MATERIAL TYPES TO BE USED. PIPE SHALL BE PLACED MIN. 8' HORIZONTALLY FROM FOUNDATION WALLS. H. SANITARY, STORM, AND WATER UTILITY PIPE INVERTS SHALL BE CONSTRUCTED WITHIN 0.10' OF DESIGN INVERT ELEVATIONS ASSUMING PIPE SLOPE AND

SEPARATION IS MAINTAINED PER THE UTILITY DESIGN PLANS AND STATE REQUIREMENTS. SITE UTILITY CONTRACTOR SHALL RUN SANITARY SERVICE TO A POINT WHICH IS A MINIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN STORM SEWER FOR INTERNALLY DRAINED BUILDINGS TO A POINT WHICH IS A MINIMUM OF 5' FROM THE EXTERIOR WALL OF THE FOUNDATION. SITE UTILITY CONTRACTOR SHALL RUN DOWNSPOUT LEADS TO BUILDING FOUNDATION AND UP 6" ABOVE SURFACE GRADE FOR CONNECTION TO DOWNSPOUT. ALL DOWNSPOUT LOCATIONS SHOULD BE VERIFIED WITH ARCHITECTURAL PLANS AND DOWNSPOUT CONTRACTOR/GC PRIOR TO INSTALLATION OF DOWNSPOUT LEADS. DOWNSPOUT LEADS SHALL NOT UNDERMINE BUILDING FOUNDATIONS. SITE UTILITY CONTRACTOR SHALL RUN WATER SERVICE TO A POINT WITHIN THE FOUNDATION SPECIFIED BY THE PLUMBING PLANS. CONTRACTOR TO CUT AND CAP WATER SERVICE 12" ABOVE

. ALL UTILITIES SHALL BE INSTALLED WITH PLASTIC COATED TRACER WIRE (10 TO 14 GAUGE SOLID COPPER, OR COPPER COATED STEEL WIRE). PLASTIC WIRE MAY BE TAPED TO PLASTIC WATER OR SEWER PIPE. IF ATTACHED, THE TRACER WIRE SHALL BE SECURED EVERY 6 TO 20 FEET AND AT ALL BENDS. TRACER WIRE SHALL HAVE ACCESS POINTS AT LEAST EVERY 300 FEFT. TRACER WIRE SHALL TERMINATE IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS AT GRADE OR IN TERMINATION BOX PER LOCAL/STATE REQUIREMENTS.

K. ALL UTILITIES SHALL BE INSTALLED PER STATE, LOCAL, AND INDUSTRY STANDARDS. WATER, SANITARY, AND STORM SEWER SHALL BE INSTALLED PER "STANDARD SPECIFICATION FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN". THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING STATE PLUMBING REVIEW APPROVAL. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED TO INSTALL WATER, SANITARY AND STORM L. SEE PLANS FOR ALL OTHER UTILITY SPECIFICATIONS AND DETAILS.

# LOCATION Jackson St Jackson St

Monroe St

Monroe St.

A To Z Cleaning & Junk Removal

Roosevelt St

NORTH **PROJECT LOCATION MAP** 

5K Fibres

Douglas Park

ALL DIGGERS HOTLINE TDD (FOR THE HEARING IMPAIRED) 1-800 542-2289 WISCONSIN STATUTE 182.0175 (1974) REQUIRES MINIMUM OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

TO OBTAIN LOCATION OF

PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU

DIG IN WISCONSIN

<u>CONSTRUCTION STAKING SERVICES</u> CONSTRUCTION STAKING SHALL BE COMPLETED BY EXCEL ENGINEERING AS REQUESTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CONTACT RYAN WILGREEN AT 920-926-9800 OR RYAN.W@EXCELENGINEER.COM TO GET STAKING PRICE TO INCLUDE IN BID TO OWNER. PAYMENT OF STAKING COSTS ABOVE AND BEYOND THE BASE PRICE DUE TO RESTAKING WILL BE THE RESPONSIBILITY OF THE CONTRACTOR, NOT

THE OWNER. CAD DRAWING FILES AND SURVEY CONTROL WILL NOT BE PROVIDED FOR STAKING PURPOSES.

GENERAL PROJECT NOTES

ALL DRIVEWAYS AND CURB CUTS TO BE CONSTRUCTED ACCORDING TO LOCAL ORDINANCES. CONTRACTOR TO

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL WORK IN ROW PERMITS.

## CIVIL SHEET INDEX

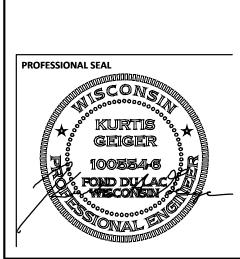
| SHEET | SHEET TITLE                         |
|-------|-------------------------------------|
|       |                                     |
| C0.1  | CIVIL COVER AND SPECIFICATION SHEET |
| C1.0  | EXISTING SITE AND DEMOLITION PLAN   |
| C1.1  | SITE PLAN                           |
| C1.2  | GRADING AND EROSION CONTROL PLAN    |
| C1.3  | UTILITY PLAN                        |
| C1.4  | LANDSCAPE AND RESTORATION PLAN      |
| C2.0  | DETAILS                             |
|       |                                     |

| Table A: Allowable Pipe Material Schedule |   |  |  |  |  |  |
|---|---|--|--|--|--|--|
| Material                                  | Pipe Code   | Fitting Code   | Joint Code   |  |  |  |
| C900 PVC                                  | AWWA C900, ASTM D1785, ASTM<br>D2241  | AWWA C110, AWWA C153, ASTM D2464,<br>ASTM D2466, ASTM D2467, ASTM D3311,<br>ASTM F409, ASTM F1336, ASTM F1866  | Joint: ASTM D3139 Integral Bell &<br>Spigot<br>Elastomeric Seal: ASTM F477   |  |  |  |
| SCH.40 PVC                                | ASTM D1785, ASTM D2665, ASTM F891   | ASTM F1336   | Primer: ASTM F656<br>Solvent Cement: ASTM D2564  |  |  |  |
| HDPE                                      | ASTM F2648  | ASTM F2306 Saddle Gasket   | Joint: ASTM F2648 Bell & Spigot<br>Elastomeric Seal: ASTM F477   |  |  |  |
| RRCP-Class IV                             | ASTM C14, ASTM C76, AASHTO<br>M170  |  | ASTM C443 Rubber Gasket  |  |  |  |
| SCH. 40 PVC                               | ASTM D1785, ASTM D2665, ASTM F891   | ASTM F1336   | Primer: ASTM F656<br>Solvent Cement: ASTM D2564  |  |  |  |
| Single Wall HDPE-Socked                   | ASTM F667   | ASTM F667  | ASTM D1056 Grade 2A2 Gasketed  |  |  |  |
| SCH. 40 CPVC                              | ASTM F2618  | ASTM F2618 & D1784   | Solvent Cement: ASTM F2618, ASTM F493  |  |  |  |
|   | C900 PVC  SCH.40 PVC  HDPE  RRCP-Class IV  SCH. 40 PVC  Single Wall HDPE-Socked | C900 PVC  AWWA C900, ASTM D1785, ASTM D2241  SCH.40 PVC  ASTM D1785, ASTM D2665, ASTM F891  HDPE  ASTM F2648  RRCP-Class IV  ASTM C14, ASTM C76, AASHTO M170  SCH. 40 PVC  ASTM D1785, ASTM D2665, ASTM F891  Single Wall HDPE-Socked  ASTM F667 | C900 PVC ASTM D1785, ASTM D2464, ASTM D2467, ASTM D2467, ASTM D2467, ASTM D2467, ASTM D3311, ASTM F409, ASTM F1336, ASTM F1866  SCH.40 PVC ASTM D1785, ASTM D2665, ASTM F891  ASTM F2306 Saddle Gasket  RRCP-Class IV ASTM C14, ASTM C76, AASHTO M170  SCH. 40 PVC ASTM D1785, ASTM D2665, ASTM F891  Single Wall HDPE-Socked ASTM F667  ASTM F667 |  |  |  |

| Table A: Allowable Pipe Material Schedule |                         |                                    |   |  |  |  |
|---|-------------------------|------------------------------------|---|--|--|--|
| Utility                                   | Material                | Pipe Code                          | Fitting Code  | Joint Code   |  |  |
| Combined Domestic/Fire Service            | C900 PVC                | AWWA C900, ASTM D1785, ASTM D2241  | AWWA C110, AWWA C153, ASTM D2464,<br>ASTM D2466, ASTM D2467, ASTM D3311,<br>ASTM F409, ASTM F1336, ASTM F1866 | Joint: ASTM D3139 Integral Bell & Spigot Elastomeric Seal: ASTM F477 |  |  |
| *Sanitary Sewer                           | SCH.40 PVC              | ASTM D1785, ASTM D2665, ASTM F891  | ASTM F1336  | Primer: ASTM F656<br>Solvent Cement: ASTM D2564                      |  |  |
| Storm Sewer                               | HDPE                    | ASTM F2648                         | ASTM F2306 Saddle Gasket  | Joint: ASTM F2648 Bell & Spigot<br>Elastomeric Seal: ASTM F477       |  |  |
| Storm Sewer                               | RRCP-Class IV           | ASTM C14, ASTM C76, AASHTO<br>M170 |   | ASTM C443 Rubber Gasket  |  |  |
| *Storm Sewer                              | SCH. 40 PVC             | ASTM D1785, ASTM D2665, ASTM F891  | ASTM F1336  | Primer: ASTM F656<br>Solvent Cement: ASTM D2564                      |  |  |
| Pavement Underdrain                       | Single Wall HDPE-Socked | ASTM F667                          | ASTM F667   | ASTM D1056 Grade 2A2 Gasketed  |  |  |
| Process Piping                            | SCH. 40 CPVC            | ASTM F2618                         | ASTM F2618 & D1784  | Solvent Cement: ASTM F2618, ASTM F493                                |  |  |

Always a Better Plar 100 Camelot Drive Fond du Lac, WI 54935 920-926-9800 excelengineer.com

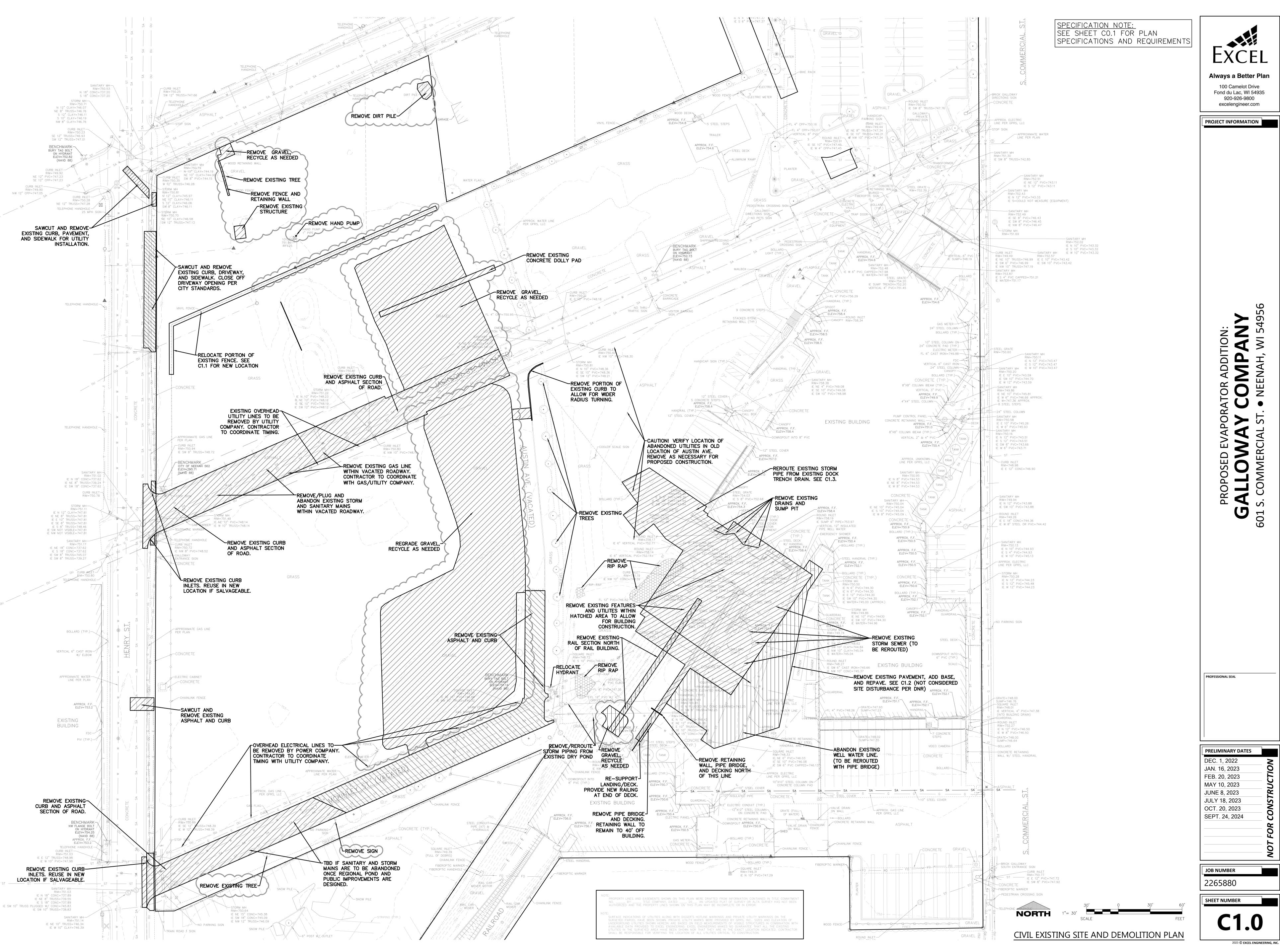
PROJECT INFORMATION



PRELIMINARY DATES DEC. 1, 2022 JAN. 16, 2023 FEB. 20, 2023 MAY 10, 2023 JUNE 8, 2023 JULY 18, 2023 OCT. 20, 2023 SEPT. 24, 2024

2265880 **SHEET NUMBER** 

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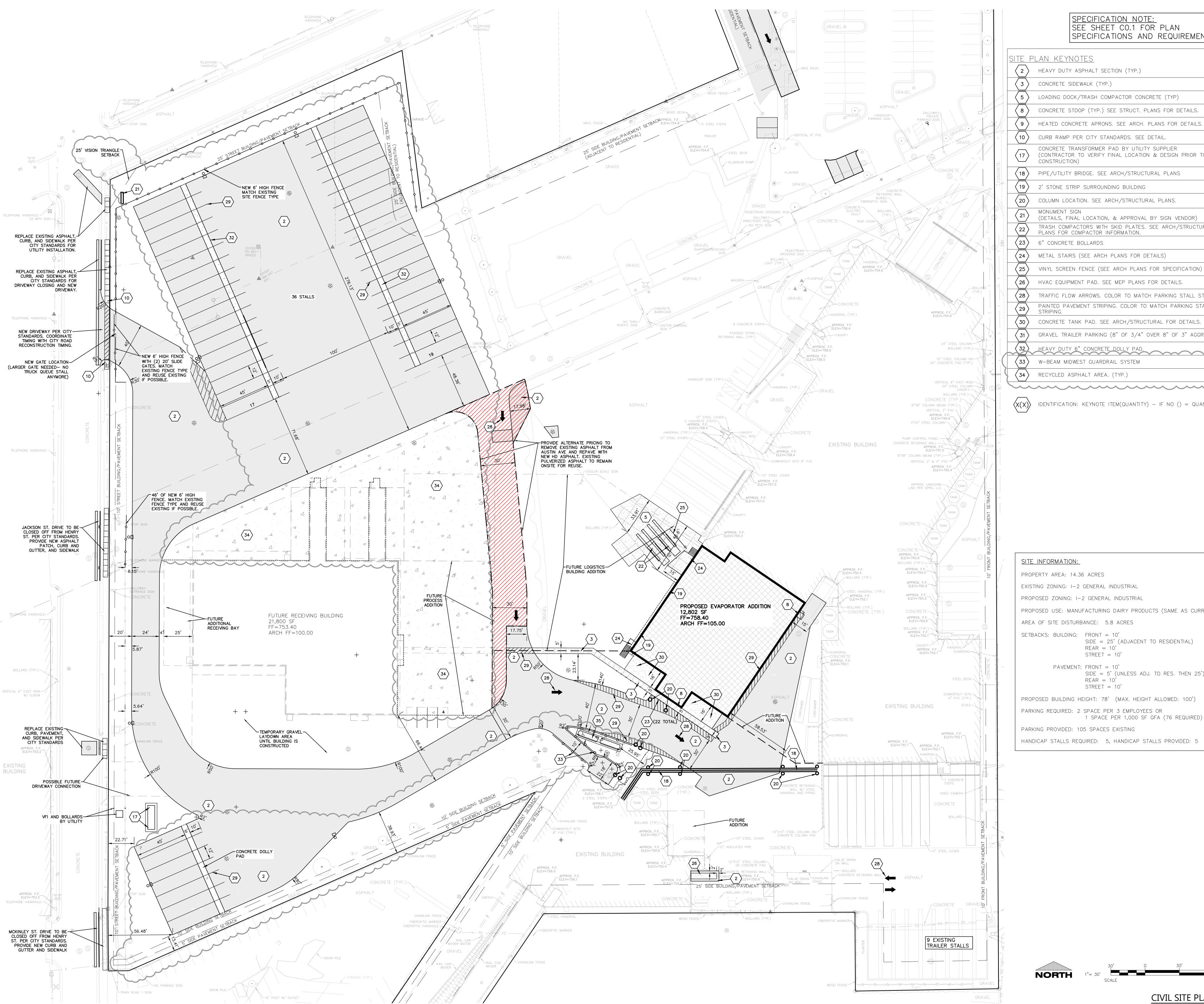
Always a Better Plan 100 Camelot Drive Fond du Lac, WI 54935 920-926-9800

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JOB NUMBER

SHEET NUMBER



## **SPECIFICATION NOTE:** SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

Always a Better Plan

100 Camelot Drive Fond du Lac, WI 54935

920-926-9800 excelengineer.com

PROJECT INFORMATION

(2) HEAVY DUTY ASPHALT SECTION (TYP.)

CONCRETE SIDEWALK (TYP.)

LOADING DOCK/TRASH COMPACTOR CONCRETE (TYP)

CONCRETE STOOP (TYP.) SEE STRUCT. PLANS FOR DETAILS.

CURB RAMP PER CITY STANDARDS. SEE DETAIL.

CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)

PIPE/UTILITY BRIDGE. SEE ARCH/STRUCTURAL PLANS

2' STONE STRIP SURROUNDING BUILDING

COLUMN LOCATION. SEE ARCH/STRUCTURAL PLANS.

MONUMENT SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR) TRASH COMPACTORS WITH SKID PLATES. SEE ARCH/STRUCTURAL

6" CONCRETE BOLLARDS

METAL STAIRS (SEE ARCH PLANS FOR DETAILS)

VINYL SCREEN FENCE (SEE ARCH PLANS FOR SPECIFICATION)

HVAC EQUIPMENT PAD. SEE MEP PLANS FOR DETAILS.

TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING.

PAINTED PAVEMENT STRIPING. COLOR TO MATCH PARKING STALL

CONCRETE TANK PAD. SEE ARCH/STRUCTURAL FOR DETAILS. GRAVEL TRAILER PARKING (8" OF 3/4" OVER 8" OF 3" AGGREGATE)

HEAVY DUTY 6" CONCRETE DOLLY PAD.

W-BEAM MIDWEST GUARDRAIL SYSTEM

RECYCLED ASPHALT AREA. (TYP.)

 $\langle X(X) \rangle$  identification: Keynote item(quantity) - if No () = quantity is 1

SITE INFORMATION:

PROPERTY AREA: 14.36 ACRES

EXISTING ZONING: I-2 GENERAL INDUSTRIAL

PROPOSED USE: MANUFACTURING DAIRY PRODUCTS (SAME AS CURRENT)

SETBACKS: BUILDING: FRONT = 10'

SIDE = 25' (ADJACENT TO RESIDENTIAL) REAR = 10'

STREET = 10'PAVEMENT: FRONT = 10'

SIDE = 5' (UNLESS ADJ. TO RES. THEN 25') REAR = 10'

STREET = 10'

PARKING REQUIRED: 2 SPACE PER 3 EMPLOYEES OR

1 SPACE PER 1,000 SF GFA (76 REQUIRED) PARKING PROVIDED: 105 SPACES EXISTING

HANDICAP STALLS REQUIRED: 5, HANDICAP STALLS PROVIDED: 5

SCALE

PRELIMINARY DATES DEC. 1, 2022 JAN. 16, 2023 JAN. 24, 2023 FEB. 9, 2023 FEB. 20, 2023 MAR. 14, 2023 APR. 18, 2023 MAY 10, 2023 JUNE 8, 2023 JULY 18, 2023 OCT. 20, 2023 SEPT. 24, 2024

PROFESSIONAL SEAL

JOB NUMBER 2265880

SHEET NUMBER

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CIVIL SITE PLAN



Always a Better Plan 100 Camelot Drive

Fond du Lac, WI 54935 920-926-9800 excelengineer.com

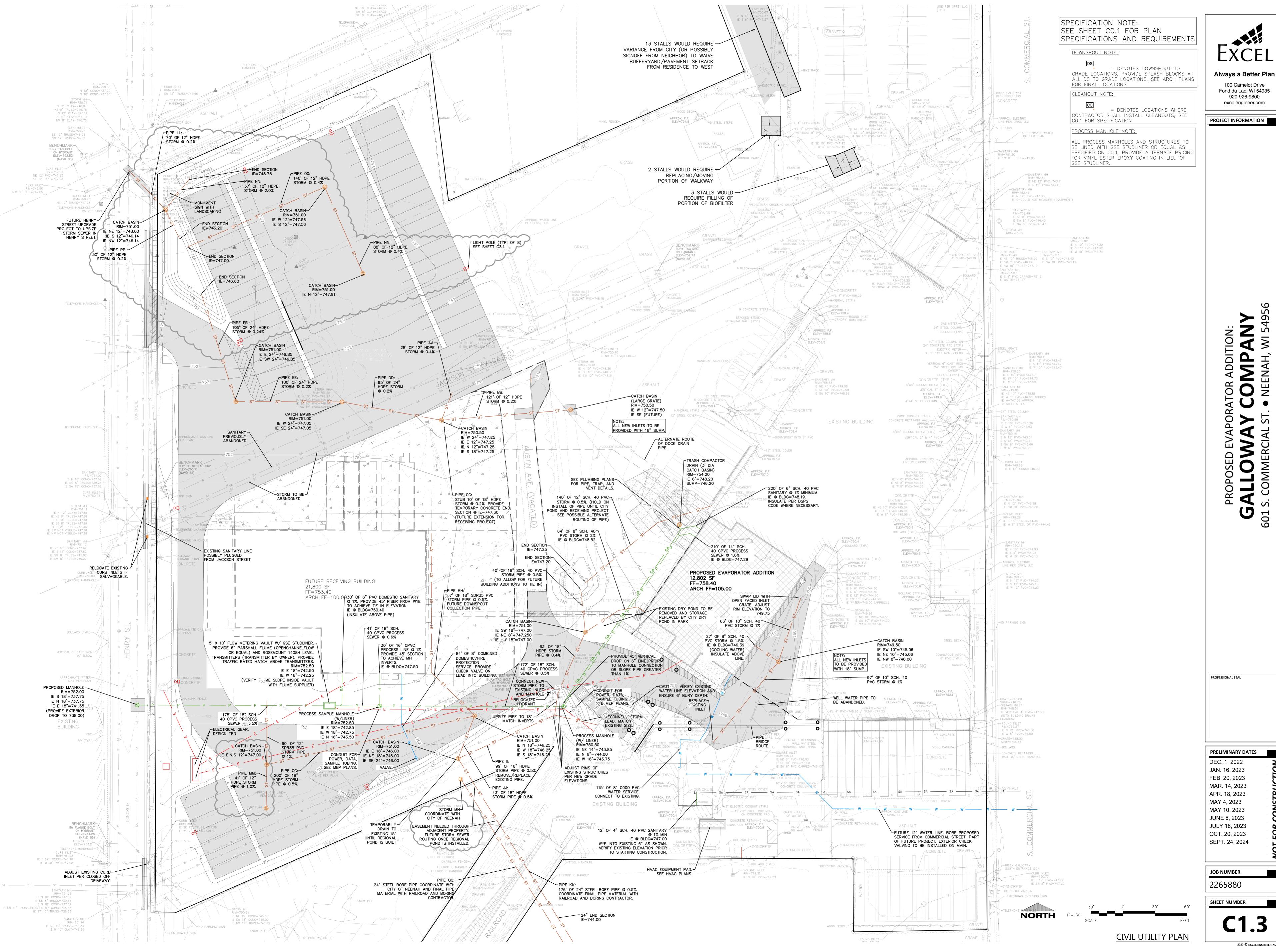
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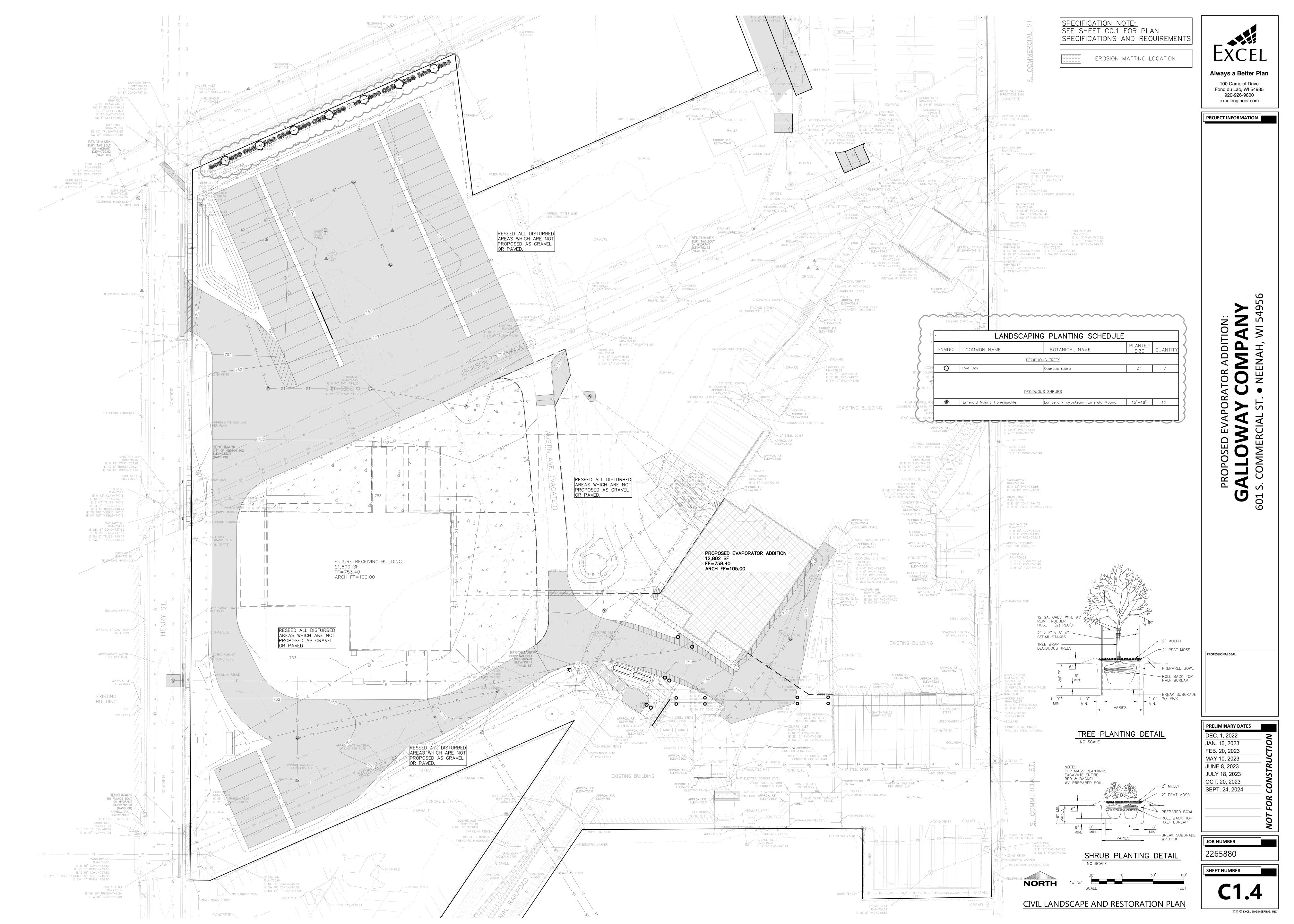
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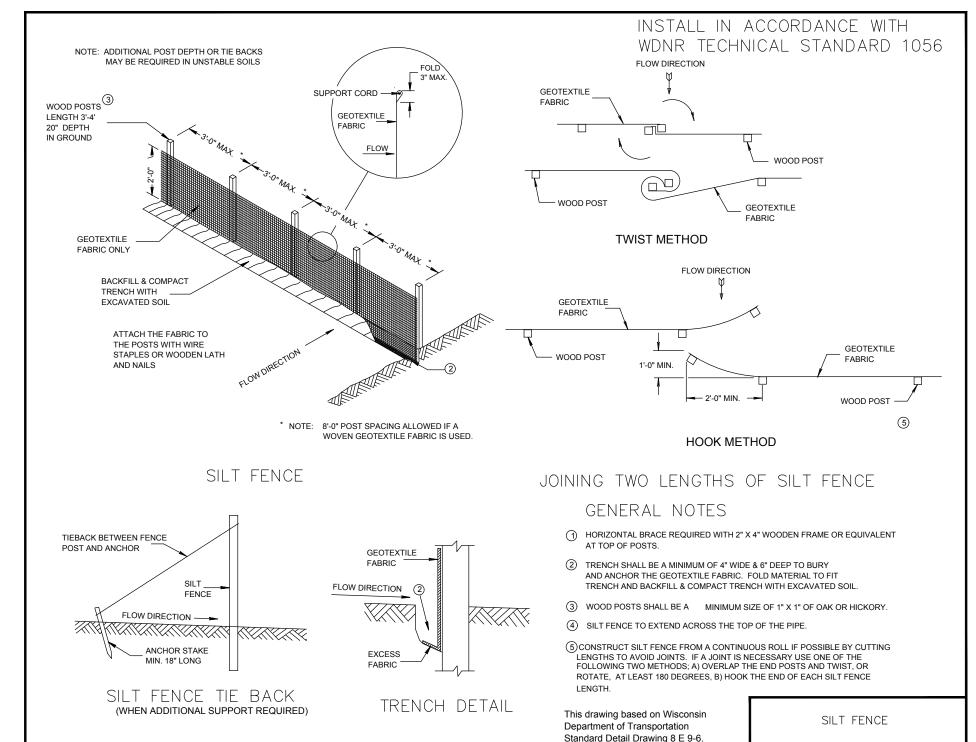
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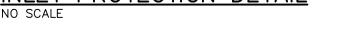
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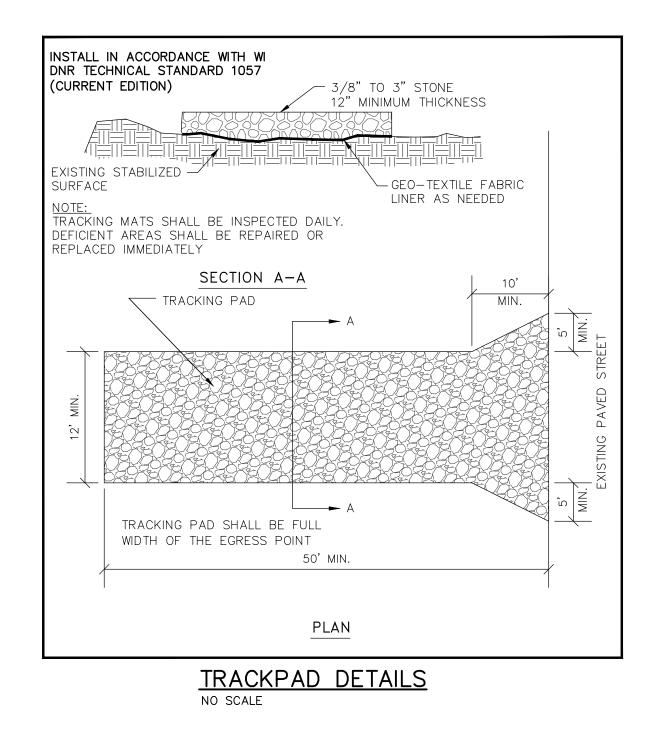


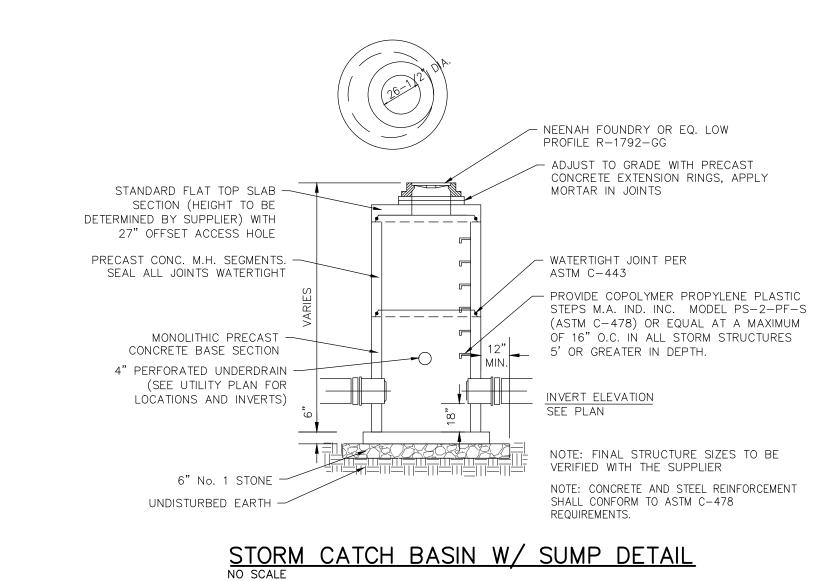


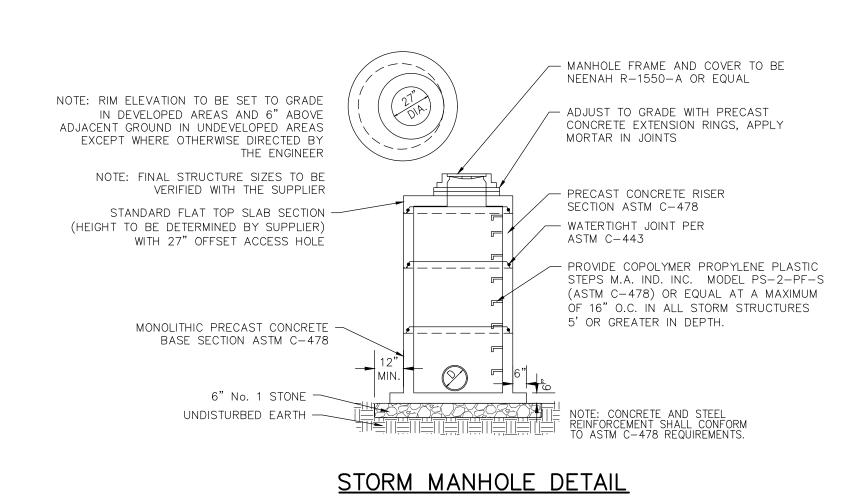
SILT FENCE - INSTALLATION DETAIL
NO SCALE

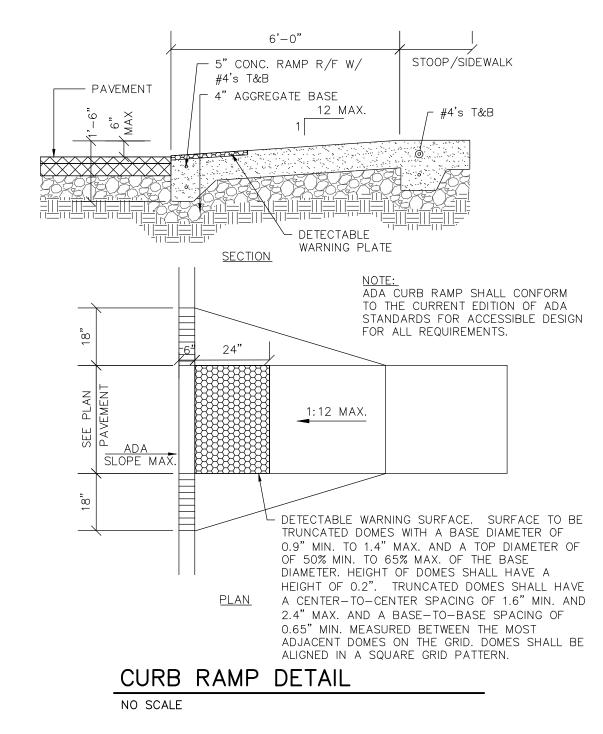








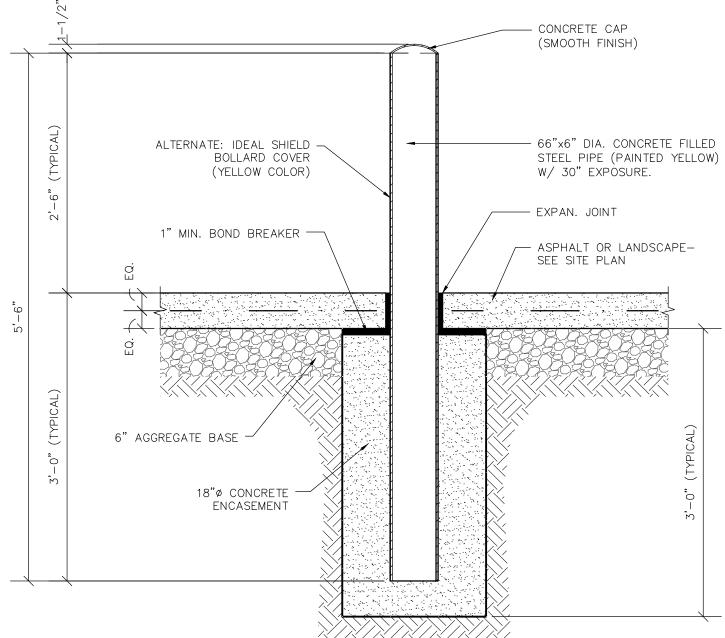




BUILDING -2" STONE (COLOR AND -PROVIDE PLASTIC EDGING -TYPE BY OWNER) 2% MIN.

STONE STRIP DETAIL

2' (UNLESS OTHERWISE SPECIFIED ON PLAN)



6" PIPE BOLLARD DETAIL

CONSTRUCTION START: JULY 2023 CONSTRUCTION SEQUENCE CONSTRUCTION END: DEC 2024 TYPE OF ACTION PHASE CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. . PRE-CONSTRUCTION PLACE ALL SILT FENCE. ACTION CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS. CONSTRUCT ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED. SITE DEMOLITION AS REQUIRED. 2. CONSTRUCTION 2. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR (VERIFY W/ OWNER). PROVIDE PERIMETER SILT FENCE UNTIL STABLIZED. . BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. 4. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE. 5. DIG AND POUR ALL BUILDING FOOTINGS. 6. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES. . TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. 8. CONSTRUCT BUILDING. 9. PAVE DRIVEWAYS AND PARKING AREAS. 10. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP. 3. POST CONSTRUCTION 1. CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION.

2. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS.

\*\*CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.\*\*

SHEET NUMBER

2023 © EXCEL ENGINEERING, INC.

PRELIMINARY DATES DEC. 1, 2022 JOB NUMBER

SPECIFICATION NOTE:

SEE SHEET CO.1 FOR PLAN

SPECIFICATIONS AND REQUIREMENTS

Always a Better Plan

100 Camelot Drive

Fond du Lac, WI 54935

920-926-9800

excelengineer.com

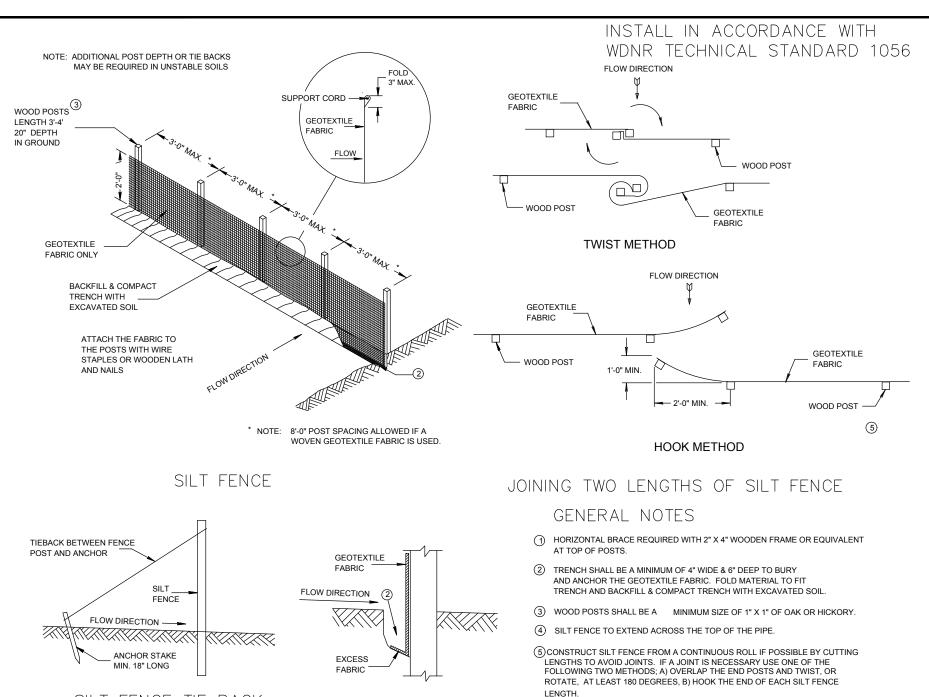
PROJECT INFORMATION

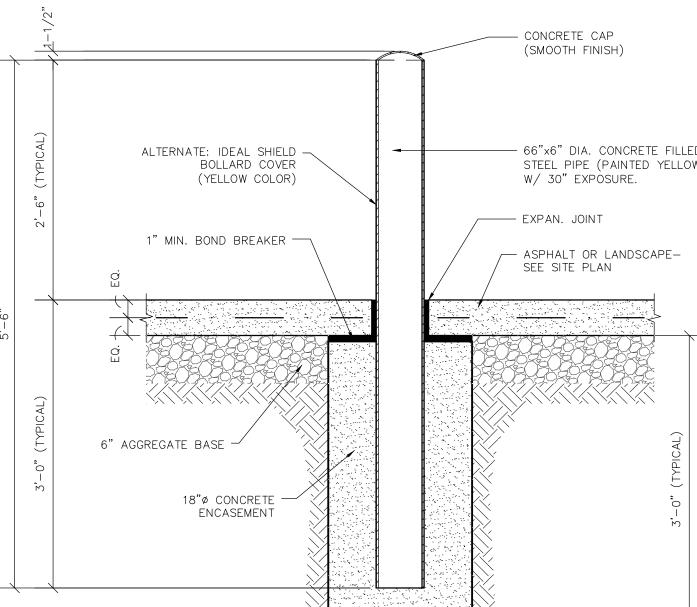
JAN. 16, 2023 FEB. 20, 2023 MAY 10, 2023 JUNE 8, 2023 JULY 18, 2023 OCT. 20, 2023 SEPT. 24, 2024

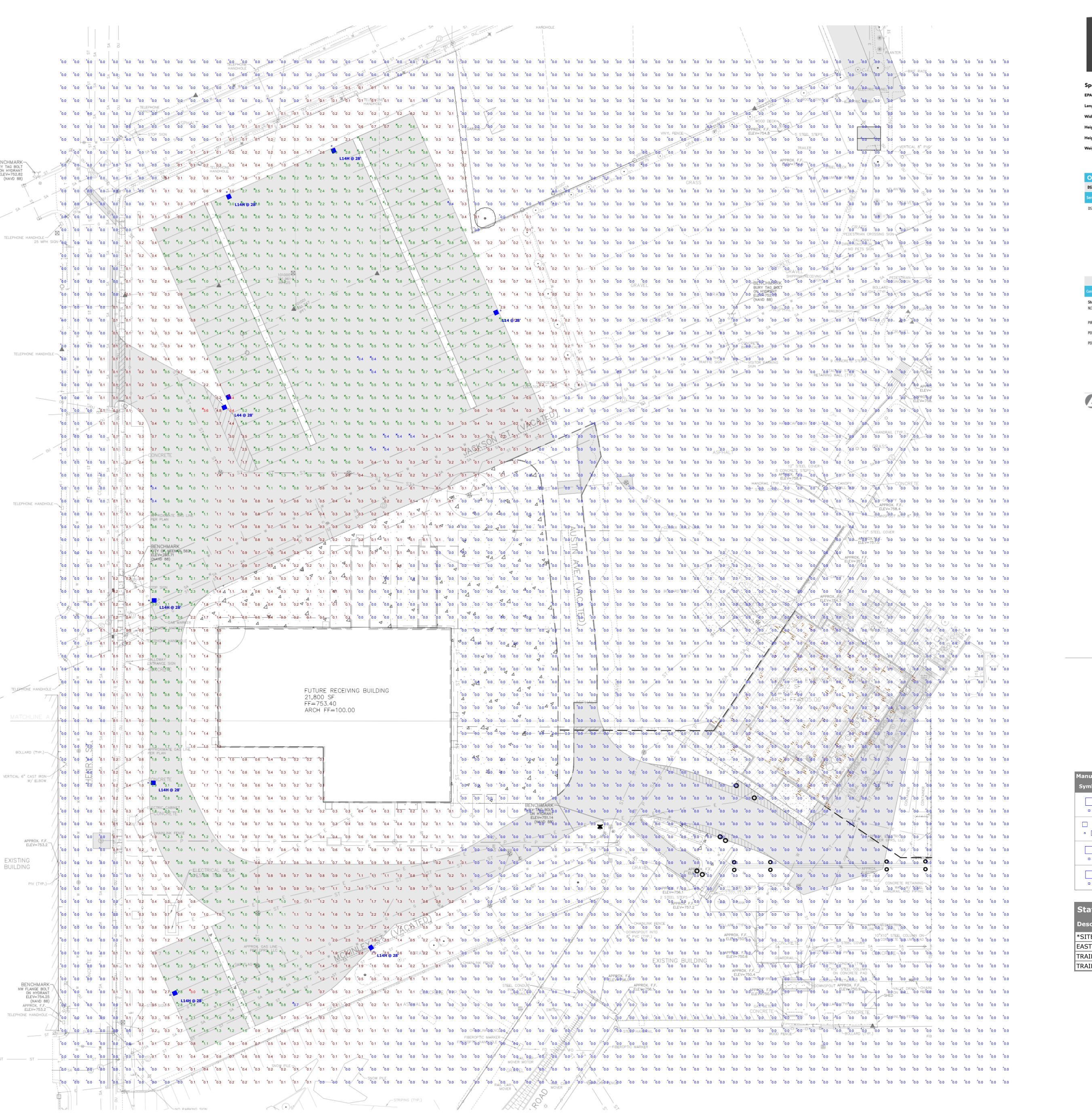
PROFESSIONAL SEAL

2265880

CIVIL DETAILS









Specifications

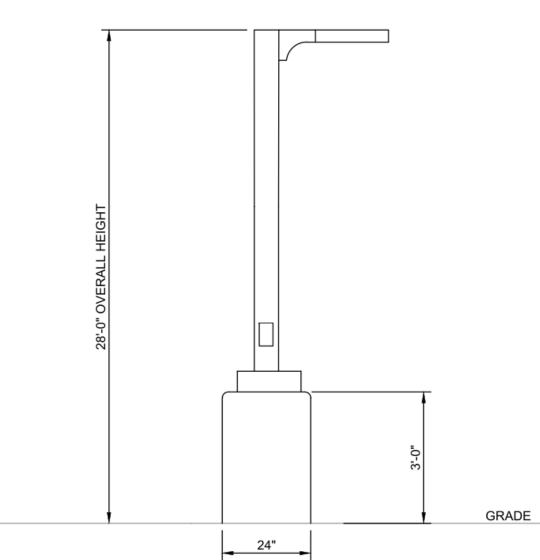
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

| DSX1 LED |  |  |   |  |   |              |                            |   |   |
|----------|--|--|---|--|---|--------------|----------------------------|---|---|
| Series   | LEDs   | Color temperature <sup>2</sup>   | Color Rendering<br>Index <sup>2</sup>   | Distribution   |   | Voltage      |                            | Mountin   | g   |
| DSX1 LED | Porward optics P1 P6 P2 P7 P3 P8 P4 P9 P5 Rotated optics P101 P121 P111 P131 | (this section 70CRI only) 30K 3000K 40K 4000K 50K 5000K (this section 80CRI only, extended lead times apply) 27K 2700K 30K 3000K 35K 3500K 40K 4000K 50K 5000K | 70CRI<br>70CRI<br>70CRI<br>80CRI<br>80CRI<br>80CRI<br>80CRI<br>80CRI<br>80CRI | AFR Automotive front row T1S Type I short T2M Type II medium T3M Type II medium T3LG Type II low glare <sup>3</sup> T4M Type IV medium T4LG Type IV low glare <sup>3</sup> TFTM Forward throw medium | TSM Type V medium TSLG Type V low glare TSW Type V wide BLC3 Type III backlight control <sup>3</sup> BLC4 Type IV backlight control <sup>3</sup> LCC0 Left corner cutoff <sup>3</sup> RCC0 Right corner cutoff <sup>3</sup> | HVOLT (347V- | -277V)* -480V)** - 480V)** | Shipper<br>SPA<br>RPA<br>SPAS<br>RPAS<br>SPABN<br>WBA | dincluded  Square pole mounting (#8 drilling)  Round pole mounting (#8 drilling)  \$\frac{2}{3}\$ drilling^{3}  #5 drilling^{3}  #5 drilling^{3}  \$\frac{2}{3}\$ drilling^{3}  Square narrow pole mounting  #5 drilling^{4}  Square harrow pole  mounting #8 drilling  Wall bracket 10 |

| Control options   |                                    |   | Other optic   | ons  | Finish (requ  | ired)  |
|---|------------------------------------|---|---|--|---|--|
| Shipped installed  NLTAIR2 PIRHN  InLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 26c. Th. ID. 28. 31  PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. Th. 28. 31  PER NEMA twist-lock receptacle only (controls ordered separate) The Pive-pin receptacle only (controls ordered separate) | PER7<br>FA0<br>BL30<br>BL50<br>DMG | Seven-pin receptacle only (controls ordered separate) <sup>14,21</sup> Field adjustable output <sup>16,21</sup> Bi-level switched dimming, 30% <sup>16,21</sup> Bi-level switched dimming, 50% <sup>16,21</sup> Q-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) <sup>27</sup> Dual switching <sup>16, 19,21</sup> | Shipped in<br>SPD20KV<br>HS<br>L90<br>R90<br>CCE<br>Shipped s<br>EGSR | 20KV surge protection Houseside shield (black finish standard) <sup>20</sup> Left rotated optics <sup>1</sup> Right rotated optics <sup>1</sup> Coastal Construction <sup>20</sup> | DDBXD DBLXD DNAXD DWHXD DDBTXD DBLBXD DNATXD DWHGXD | Dark Bronze<br>Black<br>Natural Aluminum<br>White<br>Textured dark bronze<br>Textured black<br>Textured natural aluminum<br>Textured white |

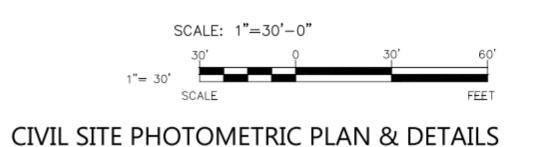
One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com © 2011-2023 Acuity Brands Lighting, Inc. All rights reserved.



# LIGHT POLE DETAIL

| Manufact | urer  |          |                      |                   |   |                    |          |
|----------|-------|----------|----------------------|-------------------|---|--------------------|----------|
| Symbol   | Label | Quantity | Manufacturer         | Catalog<br>Number | Description   | Lumens<br>Per Lamp | Wattage  |
|          | L12H  | 0        | Lithonia<br>Lighting | 50K 70CRI         | D-Series Size 1 Area Luminaire P7<br>Performance Package 5000K CCT 70<br>CRI Type 2 Medium Houseside Shield         | 19421              | 184.4348 |
| • 🗆      | L44   | 1        | Lithonia<br>Lighting | 50K 70CRI         | D-Series Size 1 Area Luminaire P7<br>Performance Package 5000K CCT 70<br>CRI Forward Throw                          | 23139              | 368.86   |
|          | L14   | 1        | Lithonia<br>Lighting | 50K 70CRI         | D-Series Size 1 Area Luminaire P7<br>Performance Package 5000K CCT 70<br>CRI Forward Throw                          | 23139              | 184.43   |
|          | L14H  | 6        | Lithonia<br>Lighting | 50K 70CRI         | D-Series Size 1 Area Luminaire P7<br>Performance Package 5000K CCT 70<br>CRI Forward Throw External Glare<br>Shield | 20411              | 184.4348 |

|                         |        | _      | _      | _      |         |         |
|-------------------------|--------|--------|--------|--------|---------|---------|
| Statistics              |        |        |        |        |         |         |
| Description             | Symbol | Avg    | Max    | Min    | Max/Min | Avg/Mi  |
| *SITE OVERALL           | +      | 0.3 fc | 5.4 fc | 0.0 fc | N/A     | N/A     |
| EAST DRIVEWAY           | Ж      | 1.4 fc | 3.6 fc | 0.4 fc | 9.0:1   | 3.5:1   |
| TRAILER PARKING (NORTH) | Ж      | 1.4 fc | 5.4 fc | 0.4 fc | 13.5:1  | 3.5:1   |
| TRAILER PARKING (SOUTH) | Y      | 1 4 fc | 3.0 fc | 0.7 fc | 4 3 · 1 | 2 0 · 1 |



Always a Better Plan 100 Camelot Drive Fond du Lac, WI 54935 920-926-9800 excelengineer.com

PROJECT INFORMATION

Δ

PROFESSIONAL SEAL

PRELIMINARY DATES SEPT. 24, 2024

JOB NUMBER 2265880

2023 © EXCEL ENGINEERING, INC.



Department of Public Works
211 Walnut Street | Neenah, WI 54956
publicworks@neenahwi.gov
920.886.6240

#### MEMORANDUM

DATE: September 30, 2024

Mayor Lang, Members of the Public Services & Safety Committee, and Members of

the Plan Commission

FROM: James Merten, Traffic Engineer

RE: Resolution 2024-19: Amended S. Commercial Street Relocation Order

S. Commercial Street between Stanley Street and Tyler Street is scheduled for construction in 2025. Resolution 2023-18 was approved by the Neenah Common Council on August 2, 2023 authorizing the relocation order for the project. Resolution 2023-24 was approved on October 18, 2023, authorizing an amended relocation order as a result of modifications made to the plat.

Attached is Resolution 2024-19, which if approved, would authorize a final amended relocation order for the project. The amendments primarily comprise property ownership updates, but also the following land interest changes:

- Parcel 19 1315 S Commercial St Hair Connection Salon Decrease 8 SF of TLE
- Parcel 47 1117 S Commercial St Gill Liquor Increase 9 SF of Fee
- Parcel 108 783 S Commercial St Buksyk Residence Increase 30 SF of TLE
- Parcel 129 601 S Commercial St Galloway Company Decrease 1363 SF of TLE

The agreements made with the property owners already account for the amended quantities, so this relocation order is effectively a retroactive cleanup of those exchanges.

Staff recommend the Common Council approve Resolution 2024-19, the relocation order for the amended plat for the 2025 S. Commercial Street reconstruction project between Stanley Street and Tyler Street.

PSSC: October 8, 2024 1 of 1



#### **RESOLUTION NO. 2024-19**

A RESOLUTION OF THE CITY OF NEENAH APPROVING AND AUTHORIZING THE EXECUTION OF A RELOCATION ORDER FOR THE RECONSTRUCTION OF S. COMMERCIAL STREET (STANLEY STREET TO TYLER STREET).

**WHEREAS**, the Neenah Common Council approved Resolution 2023-18, which issued a Resolution Order to acquire certain adjoining lands in order to properly reconstruct S. Commercial Street (Stanley Street to Tyler Street); and

**WHEREAS**, the Neenah Common Council approved Resolution 2023-24, which issued an amended Resolution Order for said project; and

**WHEREAS**, the City has identified additional changes to the S. Commercial Street Right of Way necessary to properly reconstruct S. Commercial Street (Stanley Street to Tyler Street); and

**WHEREAS**, such acquisition will be accomplished pursuant to authority granted under sections 32.05 and 62.22 of the Wisconsin Statutes.

NOW THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF NEENAH, WISCONSIN, that the Relocation Order for Project ID 4993-01-01, attached hereto as Exhibit A, is hereby approved and the proper City officials are authorized and directed to execute the Order for acquisition of the properties shown.

| Recommended by: | CITY OF NEENAH, WISCONSIN   |
|-----------------|-----------------------------|
| Moved:          |                             |
|                 | Jane Lang, Mayor            |
| Passed:         |                             |
|                 | Charlotte Nagel, City Clerk |

#### **RELOCATION ORDER**

LPA1708 07/2022 (Replaces LPA3006)

| Project                | Road name                                 | Highway                | County              |
|------------------------|---|------------------------|---------------------|
| 4993-01-01             | Commercial Street                         | Commercial Street      | Winnebago           |
| COMMERCIAL             |   |                        |                     |
| STREET                 | City of Neenah                            |                        |                     |
|                        | Winnebago County, Wisconsin               |                        |                     |
| Right of way plat date | Plat sheet number(s)                      | Previously approved Re | location Order date |
| 9-17-2024              | 4.13, 4.14, 4.15, 4.16, 4.17, 4.18, 4.19, | 8-1-2023, 9-25-2023    |                     |
|                        | 4.20, 4.21, 4.22, 4.23, 4.24              |                        |                     |

Description of termini of project: Beginning at a point that is 1273.76 feet North of and 0.60 feet East of the Southwest Corner of Section 34, T20N, R17E, City of Neenah, Winnebago County, Wisconsin; thence Northerly to the End of the Relocation Order. Said End being 1279.49 feet South of and 6.69 feet East of the Northeast Quarter Corner of Section 28, T20N, R17E, City of Neenah, Winnebago County, Wisconsin as shown on the plat of right-of-way, or a copy thereof marked.

Total net length of centerline is approximately 8,021.03' feet (1.52 miles)

Outagamie County Coordinate System, NAD 83 (2012):

Beginning Coordinates:

Y: 525122.505 X: 812232.127

End Coordinates:

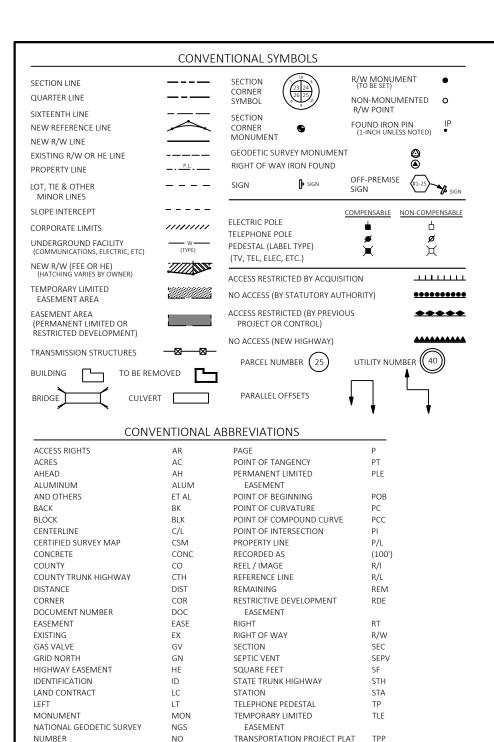
Y: 533143.121 X: 812186.394

To properly establish, lay out, widen, enlarge, extend, construct, reconstruct, improve, or maintain a portion of the highway designated above, it is necessary to relocate or change and acquire certain lands or interests in lands as shown on the right of way plat for the above project.

To effect this change, pursuant to authority granted under Sections 62.22 and 62.23(10), Wisconsin Statutes, City of Neenah orders that:

- 1. The said road is laid out and established to the lines and widths as shown on the plat.
- 2. The required lands or interests in lands as shown on the plat shall be acquired by: City of Neenah
- 3. This order supersedes and amends any previous order issued by the: City of Neenah

| Name and Title | Date |
|----------------|------|



#### NOTES:

OUTLOT

POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), WINNEBAGO COUNTY, NAD83 (2012) IN US SURVEY FEET, VALUES SHOWN ARE GRID COORDINATES. GRID BEARINGS. AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.

UNITED STATES HIGHWAY

VOLUME

USH

ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY ¾" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.

DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE

RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF PUBLIC RECORD.

FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT CITY OF NEENAH

OL

PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON

INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE DETAIL PAGES.

#### CONVENTIONAL UTILITY SYMBOLS

**TELEPHONE** OVERHEAD TRANSMISSION LINES FLECTRIC CABLE TELEVISION SANITARY SEWER STORM SEWER FLECTRIC TOWER

LONG CHORD LONG CHORD BEARING RADIUS DEGREE OF CURVE CENTRAL ANGLE LENGTH OF CURVE TANGENT DIRECTION AHEAD DIRECTION BACK

**CURVE DATA ABBREVIATIONS**  $\Delta$ /DELTA

(161) = R/W POINT 171 = TLE POINT

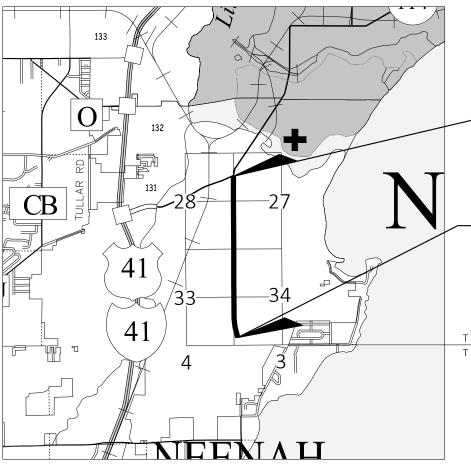
R/W PROJECT NUMBER NUMBER SHEETS 4993-01-01 CONSTRUCTION PROJECT NUMBER 24 4993-01-01

PLAT OF RIGHT OF WAY REQUIRED FOR

COMMERCIAL STREET STANLEY ST. - WINNECONNE AVE.

COMMERCIAL STREET, CITY OF NEENAH

WINNEBAGO COUNTY





#### STATION 93+96.03

1279.49 FEET SOUTH OF AND 6.69 FEET EAST OF THE NORTHEAST CORNER OF SEC. 28. T20N, R17E, TOWN OF NEENAH, WINNEBAGO COUNTY, WICONSIN.

Y: 533143.121 812186.394

#### BEGIN RELOCATION ORDER

#### STATION 13+75.00

1273.76 FEET NORTH OF AND 0.60 FEET EAST OF THE SOUTHWEST CORNER OF SEC. 34, T20N, R17E. TOWN OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

525122.505 812232.127

T 20 N T 19 N



8-1-2023 REVISED 9-25-2023 REVISED 11-10-2023 REVISED 9-17-2024

THIS PLAT IS A GRAPHIC REPRESENTATION AND IS FOR REFERENCE PURPOSES ONLY. DEEDS MUST BE CHECKED TO DETERMINE PROPERTY BOUNDARIES AND ACCESS RIGHTS.

| REVISION DATE<br>9-25-2023<br>11-10-2023 | CITY OF NEENAH          |  |  |  |
|--|-------------------------|--|--|--|
| 9-17-2024                                | APPROVED FOR THE COUNTY |  |  |  |
|  | DATE: (Signature)       |  |  |  |

5280 SCALE

TOTAL NET LENGTH OF CENTERLINE = 8,021.03' (1.52 MILES)

FILE NAME: N:\3001439.00\CIVIL 3D\RW\RW PLAT-TITLE-SHEET-3001439.DWG

PLOT DATE: 9/19/2024 10:22 AM

PLOT BY: ETHAN KARLS

PLOT NAME

## SCHEDULE OF LANDS AND INTERESTS REQUIRED

AREAS SHOWN IN THE TOTAL ACRES COLUMN MAY BE APPROXIMATE AND ARE DERIVED FROM TAX ROLE OR OTHER AVAILABLE SOURCES AND MAY NOT INCLUDE LANDS OF THE OWNER WHICH ARE NOT CONTIGUOUS TO THE AREA TO BE ACQUIRED. OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY.

| PARCEL NUMBER SHEET NUMBER | SHEET NUMBER(S) | (S) OWNER(S)  | INTEREST | R/W AREA REQUIRED - SF |          |       | TLE SF   |
|----------------------------|-----------------|---|----------|------------------------|----------|-------|----------|
| PARCEL NOWIDER             | SUCCI MOMBEN(S) | OWNER(3)  | REQUIRED | NEW                    | EXISTING | TOTAL | REQUIRED |
| 1                          | 4.13            | SOUTHGATE APARTMENTS LLC A/K/A SOUTHGATE APARTMENTS, LLC                              | TLE      | 0                      | 0        | 0     | 1483     |
| 2                          | 4.13, 4.14      | NEENAH PLAZA CONDOMINIUMS (NEENAH PLAZA CONDOMINUM OWNERS ASSOCIATION)                | FEE, TLE | 421                    | 0        | 421   | 2131     |
| 3                          | 4.13            | GRISHABER MAIN STREET PARTNERSHIP   | TLE      | 0                      | 0        | 0     | 1027     |
| 4                          | 4.13, 4.14      | CAPITAL CREDIT UNION  | TLE      | 0                      | 0        | 0     | 1559     |
| 6                          | 4.14            | PIONEER DEVELOPMENT, INC.   | TLE      | 0                      | 0        | 0     | 1107     |
| 7                          | 4.14            | CITY OF NEENAH  | TLE      | 0                      | 0        | 0     | 3458     |
| 8                          | 4.14            | CHARLOTTE'S CAR WASH LLC  | FEE, TLE | 64                     | 0        | 64    | 1913     |
| 9                          | 4.14, 4.15      | D-JON PROPERTIES, LLC   | TLE      | 0                      | 0        | 0     | 1022     |
| 10                         | 4.14            | PIONEER DEVELOPMENT, INC.   | FEE, TLE | 130                    | 0        | 130   | 1088     |
| 11                         | 4.14            | O'BRIEN INVESTMENT PROPERTIES LLC   | TLE      | 0                      | 0        | 0     | 1347     |
| 12                         | 4.14            | FLOREK HENDERSON DENTAL LLC A/K/A FLOREK, HENDERSON DENTAL, LLC & R&L PROPERTIES, LLC | FEE, TLE | 112                    | 0        | 112   | 1321     |
| 13                         | 4.13, 4.14      | EXCEL PROPERTIES, LLC   | TLE      | 0                      | 0        | 0     | 2367     |
| 14                         | 4.13            | VICKI A. WEINAUG (PURCHASER) & MICHAEL L. JOHNSON (VENDOR)                            | TLE      | 0                      | 0        | 0     | 627      |
|                            |                 |   |          |                        |          |       |          |
| 16                         | 4.13            | DANIEL C. STRONG  | TLE      | 0                      | 0        | 0     | 1528     |
| 17                         | 4.13            | WESNER HOLDINGS, INC.   | TLE      | 0                      | 0        | 0     | 1099     |
| 18                         | 4.15            | DAVID L. GERARDEN & SARAH L. GERARDEN   | TLE      | 0                      | 0        | 0     | 1395     |
| 19                         | 4.15            | LIND REAL ESTATE, LLC (PURCHASER) & MYKEL, LLC (VENDOR)                               | TLE      | 0                      | 0        | 0     | 1129     |
| 20                         | 4.13            | 1504 SOUTH, LLC   | TLE      | 0                      | 0        | 0     | 469      |
| 21                         | 4.15            | CITY OF NEENAH  | TLE      | 0                      | 0        | 0     | 1010     |
| 22                         | 4.15, 4.16      | KRIST OIL CO., INC A/K/A KRIST OIL CO., INC., A MICHIGAN CORPORATION                  | TLE      | 0                      | 0        | 0     | 1823     |
| 23                         | 4.16            | PSAM, LLC.  | TLE      | 0                      | 0        | 0     | 525      |
| 24                         | 4.16            | SCRIBNER PROPERTIES, LLC  | TLE      | 0                      | 0        | 0     | 912      |
| 25                         | 4.16            | CITY OF NEENAH  | TLE      | 0                      | 0        | 0     | 1495     |
| 26                         | 4.16            | AUTOZONE, INC.  | TLE      | 0                      | 0        | 0     | 1270     |
| 27                         | 4.16            | JOHN A. NENNIG  | FEE, TLE | 0                      | 2256     | 2256  | 430      |
| 28                         | 4.16            | E&B PROPERTIES, LLC   | FEE, TLE | 0                      | 2275     | 2275  | 627      |
| 29                         | 4.16            | KRISTINA M. & DAVID A. SCHMIDT (PURCHASERS), & JUDITH A. ZARETZKE TRUST (VENDOR)      | FEE, TLE | 0                      | 2036     | 2036  | 419      |
| 31                         | 4.16            | BERO REAL ESTATE LLC  | FEE, TLE | 0                      | 4338     | 4338  | 1281     |
| 32                         | 4.16            | JPACK REAL ESTATE LLC   | FEE, TLE | 7                      | 0        | 7     | 975      |
| 34                         | 4.16            | L.A. RENTALS AND REAL ESTATE, LLC.  | TLE      | 0                      | 0        | 0     | 423      |

FILE NAME : RW LAYOUT-3001439.DWG
LAYOUT NAME - SCHEDULE OF LANDS (4.02)

PLOT DATE: 9/19/2024 10:20 AM PLOT BY: ETH/

WISDOT/CADDS SHEET 75

## SCHEDULE OF LANG

AREAS SHOWN IN THE TOTAL ACRES COLUMN MAY BE APPROXIMATE AND ARE DERIVED FROM TAX ROLE OR OTHER AVAILABLE SOURCES AND MAY NOT INCLUDE LANDS OF THE OWNER WHICH ARE NOT CONTIGUOUS TO THE AREA TO BE ACQUIRED. OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY.

SCHEDULE OF LANDS AND INTERESTS REQUIRED

| PARCEL NUMBER   SHEET NUMBER(S) | OWNER(S)   | INTEREST   | R        | TLE SF |          |       |          |
|---------------------------------|------------|--|----------|--------|----------|-------|----------|
| TARGEE NOWIDER                  |            | OWNER(D)   | REQUIRED | NEW    | EXISTING | TOTAL | REQUIRED |
| 36                              | 4.15, 4.16 | KRISTIN ZAGRODNIK & SHAWN ZAGRODNIK                                  | FEE, TLE | 0      | 2740     | 2740  | 651      |
| 37                              | 4.15       | CEDAR BAR & GRILL, LLP   | FEE, TLE | 0      | 5530     | 5530  | 732      |
| 38                              | 4.15       | KACE, LLC.   | FEE, TLE | 0      | 4909     | 4909  | 765      |
| 39                              | 4.15       | COMMERCIAL BREAK, LLC  | TLE      | 0      | 0        | 0     | 503      |
|                                 |            |  |          |        |          |       |          |
| 41                              | 4.15       | LESLIE LOHFF   | TLE      | 0      | 0        | 0     | 1226     |
| 42                              | 4.17       | ROB'S REPAIR, LLC  | FEE, TLE | 13     | 0        | 13    | 393      |
| 43                              | 4.17       | ELLIOT KRUEGER   | TLE      | 0      | 0        | 0     | 570      |
| 44                              | 4.17       | WAITE PROPERTY MANAGEMENT LLC  | TLE      | 0      | 0        | 0     | 836      |
|                                 |            |  |          |        |          |       |          |
| 46                              | 4.17       | MY PLACE T N S, LLC (PURCHASER) & KUBINSKI INVESTMENTS, LLC (VENDOR) | FEE, TLE | 3      | 0        | 3     | 600      |
| 47                              | 4.17       | A S GILL, INC.   | FEE, TLE | 23     | 0        | 23    | 2500     |
| 48                              | 4.18       | D & M PROPERITES I, LLC  | FEE, TLE | 9      | 0        | 9     | 1836     |
| 49                              | 4.18       | CRANKY PAT'S PROPERTIES, LLC   | FEE, TLE | 74     | 6657     | 6730  | 2138     |
|                                 |            |  |          |        |          |       |          |
| 51                              | 4.18       | VDH AUTOMOTIVE, LLC  | FEE, TLE | 78     | 0        | 78    | 1381     |
| 52                              | 4.18       | 1016 S COMMERCIAL, LLC   | TLE      | 0      | 0        | 0     | 1675     |
| 53                              | 4.17, 4.18 | PRSHEO, LLC  | FEE, TLE | 78     | 0        | 78    | 1274     |
| 54                              | 4.17       | PGM PROPERTIES, LLC  | FEE, TLE | 0      | 5944     | 5944  | 1614     |
|                                 |            |  |          |        |          |       |          |
| 56                              | 4.17       | K AND E LIMITED PARTNERSHIP  | FEE, TLE | 0      | 3255     | 3255  | 2010     |
| 57                              | 4.16, 4.17 | DAVID TATE   | FEE, TLE | 0      | 2156     | 2156  | 437      |
|                                 |            |  |          |        |          |       |          |
| 76                              | 4.19       | KALEKA ENTERPRISES, LLC  | FEE, TLE | 107    | 0        | 107   | 1214     |
| 77                              | 4.19       | MEND ENTERPRISES LLC   | FEE, TLE | 9      | 0        | 9     | 477      |
| 78                              | 4.19       | BRITNEY DUNN   | FEE, TLE | 6      | 0        | 6     | 532      |
| 79                              | 4.19       | JOHN JOSEPH THIEL  | TLE      | 0      | 0        | 0     | 388      |
|                                 |            |  |          |        |          |       |          |
| 81                              | 4.19       | TYLER A. HOFFIUS & KARA A. HOFFIUS                                   | TLE      | 0      | 0        | 0     | 364      |
| 82                              | 4.19       | MARLENE ROHE A/K/A MARLENE M. ROHE                                   | TLE      | 0      | 0        | 0     | 501      |
| 83                              | 4.19, 4.20 | CLARITY CARE, INC.   | TLE      | 0      | 0        | 0     | 778      |
| 84                              | 4.20       | KWIK INVESTMENTS INC.  | TLE      | 0      | 0        | 0     | 398      |
| 85                              | 4.20       | OUR SAVIOR'S LUTHERAN CHURCH OF NEENAH                               | TLE      | 0      | 0        | 0     | 1694     |
| 86                              | 4.20       | STEPHEN H. GUNDERSON   | TLE      | 0      | 0        | 0     | 542      |
| 87                              | 4.20       | OUR SAVIOR'S LUTHERAN CHURCH OF NEENAH                               | TLE      | 0      | 0        | 0     | 721      |

DATE 8-1-2023
9-25-2023
11-10-2023
9-17-2024
BRID FACTOR

DATE 8-1-2023
BRID FACTOR

HWY: COMMERCIAL STREET
BRIVE COMMERCIAL STREET
BRI

FILE NAME : RW LAYOUT-3001439.DWG

LAYOUT NAME - SCHEDULE OF LANDS (4.03)

PLOT DATE: 9/19/2024 10:20 AM

ETHAN KARLS

PLOT NAME

PLOT SCALE:

WISDOT/CADDS SHEET 75

## SCHEDULE OF LANDS AND INTERESTS REQUIRED

AREAS SHOWN IN THE TOTAL ACRES COLUMN MAY BE APPROXIMATE AND ARE DERIVED FROM TAX ROLE OR OTHER AVAILABLE SOURCES AND MAY NOT INCLUDE LANDS OF THE OWNER WHICH ARE NOT CONTIGUOUS TO THE AREA TO BE ACQUIRED. OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY.

| PARCEL NUMBER SHE | SHEET NUMBER(S) | OWNER(S)   | INTEREST |     | R/W AREA REQUIRED | - SF  | TLE SF   |
|-------------------|-----------------|--|----------|-----|-------------------|-------|----------|
|                   |                 |  | REQUIRED | NEW | EXISTING          | TOTAL | REQUIRED |
|                   |                 |  |          |     |                   |       |          |
| 89                | 4.20            | KENNETH R. BERNHARDT & DEBRA L. BERNHARDT                              | FEE, TLE | 54  | 0                 | 54    | 425      |
|                   |                 |  |          |     |                   |       |          |
| 91                | 4.20            | ORPHAN ANIMAL RESCUE AND SANCTUARY, INC.                               | TLE      | 0   | 0                 | 0     | 630      |
| 92                | 4.20            | LAWRENCE MICHAEL DANIELS   | TLE      | 0   | 0                 | 0     | 297      |
| 93                | 4.20            | PATRICK G. MCGILLIGAN & SANDRA J. MCGILLIGAN                           | TLE      | 0   | 0                 | 0     | 309      |
| 94                | 4.20            | TITAN OF NEENAH LLC  | TLE      | 0   | 0                 | 0     | 396      |
|                   |                 |  |          |     |                   |       |          |
| 96                | 4.20            | JOSEPH J. HEIL JR. & KATHERINE M. HEIL                                 | TLE      | 0   | 0                 | 0     | 396      |
| 97                | 4.20            | TERESA SORIANO   | TLE      | 0   | 0                 | 0     | 396      |
| 98                | 4.20            | MARJORIE L. RIETVELD   | TLE      | 0   | 0                 | 0     | 391      |
| 99                | 4.19, 4.20      | AEB REAL ESTATE LLC  | TLE      | 0   | 0                 | 0     | 1120     |
|                   |                 |  |          |     |                   |       |          |
| 101               | 4.19            | PAMELA S. DEGROOT & SHANE K. DEGROOT                                   | TLE      | 0   | 0                 | 0     | 900      |
| 102               | 4.19            | GREG KETTNER & KELSEY KETTNER  | TLE      | 0   | 0                 | 0     | 338      |
| 103               | 4.19            | ROSEGOLD, LLC  | TLE      | 0   | 0                 | 0     | 104      |
| 104               | 4.19            | RANDY GRAHAM & SHELLY L. GRAHAM (PURCHASER), & 884 NEENAH LLC (VENDOR) | TLE      | 0   | 0                 | 0     | 1642     |
| 105               | 4.19            | CITY OF NEENAH   | TLE      | 0   | 0                 | 0     | 350      |
| 106               | 4.19            | EARLE PROPERTIES, LLC  | FEE, TLE | 23  | 0                 | 23    | 1239     |
| 107               | 4.20, 4.21      | MICHAEL A. HENNE   | TLE      | 0   | 0                 | 0     | 370      |
| 108               | 4.21            | WILLIAM M. BUKSYK & VICKI L. BUKSYK                                    | TLE      | 0   | 0                 | 0     | 363      |
| 109               | 4.21            | GARY C. BURR   | TLE      | 0   | 0                 | 0     | 384      |
| 110               | 4.21            | CITY OF NEENAH   | FEE, TLE | 6   | 0                 | 6     | 128      |
| 111               | 4.21            | ADAM CHOUINARD   | TLE      | 0   | 0                 | 0     | 315      |
| 112               | 4.21            | TERRY P. SCHRAMM & CHERRYL D. SCHRAMM                                  | TLE      | 0   | 0                 | 0     | 376      |
| 113               | 4.21            | KEEN CAPITAL MANAGEMENT, LLC   | FEE, TLE | 2   | 0                 | 2     | 565      |
| 114               | 4.21            | BRADLEY J. FAHRENKRUG & KIMBERLY M. FAHRENKRUG                         | TLE      | 0   | 0                 | 0     | 250      |
|                   |                 |  |          |     |                   |       |          |
| 116               | 4.21            | CHRISTOPHER FOREMAN & REBECCA BERGSTROM                                | TLE      | 0   | 0                 | 0     | 265      |
| 117               | 4.21            | CODIE EMUNSON & LEIGH ANN RASCO  | TLE      | 0   | 0                 | 0     | 349      |
| 118               | 4.21, 4.22      | BENJAMIN BRAVICK   | TLE      | 0   | 0                 | 0     | 398      |
| 119               | 4.22            | MARK B. MARMES   | TLE      | 0   | 0                 | 0     | 379      |
|                   |                 |  |          |     |                   |       |          |
| 121               | 4.22            | BRANDON HAY  | TLE      | 0   | 0                 | 0     | 350      |
| 122               | 4.22            | STUYVENBERG PROPERTIES, LLC  | TLE      | 0   | 0                 | 0     | 387      |

HWY: COMMERCIAL STREET R/W PROJECT NUMBER 4993-01-01 PLAT SHEET 4.04 DATE <u>8-1-2023</u> GRID FACTOR COUNTY: WINNEBAGO CONSTRUCTION PROJECT NUMBER 4993-01-01 PS&E SHEET PLOT DATE: 9/19/2024 10:20 AM RW LAYOUT-3001439.DWG

LAYOUT NAME - SCHEDULE OF LANDS (4.04)

PLOT NAME :

## SCHEDULE OF LANDS AND INTERESTS REQUIRED

AREAS SHOWN IN THE TOTAL ACRES COLUMN MAY BE APPROXIMATE AND ARE DERIVED FROM TAX ROLE OR OTHER AVAILABLE SOURCES AND MAY NOT INCLUDE LANDS OF THE OWNER WHICH ARE NOT CONTIGUOUS TO THE AREA TO BE ACQUIRED. OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY.

| PARCEL NUMBER   SHEET NUMBER(S) | OWNER(S)            | INTEREST                                    | R/       | R/W AREA REQUIRED - SF |          |       |          |
|---------------------------------|---------------------|---|----------|------------------------|----------|-------|----------|
| PARCEL NOWIDER                  | STILLT NOIVIBLIN(S) | OWNER(3)                                    | REQUIRED | NEW                    | EXISTING | TOTAL | REQUIRED |
| 123                             | 4.22                | BRANDON P. BOETTCHER & DANA G. BOETTCHER    | TLE      | 0                      | 0        | 0     | 404      |
| 124                             | 4.22                | DAREN GABRIELSON                            | TLE      | 0                      | 0        | 0     | 294      |
|                                 |                     |   |          |                        |          |       |          |
| 126                             | 4.22                | JENNIFER L. STEWART                         | TLE      | 0                      | 0        | 0     | 294      |
| 127                             | 4.22                | SCOTT G. WOULF                              | TLE      | 0                      | 0        | 0     | 403      |
| 128                             | 4.22                | KARA L. OLMSTEAD                            | TLE      | 0                      | 0        | 0     | 454      |
| 129                             | 4.22, 4.23, 4.24    | THE GALLOWAY COMPANY                        | FEE, TLE | 81                     | 0        | 81    | 6547     |
|                                 |                     |   |          |                        | _        | _     |          |
| 131                             | 4.22                | WINCH ENTERPRISES LLC                       | FEE, TLE | 5                      | 0        | 5     | 644      |
| 132                             | 4.22                | TAMMY STEWART                               | TLE      | 0                      | 0        | 0     | 426      |
| 133                             | 4.22                | THOMAS M. RUNNOE & KALENA DANIEL MONTGOMERY | TLE      | 0                      | 0        | 0     | 396      |
| 134                             | 4.22                | LAURIE A. LORNSON & DONALD R. LORNSON       | TLE      | 0                      | 0        | 0     | 481      |
| 135                             | 4.22                | WINCH ENTERPRISES LLC                       | TLE      | 0                      | 0        | 0     | 525      |
| 136                             | 4.22                | SAM NESLLER & JENNIFER NESSLER              | TLE      | 0                      | 0        | 0     | 558      |
| 138                             | 4.22                | DONNA MAE DE WEERT                          | TLE      | 0                      | 0        | 0     | 614      |
| 139                             | 4.22                | CODY M. GASSERT-DEBOER & LARISSA A. KEELEY  | TLE      | 0                      | 0        | 0     | 780      |
|                                 |                     |   |          |                        |          | _     |          |
| 141                             | 4.22                | GARY W. SHAW, SR. & GRETCHEN SHAW           | TLE      | 0                      | 0        | 0     | 557      |
| 142                             | 4.21, 4.22          | TIMOTHY R. HALL & CHARLOTTE M. HALL         | TLE      | 0                      | 0        | 0     | 381      |
| 143                             | 4.21                | DONALD EBELT & VICKY EBELT                  | TLE      | 0                      | 0        | 0     | 287      |
| 144                             | 4.21                | TONY L. PROUSE                              | TLE      | 0                      | 0        | 0     | 466      |
| 146                             | 4.21                | JAMES T. ROGERS & GLORIA J. ROGERS          | TLE      | 0                      | 0        | 0     | 403      |
| 147                             | 4.21                | LYNDELL M. MILLER                           | TLE      | 0                      | 0        | 0     | 306      |
| 148                             | 4.21                | RONALD W. FLEGAL                            | TLE      | 0                      | 0        | 0     | 925      |
|                                 |                     |   |          |                        |          |       |          |
| 151                             | 4.21                | JOSHUA MEULEMANS                            | TLE      | 0                      | 0        | 0     | 445      |
| 152                             | 4.21                | ARLENE GEBHART & ANGELA GEBHART             | TLE      | 0                      | 0        | 0     | 434      |
| 153                             | 4.21                | NORMAN A. BOUCK                             | TLE      | 0                      | 0        | 0     | 385      |
| 154                             | 4.21                | JASON T. VAN LINN & INDIA D. TROYER         | TLE      | 0                      | 0        | 0     | 353      |
|                                 |                     |   |          |                        | -        | _     |          |
| 156                             | 4.20, 4.21          | SHANNON A. GLASGOW & KAROLINE GLASGOW       | TLE      | 0                      | 0        | 0     | 532      |
| 157                             | 4.24                | GB MINIMART LLC                             | TLE      | 0                      | 0        | 0     | 1375     |

REVISION DATE SCALE, FEET 8-1-2023 HWY: COMMERCIAL STREET R/W PROJECT NUMBER 4993-01-01 PLAT SHEET 4.05 DATE 9-25-2023 11-10-2023-NC 9-17-2024 GRID FACTOR COUNTY: WINNEBAGO CONSTRUCTION PROJECT NUMBER 4993-01-01 PS&E SHEET PLOT DATE: 9/19/2024 10:20 AM

RW LAYOUT-3001439.DWG LAYOUT NAME - SCHEDULE OF LANDS (4.05)

WISDOT/CADDS SHEET 75

## 4

## SCHEDULE OF LANDS AND INTERESTS REQUIRED

AREAS SHOWN IN THE TOTAL ACRES COLUMN MAY BE APPROXIMATE AND ARE DERIVED FROM TAX ROLE OR OTHER AVAILABLE SOURCES AND MAY NOT INCLUDE LANDS OF THE OWNER WHICH ARE NOT CONTIGUOUS TO THE AREA TO BE ACQUIRED. OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY.

| PARCEL NUMBER | SHEET NUMBER(S)  | OWNER(S)                            | INTEREST             | R/  | W AREA REQUIRED | TLE SF |          |
|---------------|--|-------------------------------------|----------------------|-----|-----------------|--------|----------|
|               | SHEET MUIVIDER(S)  |                                     | REQUIRED             | NEW | EXISTING        | TOTAL  | REQUIRED |
| 158           | 4.24   | BRIGHT STAR PROPERTIES LLC          | TLE                  | 0   | 0               | 0      | 643      |
| 159           | 4.24   | WINNEBAGO COMMUNITY CREDIT UNION    | TLE                  | 0   | 0               | 0      | 1264     |
|               |  |                                     |                      |     |                 |        |          |
| 161           | 4.24   | BRIAN BERT & LOURDES BERT           | TLE                  | 0   | 0               | 0      | 608      |
| 162           | 4.23, 4.24   | COMMERCIAL STREET PROPERTY, LLC     | FEE, TLE             | 6   | 0               | 6      | 1607     |
| 163           | 4.23   | KELLY M. POLSIN                     | TLE                  | 0   | 0               | 0      | 358      |
| 164           | 4.23   | MEHO, LLC                           | TLE                  | 0   | 0               | 0      | 230      |
| 165           | 4.23   | AKEY PROPERTY MANAGEMENT LLC        | TLE                  | 0   | 0               | 0      | 409      |
| 166           | 4.23   | EPL INVESTMENTS, LLC                | TLE                  | 0   | 0               | 0      | 240      |
| 167           | 4.23   | LAURYN SCHMUDLACH                   | TLE                  | 0   | 0               | 0      | 442      |
| 168           | 4.23   | ANDREW BOEHM                        | TLE                  | 0   | 0               | 0      | 359      |
| 169           | 4.23   | WILLIAM P. MOORE & BARBARA R. MOORE | TLE                  | 0   | 0               | 0      | 316      |
|               |  |                                     |                      |     |                 |        |          |
| 171           | 4.23   | KEVIN C. MESKO & RHONDA J. MESKO    | TLE                  | 0   | 0               | 0      | 702      |
| 172           | 4.23   | AVERY HEADINGTON                    | TLE                  | 0   | 0               | 0      | 619      |
| 173           | 4.22, 4.23   | MARIA H. VEESER                     | TLE                  | 0   | 0               | 0      | 597      |
| 501           | 4.13, 4.14, 4.17   | CITY OF NEENAH                      | RELEASE OF RIGHTS    |     |                 |        |          |
| 502           | 4.13, 4.14, 4.15, 4.16,<br>4.18, 4.19, 4.21, 4.22,<br>4.23             |                                     | RELEASE OF<br>RIGHTS |     |                 |        |          |
| 503           | 4.13, 4.14, 4.15, 4.16,<br>4.17, 4.19, 4.20, 4.21,<br>4.22, 4.23, 4.24 |                                     | RELEASE OF<br>RIGHTS |     |                 |        |          |
| 505           | 4.22, 4.23   | SPRINT                              | RELEASE OF<br>RIGHTS |     |                 |        |          |

| REVISION DATE              | DATE <u>8-1-2023</u> SCALE, FEET | HWY: COMMERCIAL STREET | R/W PROJECT NUMBER          | 4993-01-01 | PLAT SHEET 4.06 |
|----------------------------|----------------------------------|------------------------|-----------------------------|------------|-----------------|
| 11-10-2023-NC<br>9-17-2024 | GRID FACTOR                      | COUNTY: WINNEBAGO      | CONSTRUCTION PROJECT NUMBER | 4993-01-01 | PS&E SHEET      |

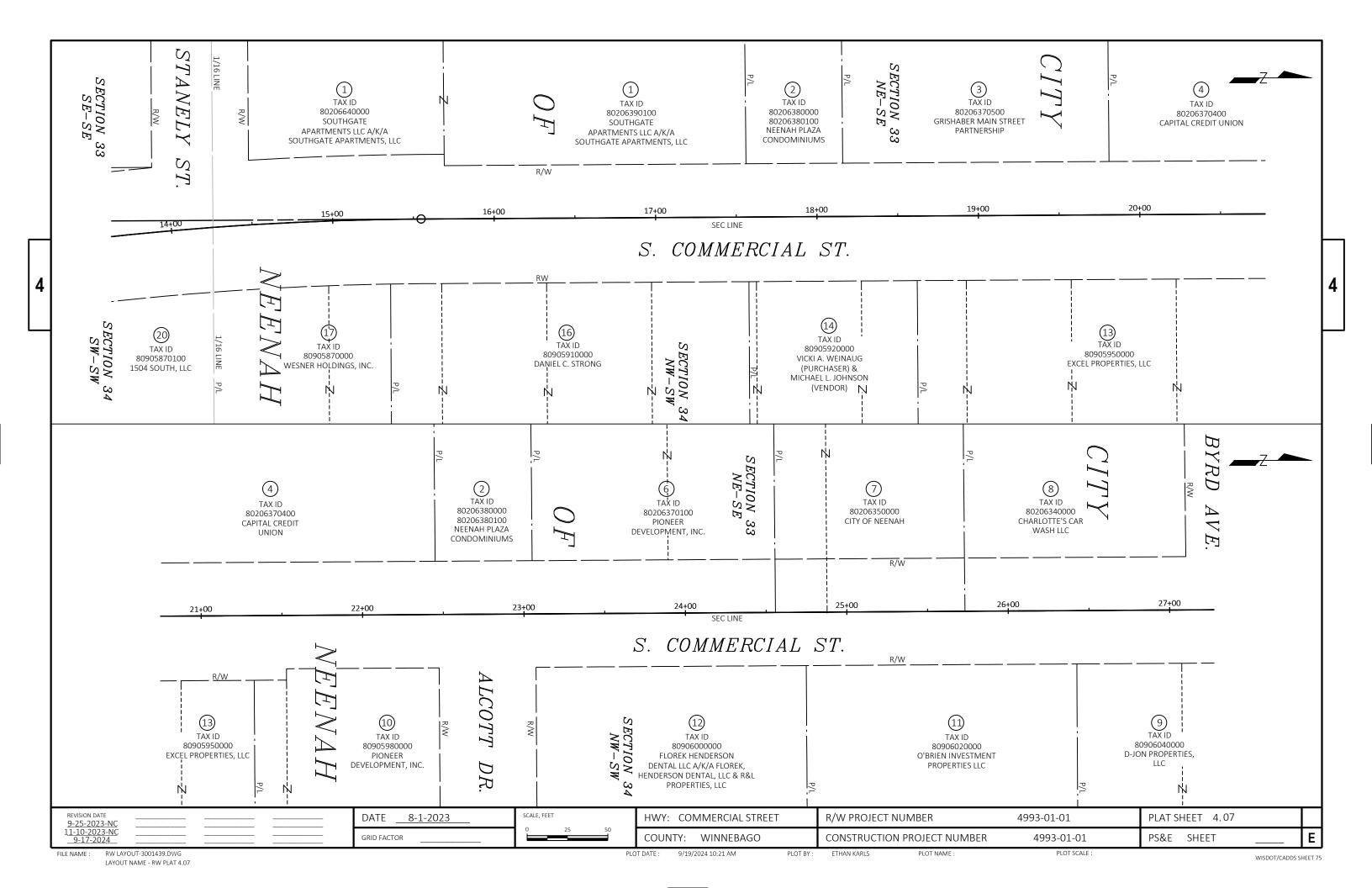
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LAYOUT NAME - SCHEDULE OF LANDS (4.06)

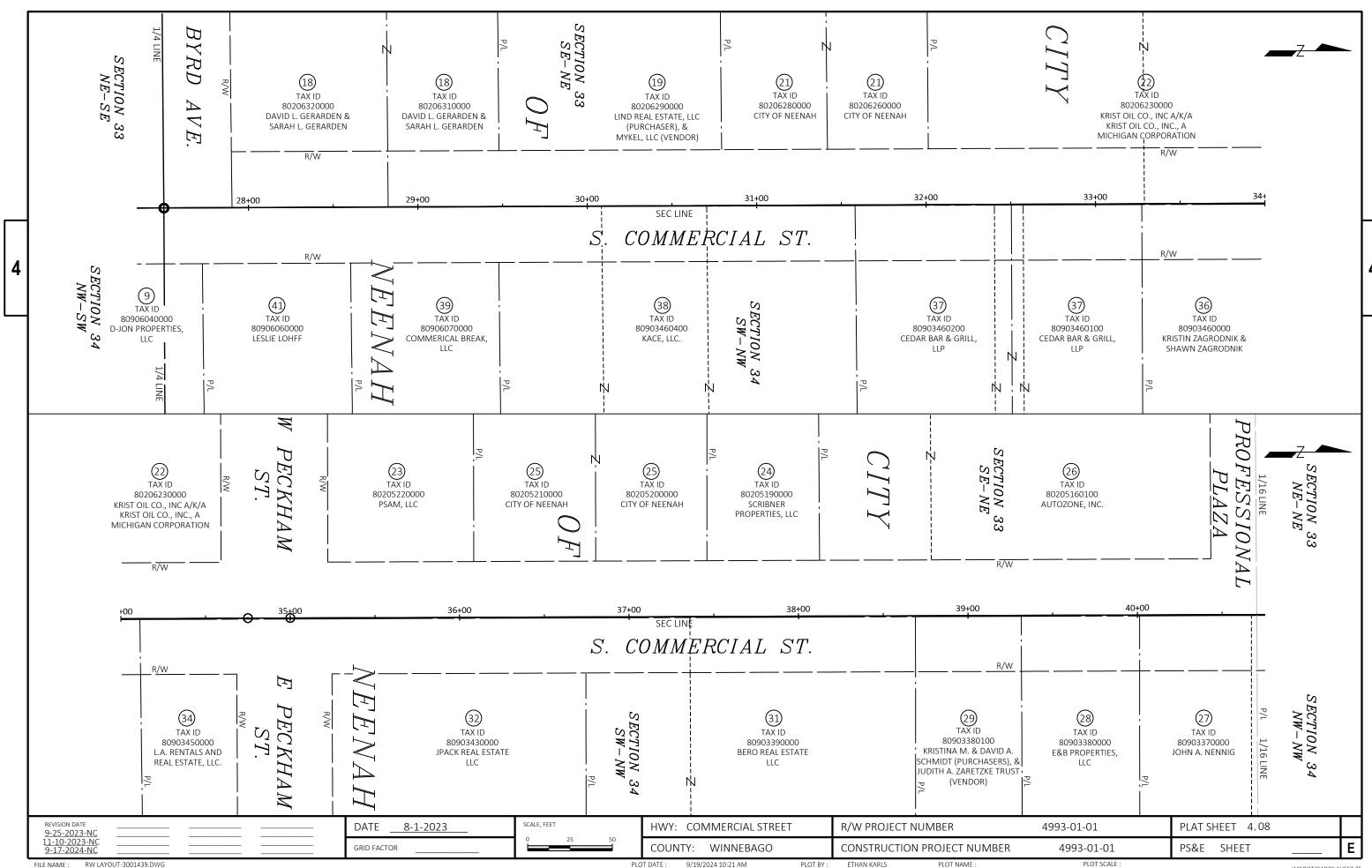
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PLOT BY: ETHAN KARLS

PLOT NAME :

PLOT SCALE :

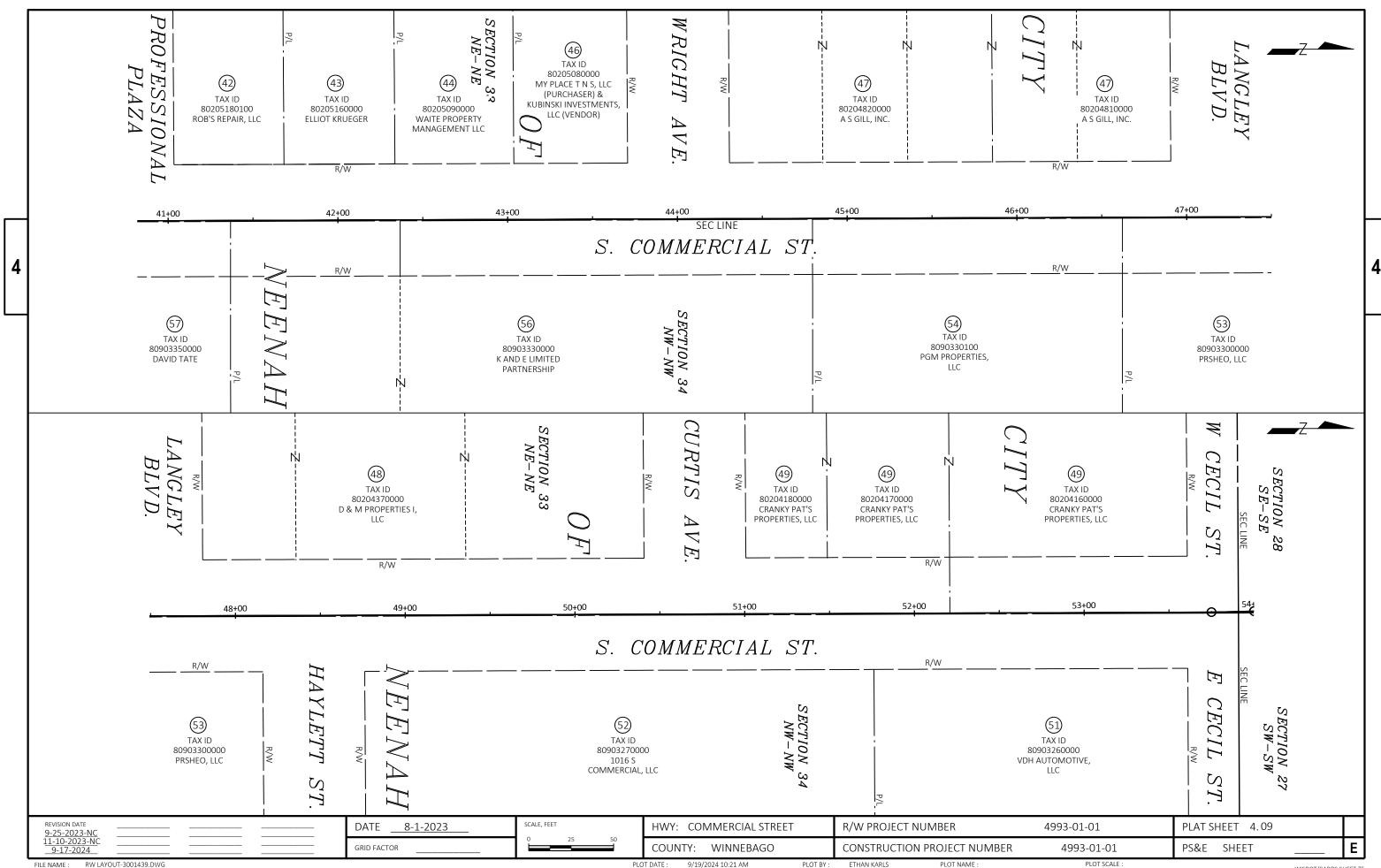




9/19/2024 10:21 AM PLOT DATE :

ETHAN KARLS

PLOT NAME

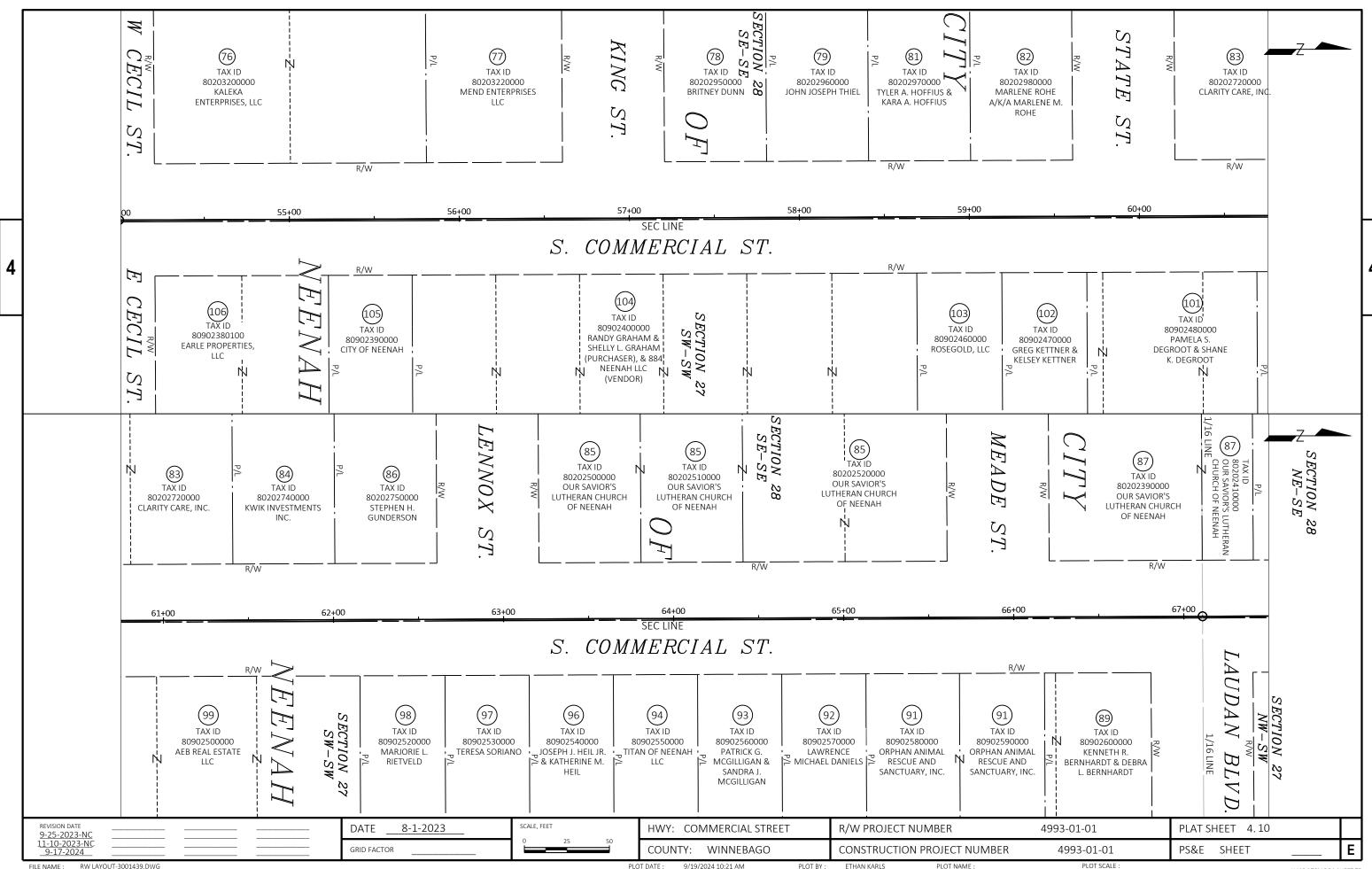


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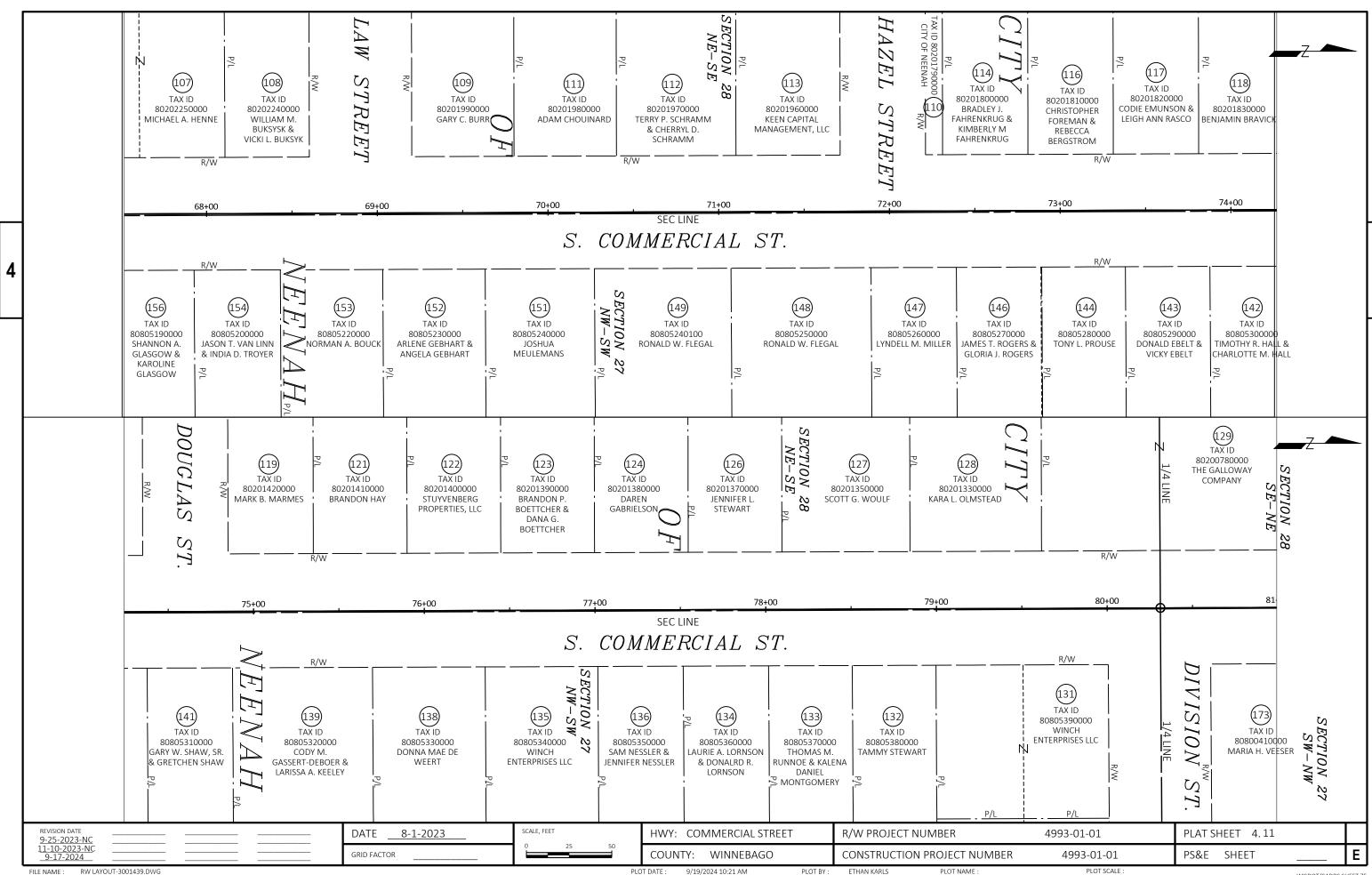
ETHAN KARLS

PLOT NAME :

PLOT SCALE



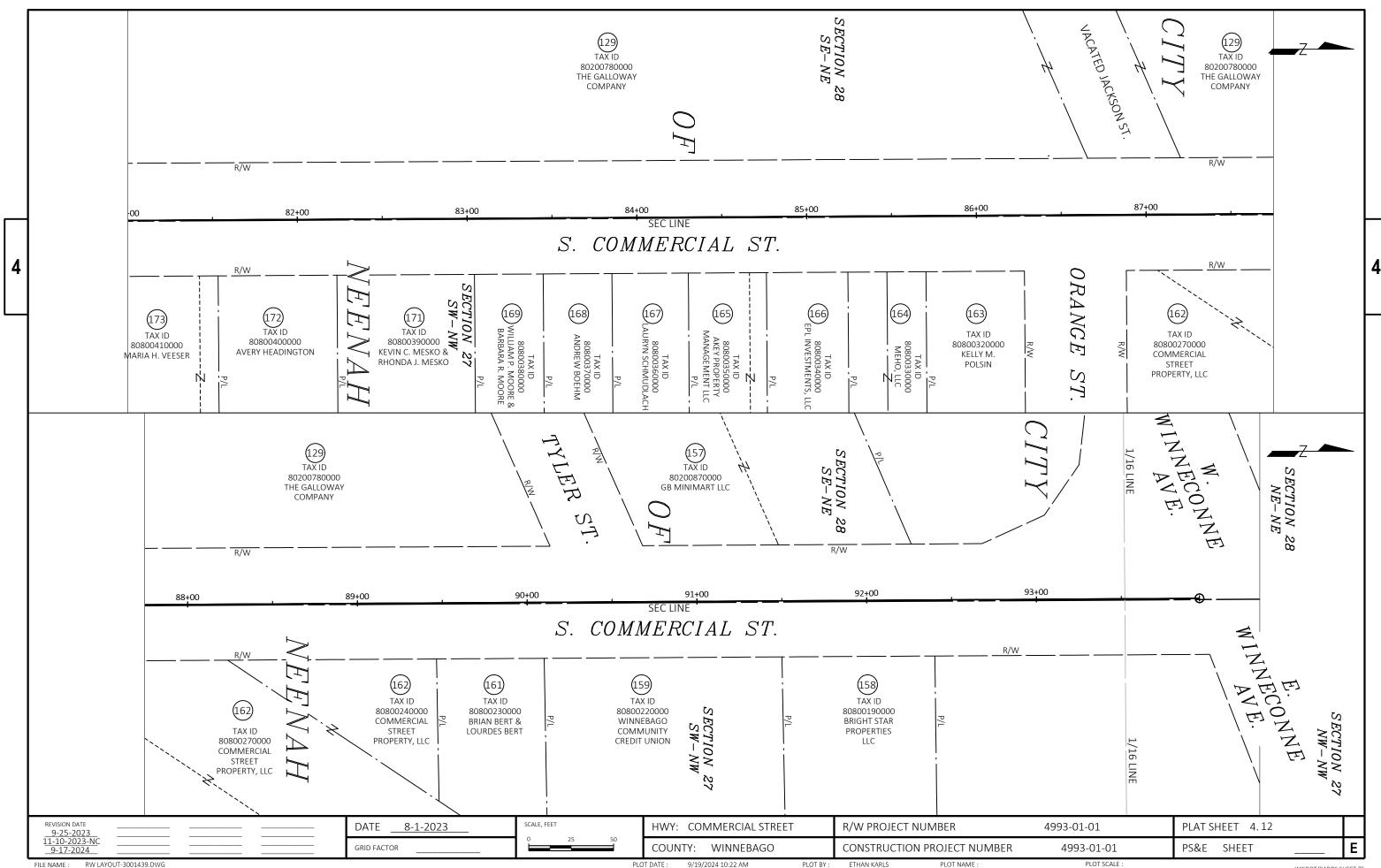
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PLOT DATE: 9/19/2024 10:21 AM

ETHAN KARLS

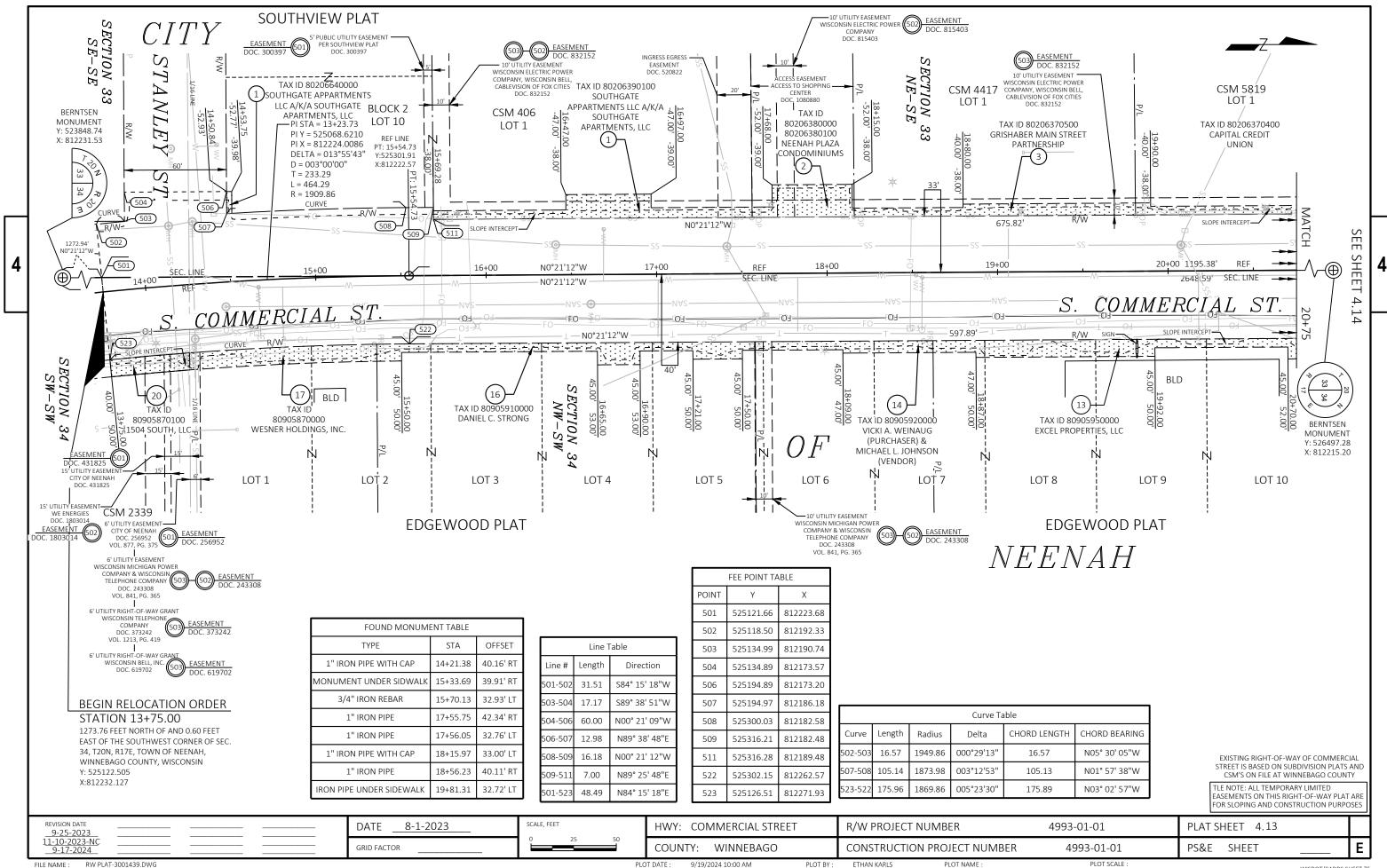
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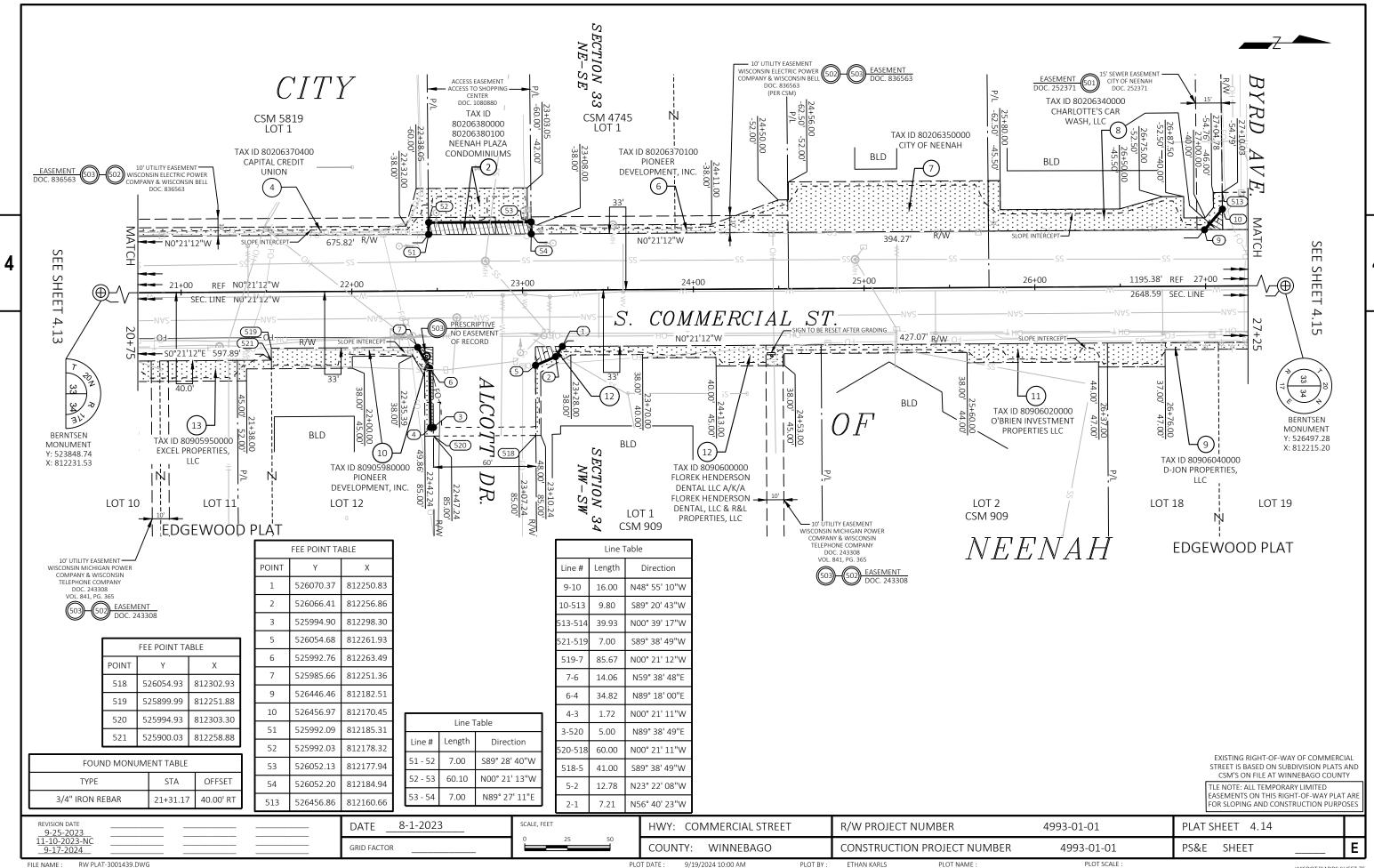
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ETHAN KARLS

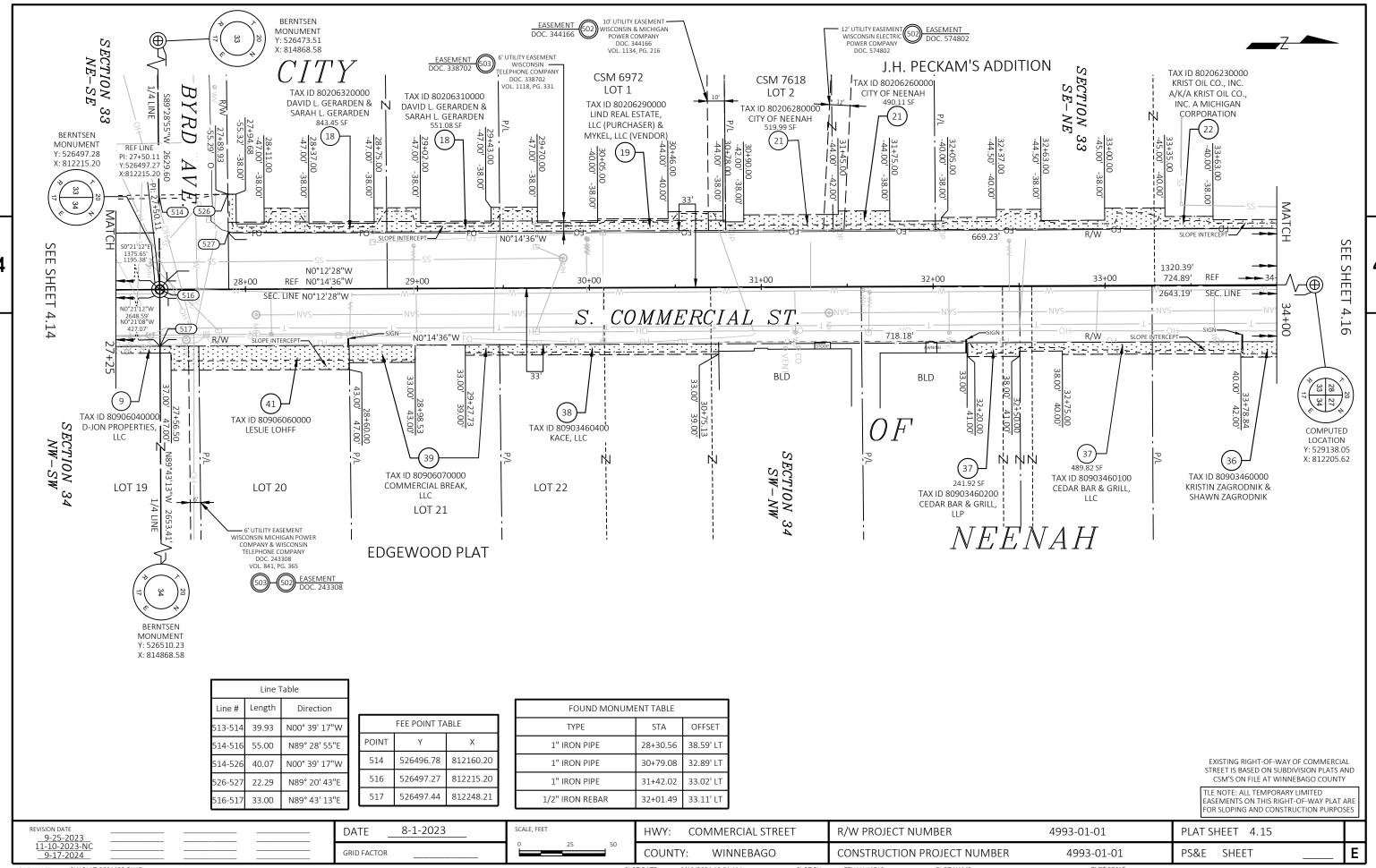
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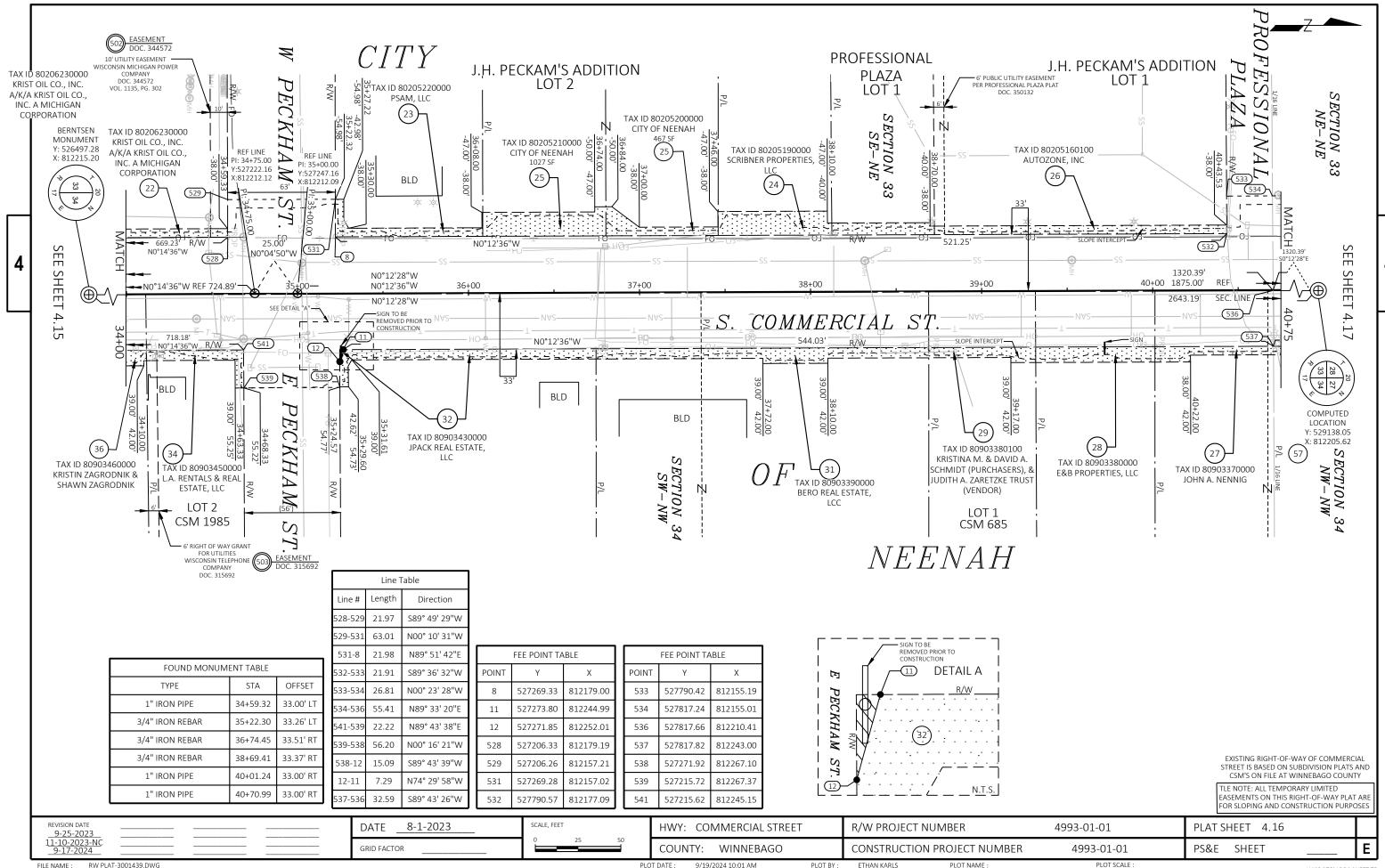


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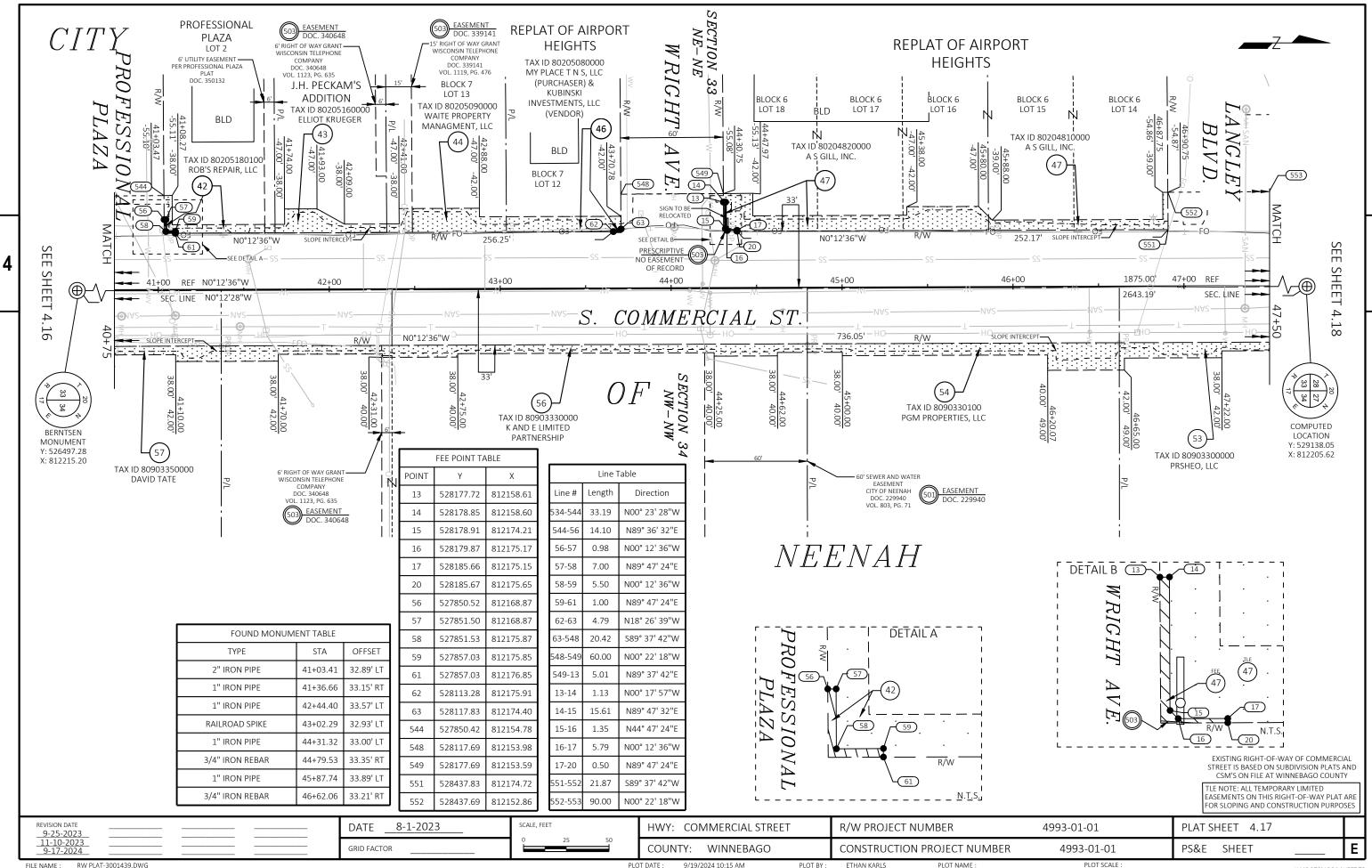


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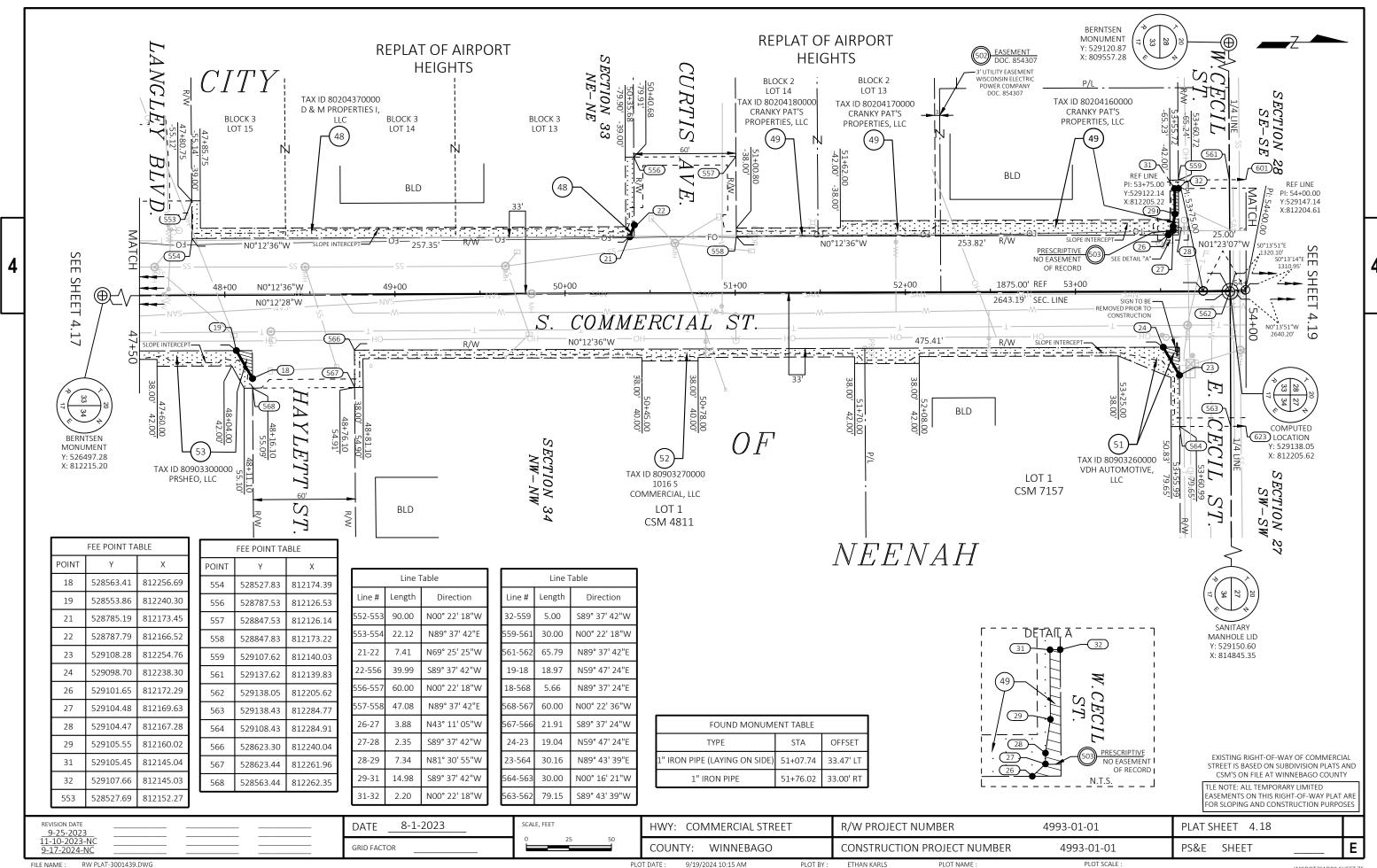
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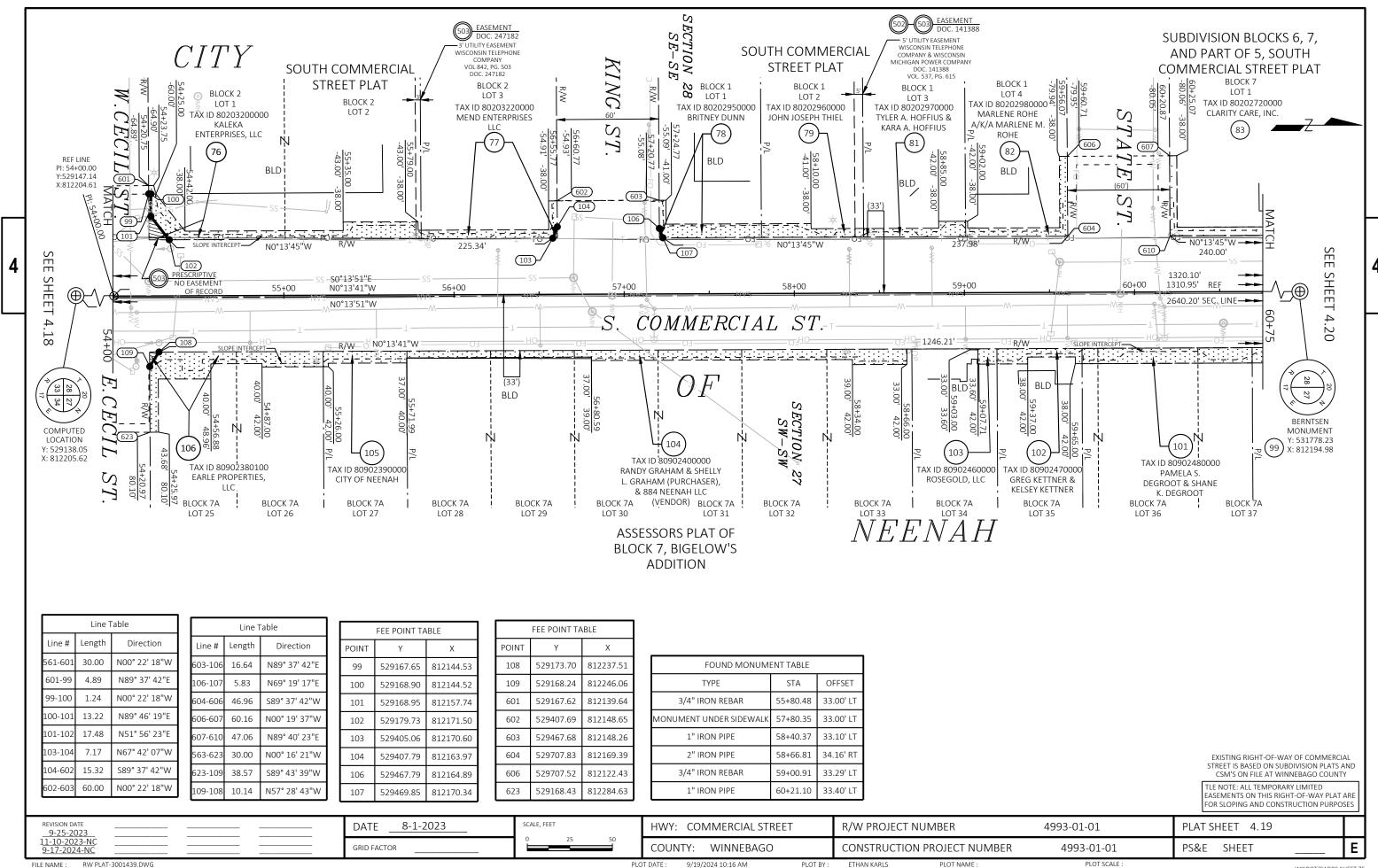
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PLOT SCALE WISDOT/CADDS SHEET 75

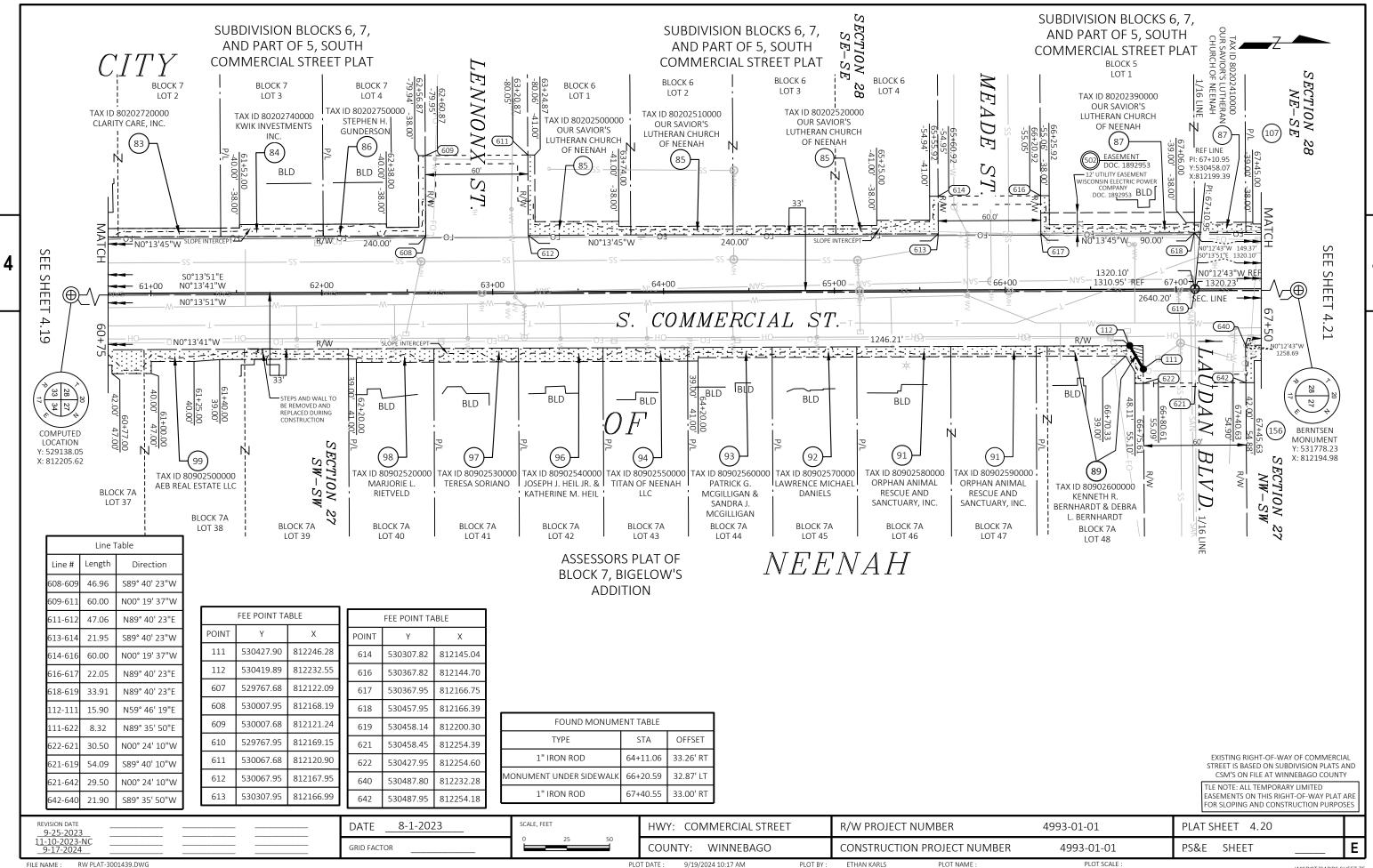


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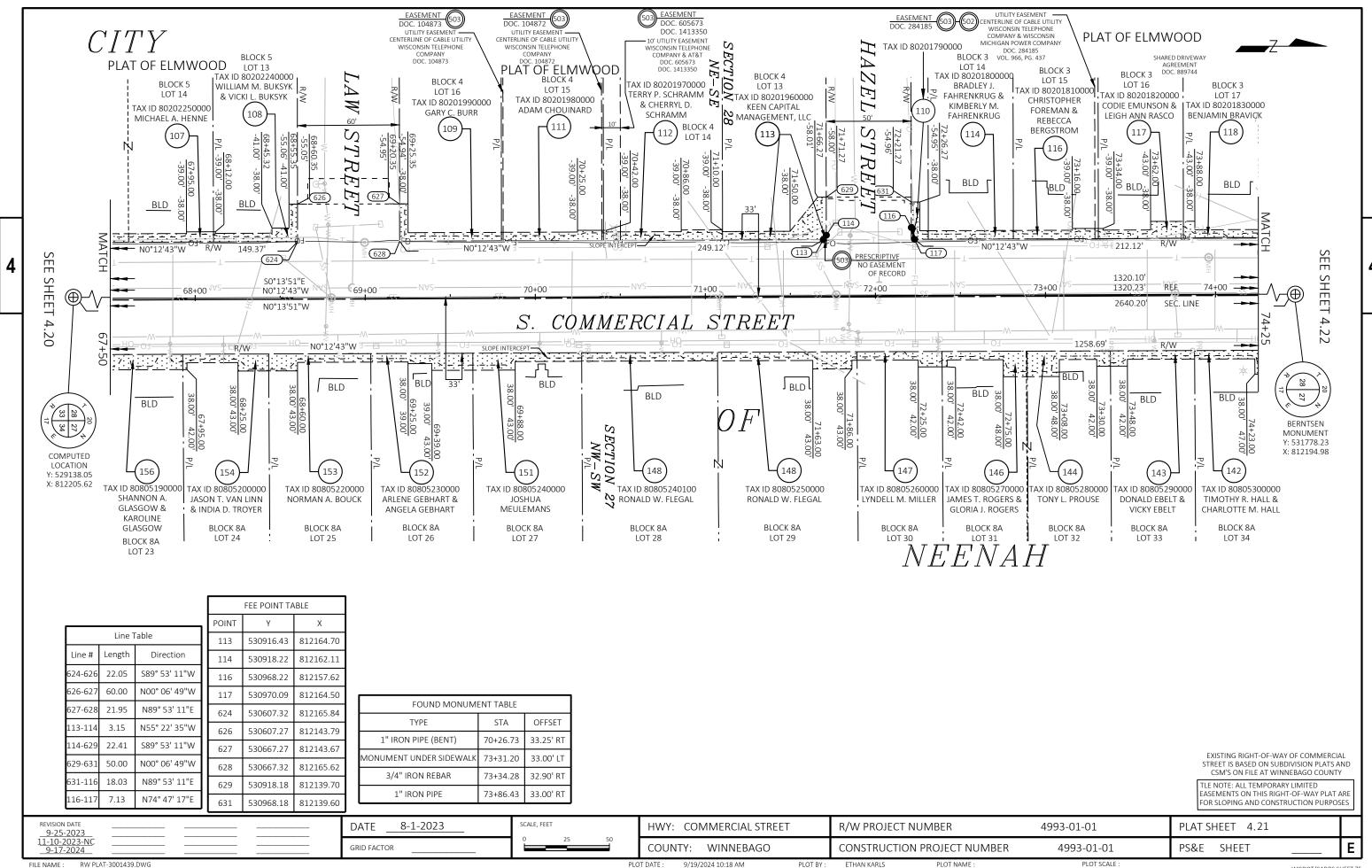


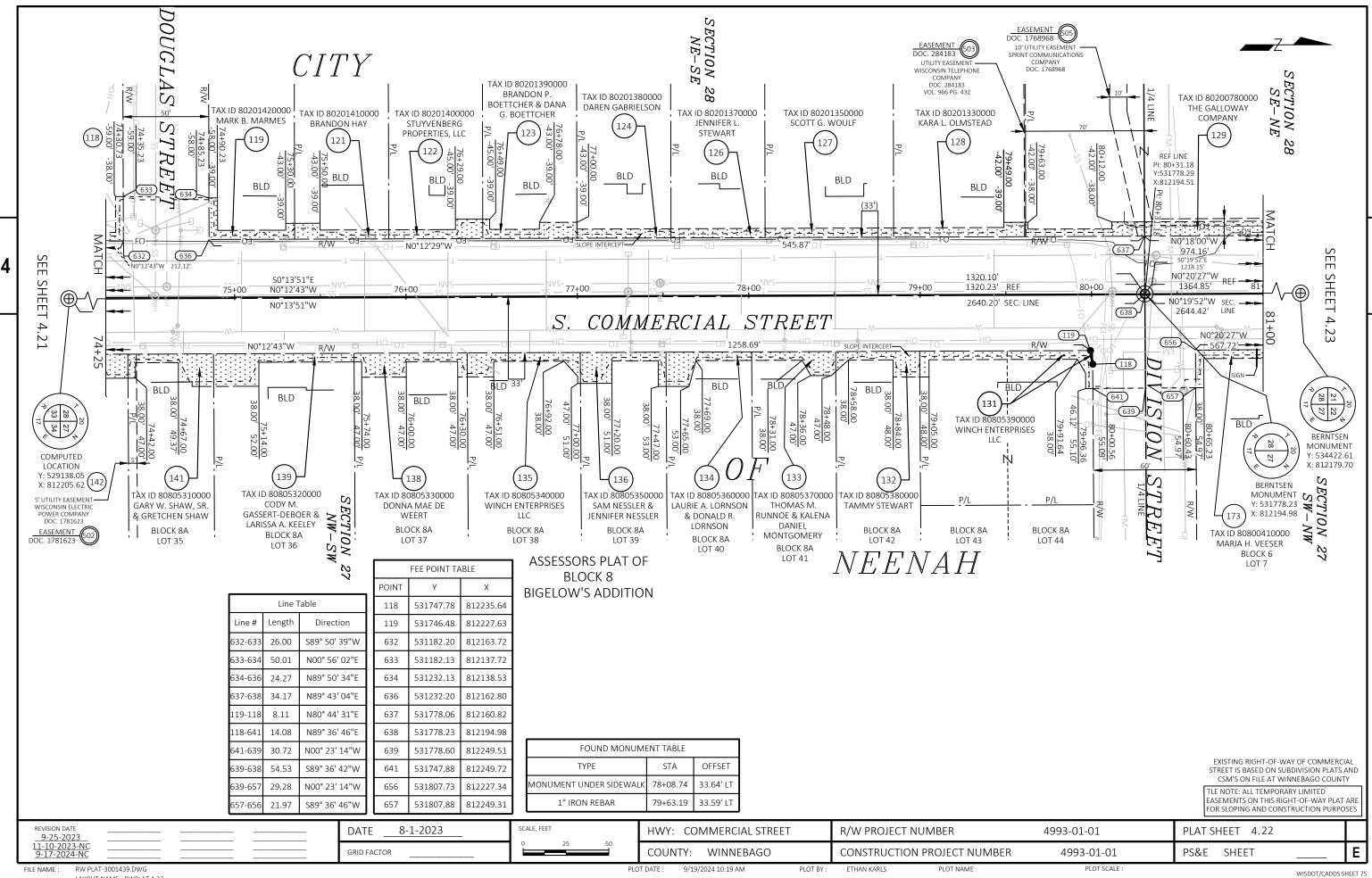
ETHAN KARLS

PLOT NAME

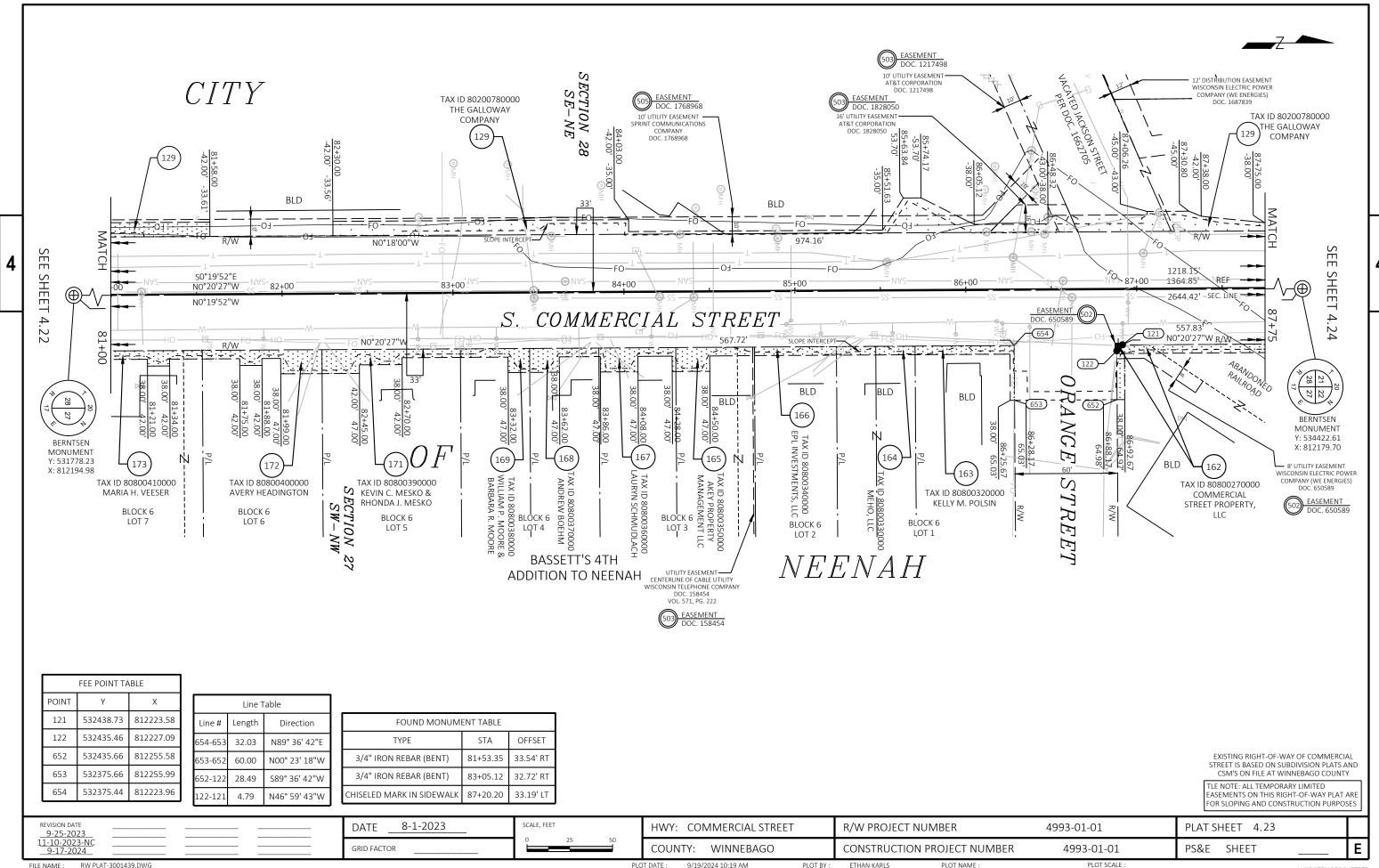


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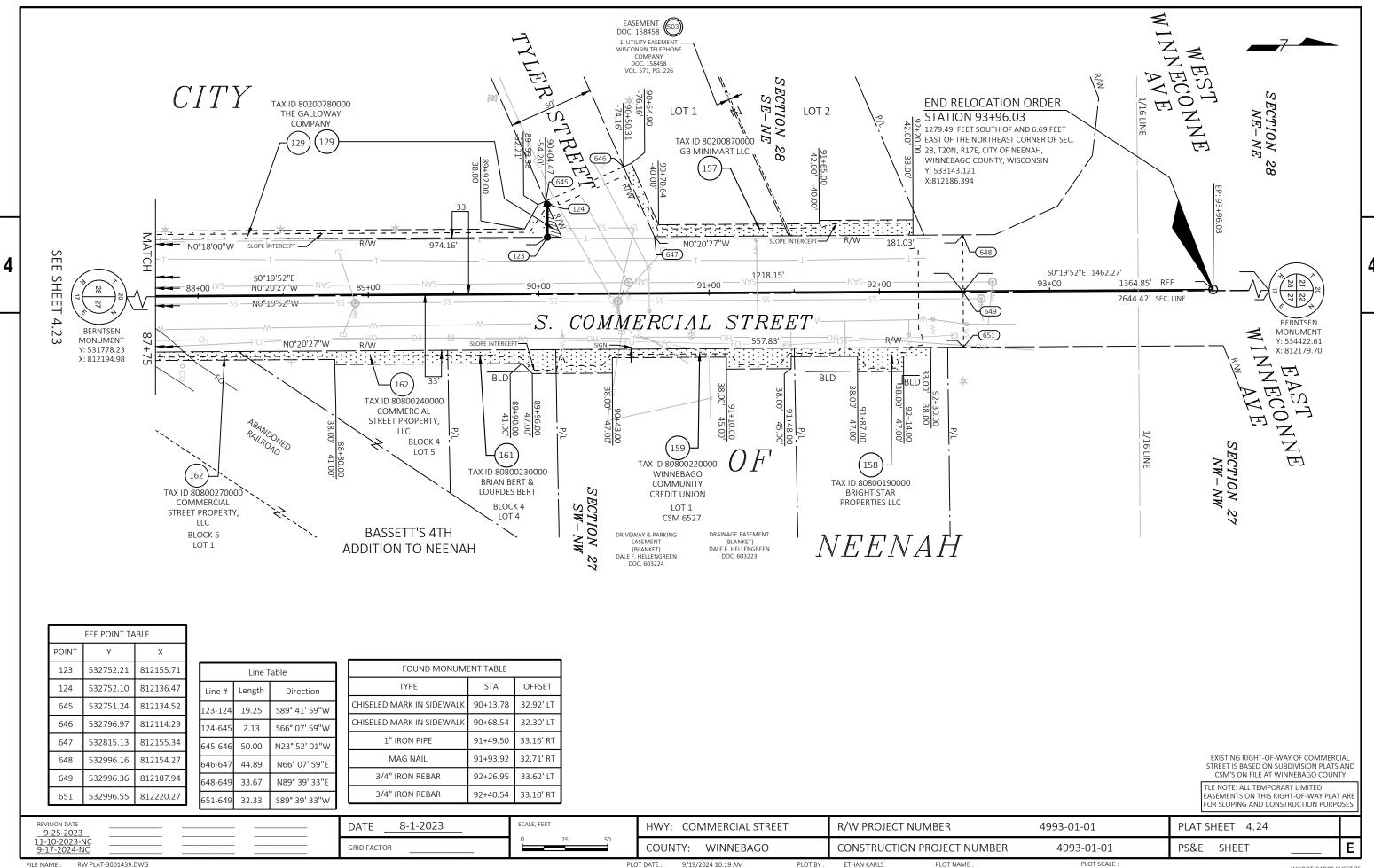


RW PLAT-3001439.DWG LAYOUT NAME - RWPLAT 4.22



PLOT NAME

PLOT SCALE



FILE NAME : RW PLAT-3001439.DWG

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