



NEENAH PLAN COMMISSION

Tuesday, October 8, 2024

4:00 P.M.

Hauser Room, City Administration Building

Virtual Meeting Option: This meeting is available virtually. To access the virtual meeting (Requires Microsoft Teams), please click on the link below:

[Join the meeting now](#)

Meeting ID: 232 895 442 872

Passcode: Vieh4o

1. Approval of Minutes: **September 24, 2024**
2. Public Appearances (Ten minutes divided among those wishing to speak on topics pertinent to the Plan Commission)
3. Public Hearings:
 - a. Special Use Permit - 903 S. Green Bay Road - Class "A" License
 - b. Rezoning - 154 Tyler Street - R2 District to I2 District
4. Action Items:
 - a. Special Use Permit - 903 S. Green Bay Road - Class "A" License
 - b. Rezoning - 154 Tyler Street - R2 District to I2 District (Ord. No. 2024-21)
 - c. Site Plan - 601 S. Commercial Street - Parking Lot Expansion
 - d. Relocation Order (Amendment) - S. Commercial Street (Res. No. 2024-19)
5. Housing Study and Needs Assessment
6. Announcements and future agenda items:
 - a. Next Meeting: October 29, 2024

In accordance with the requirements of Title II of the Americans with Disabilities Act (ADA), the City of Neenah will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. If you need assistance, or reasonable accommodation in participating in this meeting or event due to a disability as defined under the ADA, please call the Community Development Department Administrative Assistant at 920-886-6125 or the City's ADA Coordinator at (920) 886-6106 or e-mail attorney@NeenahWI.gov at least 48 hours prior to the scheduled meeting or event to request an accommodation.

MINUTES OF THE NEENAH PLAN COMMISSION
Tuesday, September 24, 2024
4:00 p.m.

Present:

Mayor Jane Lang, Chairperson	PRESENT	Sarah Moore-Nokes, Vice Chairperson	PRESENT	Gerry Kaiser, Director of Public Works	PRESENT
Kate Hancock-Cooke	PRESENT	Karen Genett	ABSENT	Betsy Ellenberger	ABSENT
Gerry Andrews	PRESENT	Alderman Dan Steiner	PRESENT		

Also Present:

Brad Schmidt, Deputy Director of Community Development	Lisa Mroczkowski, Public Works Office Manager	Alderman Lendrum
Alderman Pollnow	Tom Leighton, Stantec	

Minutes: MSC Andrew/Moore-Nokes, the Plan Commission, to approve the July 30, 2024, meeting minutes. All voting aye. Motion passed.

Public Appearances: Chairperson Mayor Lang opened public appearances to topics not related to the agenda.

No one in attendance spoke. Chairperson Mayor Lang closed public appearances.

Public Hearings:

a. Chapter 26 – Zoning Code – Amendment

Deputy Director Schmidt distributed an email from S. Dabill Taylor in regard to the proposed amendment to Chapter 26, Zoning Code pertaining to Tourist Housing.

Chairperson Mayor Lang closed public hearings.

Action Items:

a. Chapter 26 – Zoning Code – Amendment (*Ordinance No. 2024-20*)

Deputy Director Schmidt stated that staff is proposing a modification to the tourist housing ordinance, which was adopted in 2017. The background on this is that we've been receiving requests over the years for tourist housing, primarily in commercial districts, where there are mixed uses, commercial on the first floor and resident/apartment on the second floor. Typically, these have been denied because the property is not the owner's primary residence. This proposal would expand tourist housing, or short-term rentals in the city.

Deputy Schmidt stated that the intent of the ordinance in the first place was to protect neighborhoods, so we said that the tourist housing has to be your primary residence. You can't have third party property managers managing the property. Looking at the commercial side of things, tourist housing is really no different than a hotel, which is allowed in our downtown and other commercial districts. Staff is proposing two modifications, the first is adding "except those tourist housing properties located in commercial buildings" language to Sec. 26-661(3) and

ORDINANCE NO. 2024-20

suggests moving the last sentence talking about third party management companies being prohibited to the beginning of the section. Deputy Director Schmidt stated that not just any commercial building can be tourist housing. It still must have a dwelling unit per the definition of a dwelling unit standards. The second change regarding Section 26-661(8) removes the primary residence requirement from commercial property.

Member Andrews said commercial buildings could be apartments. Deputy Director Schmidt stated that apartments would fall under commercial buildings. I look at our downtown business properties, where you have the residents on the second floor, those are commercial properties, and that's where the requests have been coming from, primarily in the downtown where people have an apartment above a business.

Member Moore-Nokes asked what is generating the requests. Deputy Director Schmidt stated that owners are looking at other options for rentals because I think that downtown is a place where people want to be from a tourist standpoint.

Member Moore-Nokes referred to the email that was distributed and how it relates to the effect this change will have on housing shortage in the area. Deputy Director Schmidt stated that it is certainly a concern. I don't know if it's as impactful as that letter is suggesting. He said that we don't have a lot of apartments downtown. I don't think every owner that has an apartment downtown is going to rent it all for short term rentals.

Member Andrews asked how tourist housing is defined. Deputy Director Schmidt stated it is any rental less than 30 days.

Member Moore-Nokes asked if there is a limit to the number of days that a dwelling can be rented. Deputy Director Schmidt stated that it is no more than 180 days per year.

MSC Steiner/Moore-Nokes, the Plan Commission, to recommend Common Council approve Ordinance No. 2024-20, amending Section 26-661(3) and Section 26-661(8) of the Code of Ordinances relating to Tourist Housing. All voting aye. Motion passed.

b. Annexation #235-Breezewod Lane – Town of Neenah (Ordinance No.2024-19)

Deputy Director Schmidt stated that there Gerald & Barbara Porsche have submitted a petition for direct annexation to the City of Neenah for property located along the southside of Breezewod Lane in the Town of Neenah. The annexation is approximately 0.27 acres which is currently vacant land. The petitioners want to annex the land and reconfigure it with land they own along Baytree Lane. The property will be zoned R-1 , Single Family Residence District once annexed.

MSC Moore-Nokes/Steiner, the Plan Commission, to recommend Common Council approve Annexation #235 (Ordinance 2024-19), and the property also receive an R-1, Single-Family Residence District zoning classification. All voting aye. Motion passed.

Ordinance
No.2024-19

REPORT

c. CSM #7-24 – Baytree Lane – 3 Lots

Deputy Director Schmidt stated that a certified survey map was submitted which proposed to reconfigure two lots on Baytree Lane and two on Breezewood Lane. There is a narrow strip of land between the three lots (two on Baytree Lane and one on Breezewood Lane) which is located in the Town of Neenah. This strip of land is owned by Gerald and Barbara Porche who reside at 1407 Baytree Lane. The CSM proposed to add a portion of the that strip of land to their property and to the property south of them at 1411 Baytree lane. Deputy Director Schmidt stated that additionally the southern portion of 1480 Breezewood lane is proposed to be added to 1411 Baytree Lane.

MSC Kaiser/Andrews, the Plan Commission, to approve the 3 lot CSM for the property located along Breezewood lane and Baytree Lane conditioned on the approval of Annexation #235.

d. Preliminary Plat #3-24 – 4th Additional to Homes at Freedom Meadows – 47 Lots

CONSENT AGENDA

Deputy Director Schmidt stated that this is the final phase of the Homes at Freedom Meadows. It is located within the Freedom Acres and Freedom Meadows subdivisions on that north corner. It is a little over 15 acres and will have 47 single family lots. The average lot dimensions are 72 feet wide and just under 12,000 square feet in area, which is consistent with pretty much everything else in the Homes at Freedom Meadows. There are two roads that are proposed, Sovereign Way and Freeman Drive. Deputy Director Schmidt stated that staff is dealing with the DNR, because there are wetlands impacted here. It is possible that Sovereign Way, might curve just a little bit, depending on DNR is action on that wetland permit.

MSC Andrews/Steiner, the Plan Commission recommend Common Council approve the Preliminary Plat for the 4th Addition of the Homes at Freedom Meadows subdivision subject to the conditions on the preliminary plat review letter.

5. Housing Study and Needs Assessment – Consultant Introduction

Deputy Director Schmidt stated that Stantec is the consultant that's working on our housing study. to the Plan Commission will be serving as the steering committee for the housing study as we continue to develop it. There will be future meetings where Tom's and his colleagues will be bringing back information, data analysis, survey questions and other information that the steering committee will need to address and provide feedback on.

Mr. Leighton provided information to the Plan Commission on the staff that will be working on the housing study, project timeline, strategies, and how they offer a unique look at developing individual housing studies for communities.

Announcements and Future Agenda Items: Next meeting is scheduled for October 8, 2024

Plan Commission Minutes

September 24, 2024

Page 4

Adjournment: The Commission adjourned its meeting at 4:48 p.m. MSC Steiner/Kaiser. All voting Aye. Motion passed.

Respectfully Submitted,

A handwritten signature in cursive script that reads "Lisa Mroczkowski".

Lisa Mroczkowski
Public Works Office Manager

Brad R. Schmidt

From: Dabill Taylor <sdabilltaylor3@gmail.com>
Sent: Tuesday, September 24, 2024 9:54 AM
To: Cari C. Lendrum; Mark A. Ellis; Kathie A. Boyette; Brad R. Schmidt; mlang@neenahwi.gov
Subject: Plan Commission Public Hearing - Tourist Housing

I am writing to express an opinion regarding the change to the Tourist Housing Ordinance (Section 26-661(3) and Section 26-661(8)) to allow Commercial properties (mixed use dwelling units) to be used as Tourist housing in lieu of traditional long-term rental property.

The investor demand for Tourist Housing has excelled in recent years (COVID), and with it - the large profit margin investors/owners make renting units as short-term rentals versus long-term. Typically, a short-term rental can generate more income in a weekend than a traditional rental can generate in a month. Therefore, if the City is concerned about the lack of 'affordable housing' (or just long-term housing) - expanding the scope of Tourist Housing is not the answer. The increased requests by investors/owners for allowing short-term rentals is strictly based on profit - not what is best for the community. This amendment also does not address increased on-street parking needs in the downtown area or maximum persons per unit.

S. Dabill Taylor

[EXTERNAL EMAIL] DO NOT CLICK links or attachments unless you recognize the sender and know the content is safe.



DATE: October 8, 2024
TO: Mayor Lang and Members of Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: Special Use Permit – 903 S. Green Bay Road – Class “A” License

Request

Kwik Trip, Inc. has submitted a request obtain a Class “A” license to sell fermented malt beverage at their convenience store located at 903 S. Green Bay Road.

Consideration

Convenience stores which sell gasoline are required to obtain a Class “A” license and a special use permit to sell fermented malt beverages. Chapter 4 of the Municipal Code includes further limitations related to Class “A” licenses for properties which sell gasoline:

1. Alcohol may only be displayed and sold from a lockable area such as a cooler, cage, or similar facility. No open floor display or sale from which will be permitted.
2. Total floor area allocated to alcohol sales shall be limited to no more than 10% of the total sales floor area of the store or 750 square feet, whichever is less.
3. The area from which alcohol is displayed and sold must be locked and inaccessible to the public between the hours of 9:00 PM and 8:00 AM, pursuant to Wis. State. §125.32(3)(d).
4. There shall be no sale of single serve fermented malt beverages in bottles or cans of fewer than 60 ounces per container.
5. Fermented malt beverages may only be sold or given away in four-pack or greater collective quantities of 12 or more ounce bottles or cans.
6. Advertisement for alcohol products may not be displayed in any exterior location of the business (including upon, at or near gasoline or other fuel pump islands).
7. Sales of fermented malt beverages in kegs, of any size, are not permitted.
8. Given the “quick stop” and high-volume nature of retail customer businesses at convenience stores, tasting events (i.e. the sale or provision of taste samples of fermented malt beverages) are not permitted on any premises licensed hereunder.
9. A cashier selling alcoholic beverages must be at least 18 years of age, and at least on on-duty employee must possess a legal operator’s license while alcohol is being sold, being also within sight of all alcohol sales transactions.
10. Any license issued hereunder shall be immediately forfeited and surrendered should the convenience store cease to sell and dispense gasoline or other motor fuels.

Kwik Trip is located on a 2.4-acre parcel and includes a 6,650 square-foot building and gasoline pump islands. The total sales floor area is about 3,700 square feet. The proposal is to include an alcohol sales area of 25 square feet in lockable refrigerators with doors accessible to the guests. This area represents less than 1% of the total sales floor area of the building.

The proposed floor plan and sales area for the alcohol sales represents an area less than 10% of the total sales floor area and less than the maximum 750 square feet per the Municipal Code. Any future changes to the proposed alcohol sales floor area may require a modification to this special use permit and the Class "A" fermented malt beverages license. Failure to meet the requirements of the Class "A" license may constitute a forfeiture of the special use permit.

Recommendation

Plan Commission finds that the proposed floor plan meets the requirements listed under Section 4.95(f) of the Municipal Code for a Class "A" license and recommends Common Council approve a Special Use Permit for the issuance of a Class "A" license for property located at 903 S. Green Bay Road subject to the conditions of the Special Use Approval Letter.



City of Neenah Community Development
211 Walnut Street
Neenah WI 54956
Ph 920.886.6130

October 03, 2024

MARANDA OLIVER
KWIK TRIP, INC.
1626 OAK ST
LA CROSSE, WI 54603

RE: Special Use Permit #1-24 - 905 S. Green Bay Road - Class "A" License Special Use Review () Status Approved

Dear MARANDA OLIVER:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

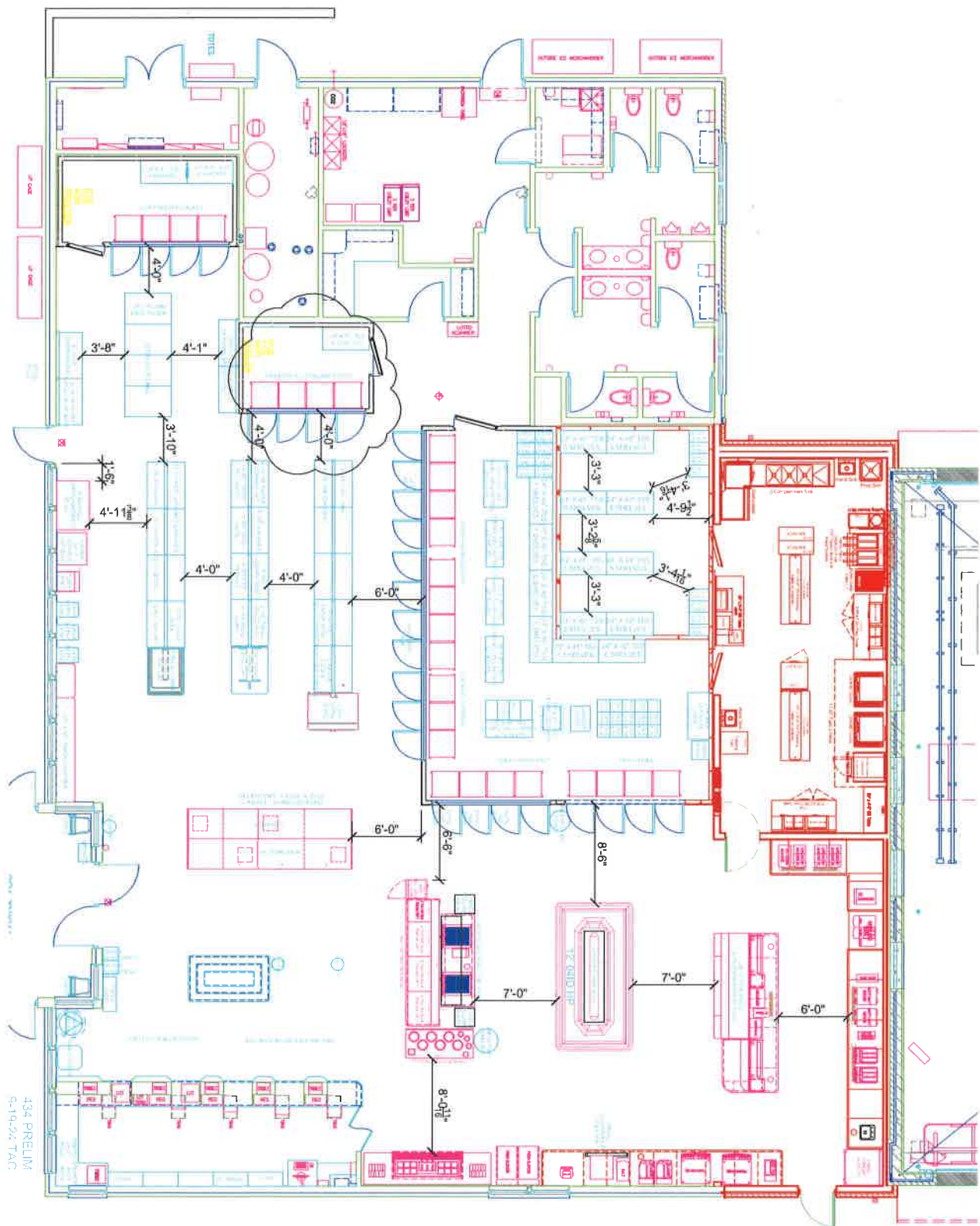
Brad Schmidt
Deputy Director of Community Development and Assessment
bschmidt@neenahwi.gov
920-886-6126

Planning - Brad Schmidt -
bschmidt@neenahwi.gov

Approved

Review Comments:

1. Alcohol may only be displayed and sold from a lockable area such as a cooler, cage, or similar facility. No open floor display or sale from which will be permitted.
 2. Total floor area allocated to alcohol sales shall be limited to no more than 10% of the total sales floor area of the store or 750 square feet, whichever is less.
 3. The area from which alcohol is displayed and sold must be locked and inaccessible to the public between the hours of 9:00 PM and 8:00 AM, pursuant to Wis. State. §125.32(3)(d).
 4. There shall be no sale of single serve fermented malt beverages in bottles or cans of fewer than 60 ounces per container.
 5. Fermented malt beverages may only be sold or given away in four-pack or greater collective quantities of 12 or more ounce bottles or cans.
 6. Advertisement for alcohol products may not be displayed in any exterior location of the business (including upon, at or near gasoline or other fuel pump islands).
 7. Sales of fermented malt beverages in kegs, of any size, are not permitted.
 8. Given the "quick stop" and high-volume nature of retail customer businesses at convenience stores, tasting events (i.e. the sale or provision of taste samples of fermented malt beverages) are not permitted on any premises licensed hereunder.
 9. A cashier selling alcoholic beverages must be at least 18 years of age, and at least one on-duty employee must possess a legal operator's license while alcohol is being sold, being also within sight of all alcohol sales transactions.
 10. Any license issued hereunder shall be immediately forfeited and surrendered should the convenience store cease to sell and dispense gasoline or other motor fuels.
 11. Modifications to the alcohol sales area require an amendment to the special use permit.
 12. Failure to adhere to these requirements may constitute a forfeiture of the special use permit.
-



434 PRELIM
5-19-24 TAC

DATE	
BY	
SCALE	
PROJECT	
NO.	
434	

PRODUCT LAYOUT
CONVENIENCE STORE #434
CATEGORY MANAGEMENT
 903 S. GREEN BAY ROAD
 NEENAH, WI

KWIK TRIP, INC.
 1000 WEST WISCONSIN
 LAKEVIEW AT 441510
 WISCONSIN 53141
 TEL: 262.781.1800
 FAX: 262.781.1800

STORES

Kwik TRIP

STORES

Kwik TRIP



M E M O R A N D U M

DATE: October 8, 2024
TO: Mayor Lang and Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: Rezoning #2-24 – 154 Tyler St (**Ord. No 2024-21**)

Request

Galloway Company (601 S. Commercial Street) has submitted a request to rezone 154 Tyler Street from the R-2, Two-Family Residence District to the I-2, General Industrial District.

Background

Galloway Company is proposing an expansion of their semi-trailer parking to a location on the northwest corner of their property. One of the properties Galloway Company owns, 154 Tyler Street, is zoned R-2, Two-Family Residence District. Rezoning this property to the I-2, General Industrial District is required to allow the proposed parking. In addition, Galloway Company is proposing to consolidate the subject property and other surrounding properties into their main parcel located at 601 S. Commercial Street. The Zoning Code prohibits a parcel from being located in multiple zoning districts.

As with all rezoning requests, the proposed zoning classification must be consistent with the City's Comprehensive Plan 2040 and future land use designation. In this case, the future land use map identifies this area as the Neenah Industrial Corridor. The Industrial Corridor category is intended to promote business and industrial expansion. The I-2 zoning district is consistent with the Comprehensive Plan's future land use map.

Recommendation

An appropriate action at this time is for the Plan Commission to recommend Common Council approve Ordinance No. 2024-21 rezoning 154 Tyler Street to the I-2, General Industrial District.



211 Walnut Street
Neenah, WI 54956

AN ORDINANCE: By the Neenah Plan Commission
Re: Rezoning land located at 154 Tyler Street from
the R-2, Two-Family Residence District to the I-
2 General Industrial District.

ORDINANCE NO. 2024-21
Introduced: _____
Committee/Commission Action: _____

AN ORDINANCE

The Common Council of the City of Neenah, Wisconsin, do ordain as follows:

Section 1. Section 26-123 of the Neenah Municipal Code pertaining to zoning districts, and the map therein described, is hereby amended by rezoning approximately 0.16 Acres of land located at 154 Tyler Street from the R-2, Two-Family Residence District to the I-2, General Industrial District. The property is more particularly described as follows:

Parcel I:
Lot Eleven (11) in Block Five (5), in SHERRY’S SECOND ADDITION TO SHERRYTOWN, in the Second Ward, City of Neenah, Winnebago County, Wisconsin, excepting therefrom the following two (2) parcels:

- 1) Beginning at a point on the West line of Lot 11 that is 46.58 feet North of the Southwest corner of said Lot 11; thence North 80°12’ East 8 feet; thence Northwesterly 48.98 feet to a point on the West line of said Lot 11 that is 51.68 feet North of the place of beginning; thence South along the West line of said Lot 11 51.68 feet to the place of beginning.
- 2) Beginning at the Southwest corner of said Lot 11; thence North along the West line of Lot 11, 46.58 feet; thence Northeasterly to a point on the East line of Lot 11 that is 28 feet North of the Southeast corner of Lot 11; thence South along the East line of Lot 11, 28 feet to the Southeast corner of said Lot 11; thence Southwesterly along the South line of Lot 11 to the Southwest corner of said Lot 11, the place of beginning.

Parcel II:

- 1) All that part of Lot Twelve (12), Block Five (5), in SHERRY’S SECOND ADDITION TO SHERRYTOWN, Second Ward, City of Neenah, Winnebago County, Wisconsin, described as follows: Beginning at the Northeast corner of said Lot 12; thence South along the East line of said Lot 12, 47.62 feet; thence Northwesterly 46.84 feet to a point on the North line of said Lot 12 that is 8 feet Southwesterly from the place of beginning;

thence Northeasterly along the North line of said Lot 12, 8 feet to the place of beginning and including one-half the Tyler Street right-of-way.

Parcel ID: 802-0051-00-00

Section 2. Severability. In the event any section, subsection, clause, phrase or portion of this ordinance is for any reason held illegal, invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of this ordinance. It is the legislative intent of the Common Council that this ordinance would have been adopted if such illegal provision had not been included or any illegal application had not been made.

Section 3. Repeal and Effective Date. All ordinances or parts of ordinances and resolutions in conflict herewith are hereby repealed. This ordinance shall take effect from and after its passage and publication.

Adopted: _____

Published: _____

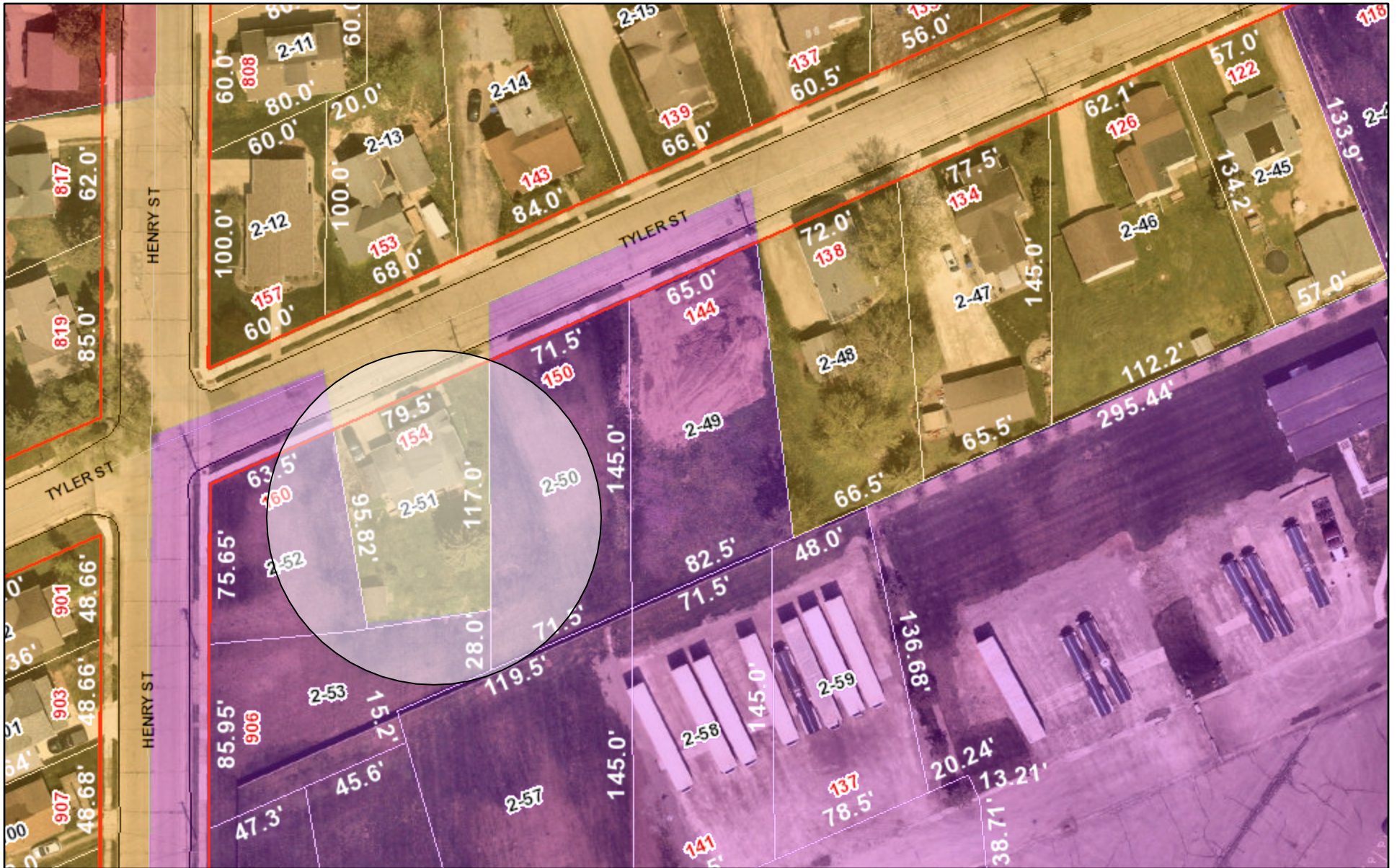
Approved:

Jane B. Lang, Mayor

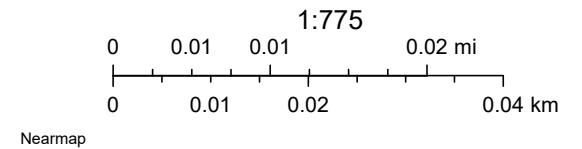
Attest:

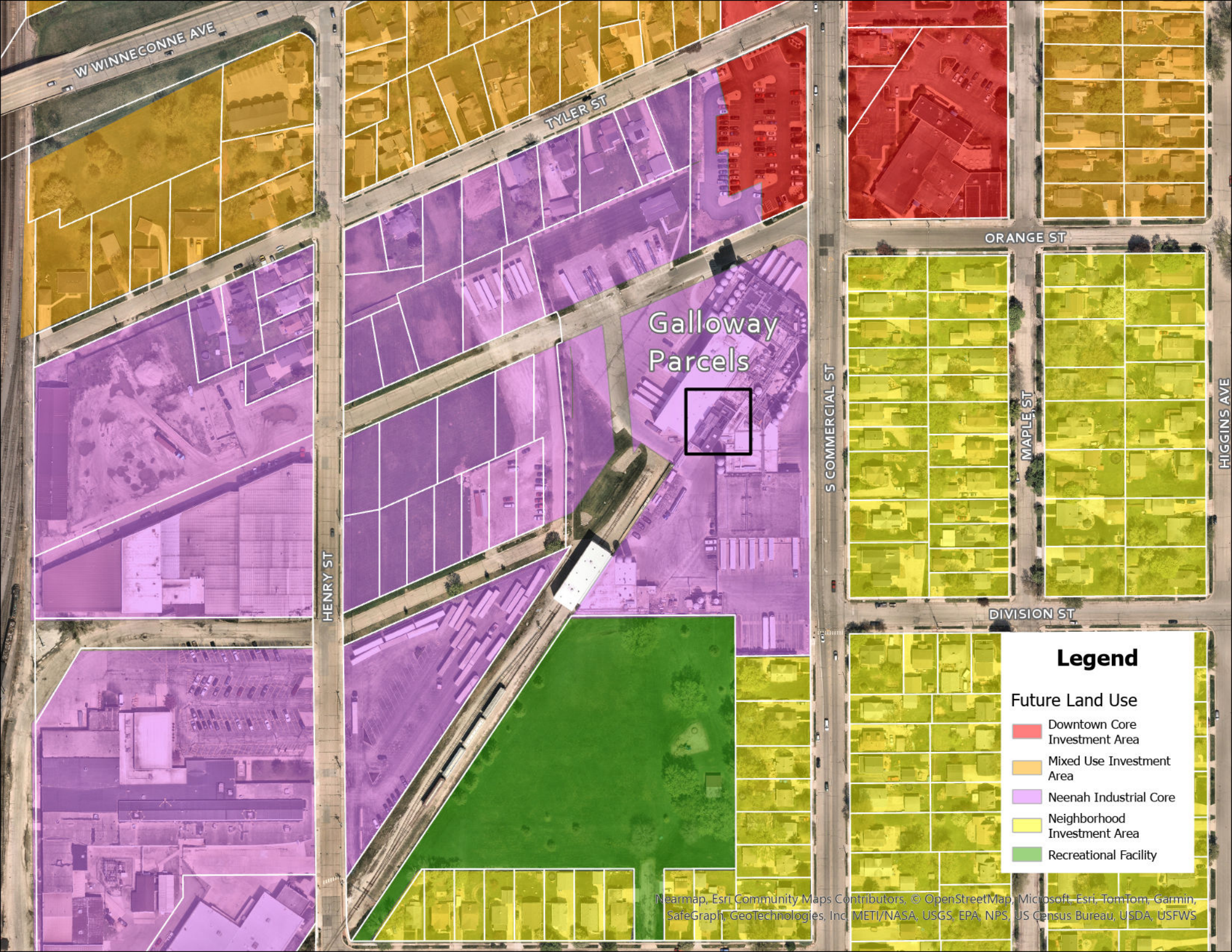
Charlotte Nagel, City Clerk

154 Tyler St Rezoning



9/25/2024, 9:15:55 AM





W WINNECONNE AVE

TYLER ST

ORANGE ST

Galloway
Parcels



S COMMERCIAL ST

MAPLE ST

HIGGINS AVE

HENRY ST

DIVISION ST

Legend

Future Land Use

-  Downtown Core Investment Area
-  Mixed Use Investment Area
-  Neenah Industrial Core
-  Neighborhood Investment Area
-  Recreational Facility



DATE: October 8, 2024
TO: Mayor Lang and Members of Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: Site Plan Review – 601 S Commercial Street – Parking Lot

Request

Galloway Company has submitted a site plan to modify and construct new semi-trailer parking and interior drives for property located at 601 S. Commercial Street.

Consideration

In 2023, the Plan Commission approved a site plan for the construction of a new building addition and parking/drives on the Galloway property. A new site plan was submitted modifying the semi-trailer parking and interior drives on the site. In addition to the site plan submittal, Galloway has also submitted a request to rezone a parcel they own along Tyler Street and a CSM to modify an approved CSM to consolidate Galloway-owned property into one parcel.

The site plan proposes to construct a right-in driveway off Henry Street, two new semi-trailer parking areas, and internal driveways to improve semi-truck circulation within the site. A 36 stall semi-trailer parking area is proposed along the northwest portion of the property. An additional semi-trailer parking area is located along the southwest portion of the property and includes 7 stalls.

Access to the site along Henry Street includes a right-in driveway. As semi-trucks enter the site they will maneuver south and east to drop off product. Semi-trucks will then exit on S. Commercial Street, as they do currently. The proposed improvement are intended to improve truck circulation within the site and prepare for a future receiving building that is proposed along the west portion of the site.

Development Standards

The I-2 District development standards are listed below. The proposed dimension or size is listed in parentheses next to the standard.

Parking Setbacks:

- Front Yard – 10 feet (**20 feet – Henry Street**)
- Front Yard – 25 feet (**25 feet – Tyler Street**)
- Side Yard – 10 feet (**10 feet – south property line**)

Landscaping

The Zoning Code requires frontage landscaping as part of the proposed semi-trailer parking area along Tyler Street. There is a total of 280 feet of frontage along Tyler which requires a minimum of seven shade trees and 42 shrubs (1 shade tree and 6 shrubs for each 40 linear feet of frontage). The proposed landscape plan meets the minimum landscape standards. In addition, the plan includes a 6-foot-tall sight-tight fence adjacent to the semi-trailer parking area along Tyler Street, providing additional buffering from the residential properties on the north side of Tyler Street.

Storm Water Management

A storm water pond is proposed on the northwest portion of the site. Storm water runoff from the proposed semi-trailer parking lot and other impervious areas will drain to the pond. The City is also proposing a regional storm water pond in Douglas Park (south of the Galloway property). A portion of the Galloway site will drain to this storm water pond.

Outdoor Lighting

A lighting plan proposes the installation of eight light poles with full cut-off LED light fixtures along the proposed drives and parking lots. Lighting levels adjacent to residential properties are 0.0 foot-candles, while the lighting levels along all other property lines are below the maximum 0.5 foot-candle requirement. The light fixtures are poles are affixed to poles which are a total of 28 feet in height.

Recommendation

An appropriate action at this time is for Plan Commission to approve the site plan to construct semi-trailer parking on property located at 601 S Commercial Street subject to the conditions of the Site Plan Review Letter.



City of Neenah Community Development
211 Walnut Street
Neenah WI 54956
Ph 920.886.6130

October 03, 2024

TROY BEYER
GALLOWAY COMPANY
601 S COMMERCIAL STREET
NEENAH, WI 54956

RE: Site Plan #12-24 - 601 S Commercial Street - Parking Lot Site Plan - Minor Review () Status Approved

Dear TROY BEYER:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment
bschmidt@neenahwi.gov
920-886-6126

Plan Review Comments

**Planning - Brad Schmidt -
bschmidt@neenahwi.gov**

Approved

Review Comments:

1. Prior to construction, a parking lot permit is required through the Inspections division: <https://evolvepublic.neenahwi.gov/>
2. A storm water maintenance agreement shall be signed and recorded. Please contact HKummerow@neenahwi.gov.
3. Work within the public right-of-way along Henry Street will require a right-of-way permit. Please contact the Department of Public Works (920-886-6240)
4. The site plan is conditionally approved and is dependent on the approval of the rezoning request for 154 Tyler Street and the approval and recording on the proposed CSM.
5. Modifications to this site plan will require additional site plan review. Please contact BSchmidt@neenahwi.gov if any changes are made to the site plan.
6. A storm sewer easement along the south side of the property shall be written and recorded. Please contact HKummerow@neenahwi.gov

**Community Development - Chris Haese -
chaese@neenahwi.gov**

Approved

Review Comments:

**Inspections - Building Commercial - Kyle Pederson - 920-886-6131
kpederson@neenahwi.gov**

Approved

Review Comments:

**Water Utility - Anthony Mach - 920-886-6180
amach@neenahwi.gov**

Approved

Review Comments:

**Engineering - Heath Kummerow - 920-886-6245
hkummerow@neenahwi.gov**

Review Comments:

SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS



PROJECT INFORMATION

PROPOSED EVAPORATOR ADDITION:
GALLOWAY COMPANY
601 S. COMMERCIAL ST. • NEENAH, WI 54956

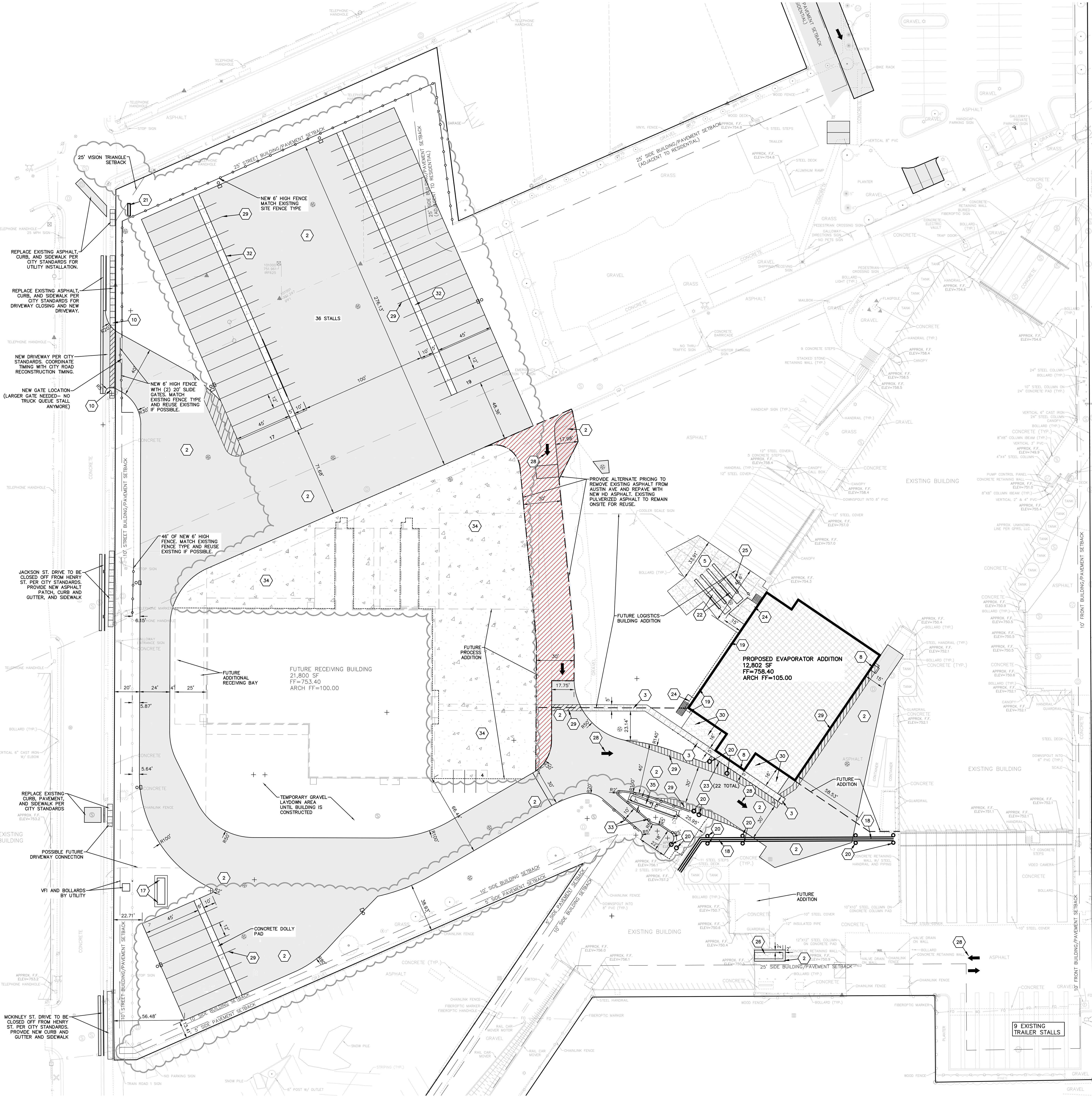
SITE PLAN KEYNOTES

2	HEAVY DUTY ASPHALT SECTION (TYP.)
3	CONCRETE SIDEWALK (TYP.)
5	LOADING DOCK/TRASH COMPACTOR CONCRETE (TYP.)
8	CONCRETE STOOP (TYP.) SEE STRUCT. PLANS FOR DETAILS.
9	HEATED CONCRETE APRONS. SEE ARCH. PLANS FOR DETAILS.
10	CURB RAMP PER CITY STANDARDS. SEE DETAIL.
17	CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
18	PIPE/UTILITY BRIDGE. SEE ARCH/STRUCTURAL PLANS
19	2" STONE STRIP SURROUNDING BUILDING
20	COLUMN LOCATION. SEE ARCH/STRUCTURAL PLANS.
21	MONUMENT SIGN (DETAILS, FINAL LOCATION, & APPROVAL BY SIGN VENDOR)
22	TRASH COMPACTORS WITH SKID PLATES. SEE ARCH/STRUCTURAL PLANS FOR COMPACTOR INFORMATION.
23	6" CONCRETE BOLLARDS
24	METAL STAIRS (SEE ARCH PLANS FOR DETAILS)
25	VINYL SCREEN FENCE (SEE ARCH PLANS FOR SPECIFICATION)
26	HVAC EQUIPMENT PAD. SEE MEP PLANS FOR DETAILS.
28	TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING.
29	PAINTED PAVEMENT STRIPING. COLOR TO MATCH PARKING STALL STRIPING.
30	CONCRETE TANK PAD. SEE ARCH/STRUCTURAL FOR DETAILS.
31	GRAVEL TRAILER PARKING (8" OF 3/4" OVER 8" OF 3" AGGREGATE)
32	HEAVY DUTY 6" CONCRETE DOLLY PAD.
33	W-BEAM MIDWEST GUARDRAIL SYSTEM
34	RECYCLED ASPHALT AREA. (TYP.)

(X(X)) IDENTIFICATION: KEYNOTE ITEM(QUANTITY) - IF NO () = QUANTITY IS 1

SITE INFORMATION:

PROPERTY AREA:	14.36 ACRES
EXISTING ZONING:	1-2 GENERAL INDUSTRIAL
PROPOSED ZONING:	1-2 GENERAL INDUSTRIAL
PROPOSED USE:	MANUFACTURING DAIRY PRODUCTS (SAME AS CURRENT)
AREA OF SITE DISTURBANCE:	5.8 ACRES
SETBACKS: BUILDING:	FRONT = 10' SIDE = 25' (ADJACENT TO RESIDENTIAL) REAR = 10' STREET = 10'
PAVEMENT:	FRONT = 10' SIDE = 5' (UNLESS ADJ. TO RES. THEN 25') REAR = 10' STREET = 10'
PROPOSED BUILDING HEIGHT:	78' (MAX. HEIGHT ALLOWED: 100')
PARKING REQUIRED:	2 SPACE PER 3 EMPLOYEES OR 1 SPACE PER 1,000 SF GFA (76 REQUIRED)
PARKING PROVIDED:	105 SPACES EXISTING
HANDICAP STALLS REQUIRED:	5, HANDICAP STALLS PROVIDED: 5



CIVIL SITE PLAN

PROFESSIONAL SEAL

PRELIMINARY DATES

- DEC. 1, 2022
- JAN. 16, 2023
- JAN. 24, 2023
- FEB. 9, 2023
- FEB. 20, 2023
- MAR. 14, 2023
- APR. 18, 2023
- MAY 10, 2023
- JUNE 8, 2023
- JULY 18, 2023
- OCT. 20, 2023
- SEPT. 24, 2024

JOB NUMBER

2265880

SHEET NUMBER

C1.1

NOT FOR CONSTRUCTION

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

- NOTES:**
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE:

IP CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:

CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:

CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

PROJECT INFORMATION

PROPOSED EVAPORATOR ADDITION:
GALLOWAY COMPANY
601 S. COMMERCIAL ST. • NEENAH, WI 54956

PROFESSIONAL SEAL

PRELIMINARY DATES

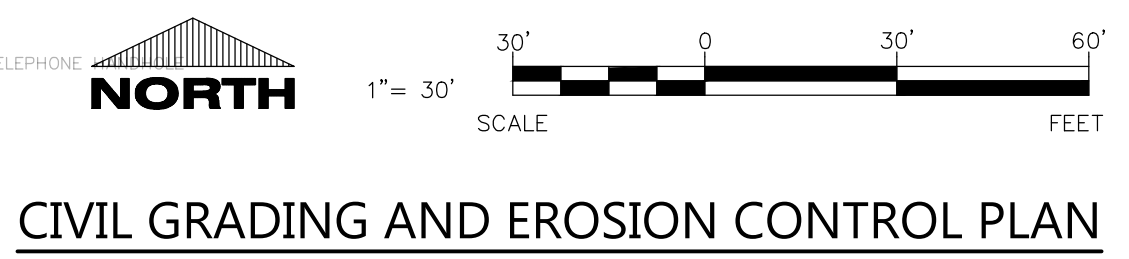
DEC. 1, 2022
JAN. 16, 2023
FEB. 9, 2023
FEB. 20, 2023
MAY 4, 2023
MAY 10, 2023
JUNE 8, 2023
JULY 18, 2023
OCT. 20, 2023
SEPT. 24, 2024

NOT FOR CONSTRUCTION

JOB NUMBER
2265880

SHEET NUMBER
C1.2

CIVIL GRADING AND EROSION CONTROL PLAN



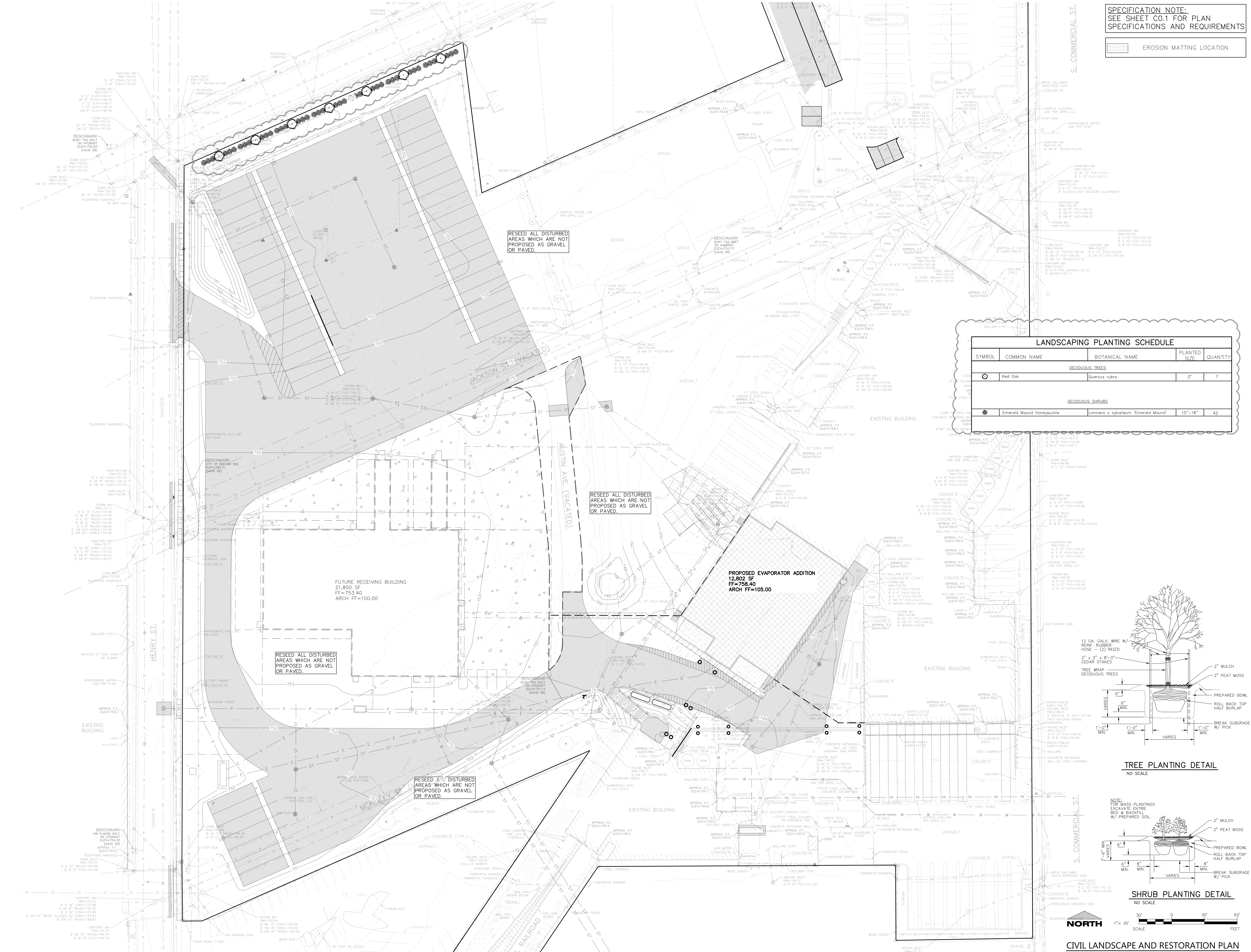
SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION

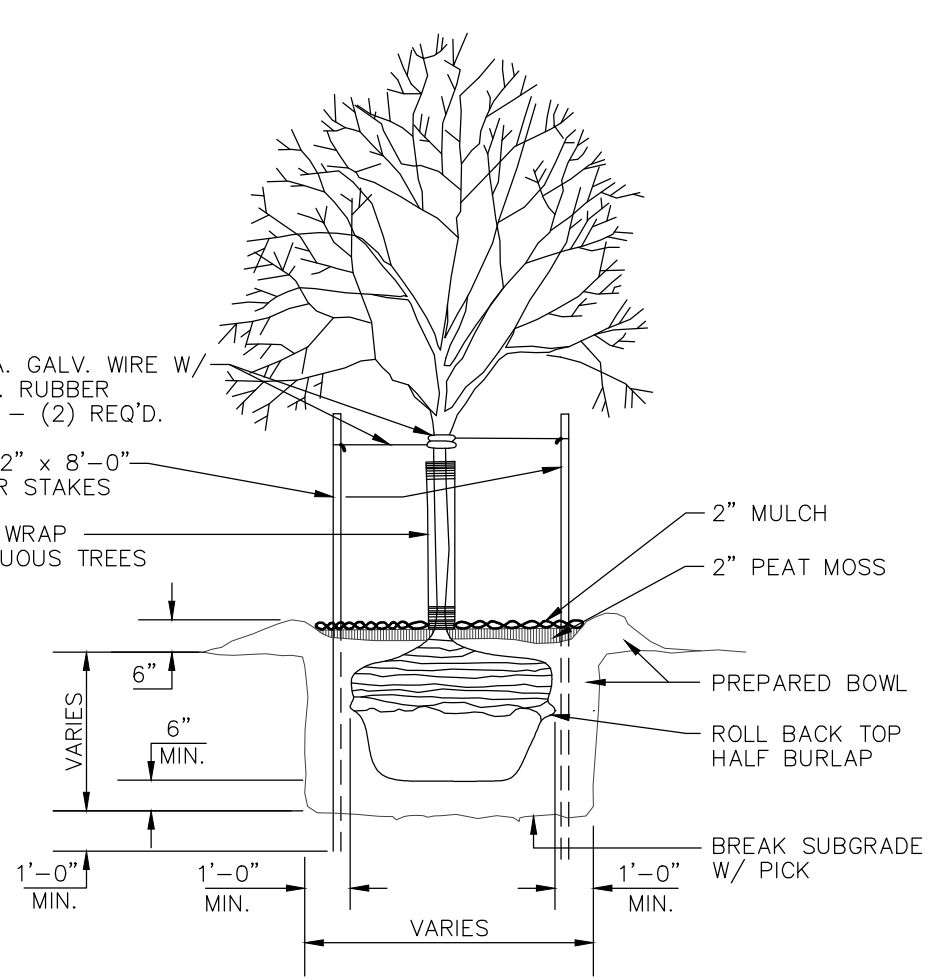
PROJECT INFORMATION

PROPOSED EVAPORATOR ADDITION:
GALLOWAY COMPANY
601 S. COMMERCIAL ST. • NEENAH, WI 54956

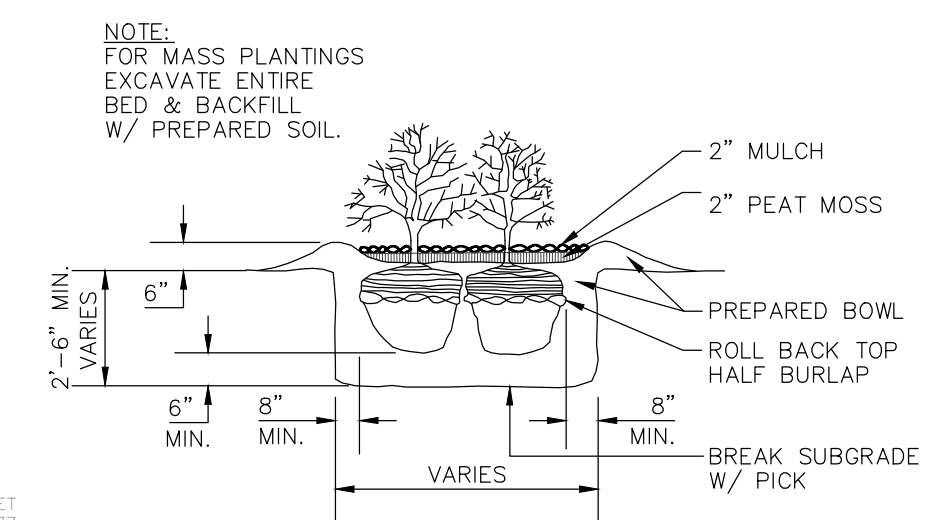
PROPOSED EVAPORATOR ADDITION:
GALLOWAY COMPANY
601 S. COMMERCIAL ST. • NEENAH, WI 54956



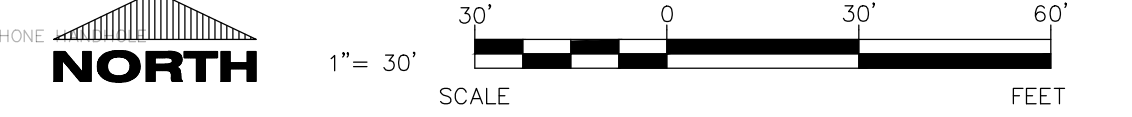
LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
DECIDUOUS TREES				
⊙	Red Oak	Quercus rubra	3"	7
DECIDUOUS SHRUBS				
⊗	Emerald Mound Honeysuckle	Lonicera x kylosteum 'Emerald Mound'	15"-18"	42



TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE



CIVIL LANDSCAPE AND RESTORATION PLAN

PROFESSIONAL SEAL

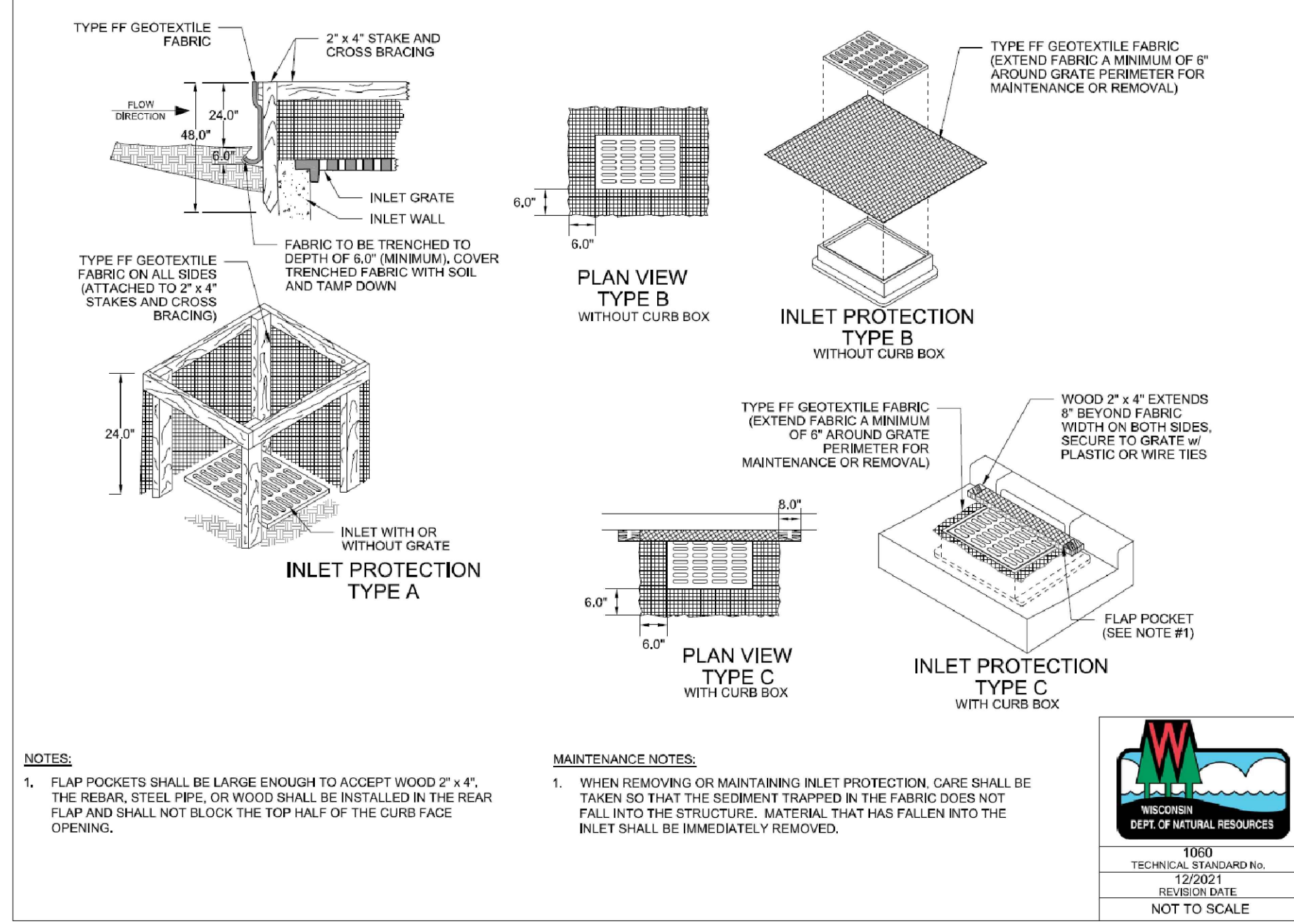
PRELIMINARY DATES
DEC. 1, 2022
JAN. 16, 2023
FEB. 20, 2023
MAY 10, 2023
JUNE 8, 2023
JULY 18, 2023
OCT. 20, 2023
SEPT. 24, 2024

JOB NUMBER
2265880

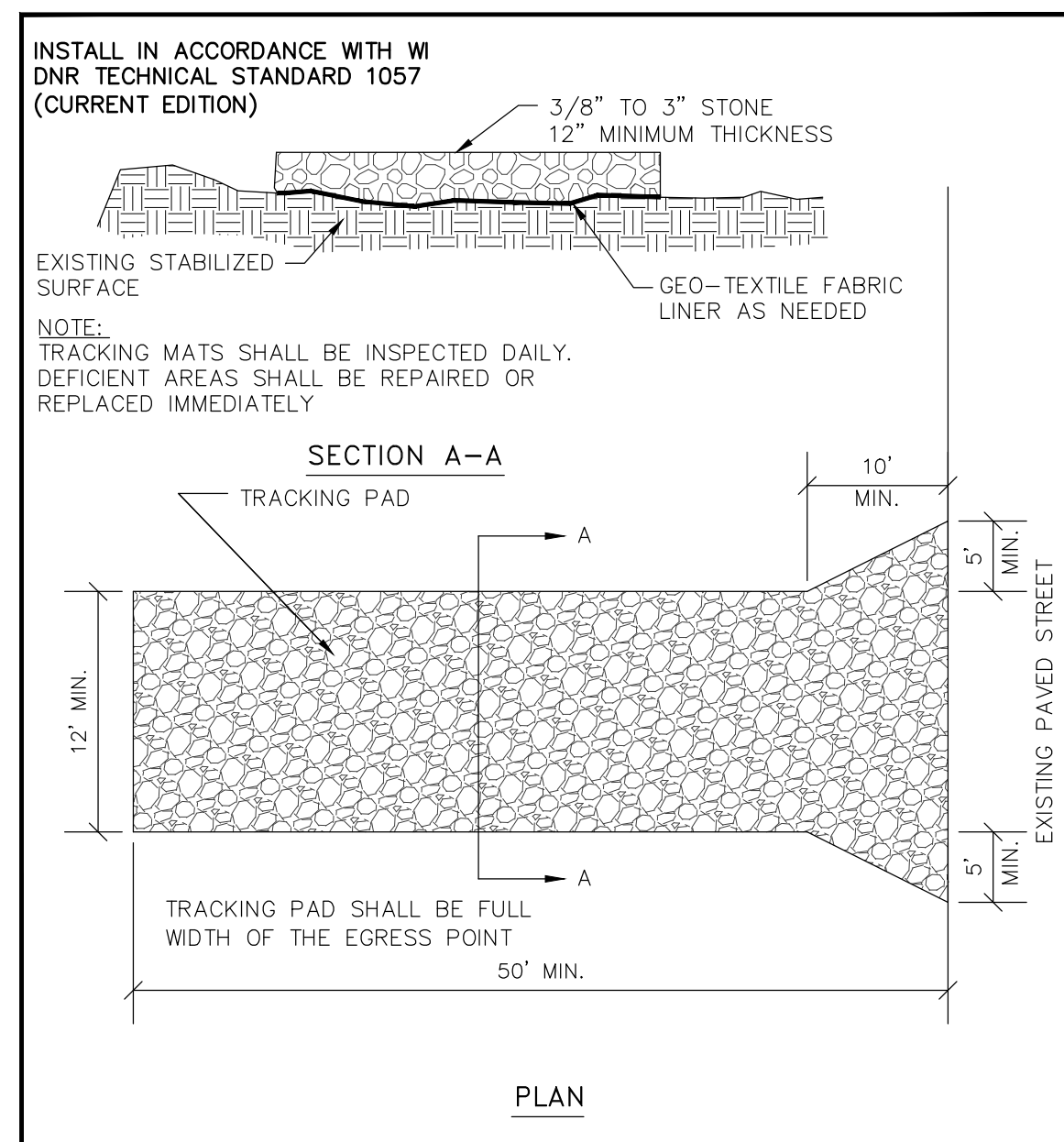
SHEET NUMBER
C1.4

NOT FOR CONSTRUCTION

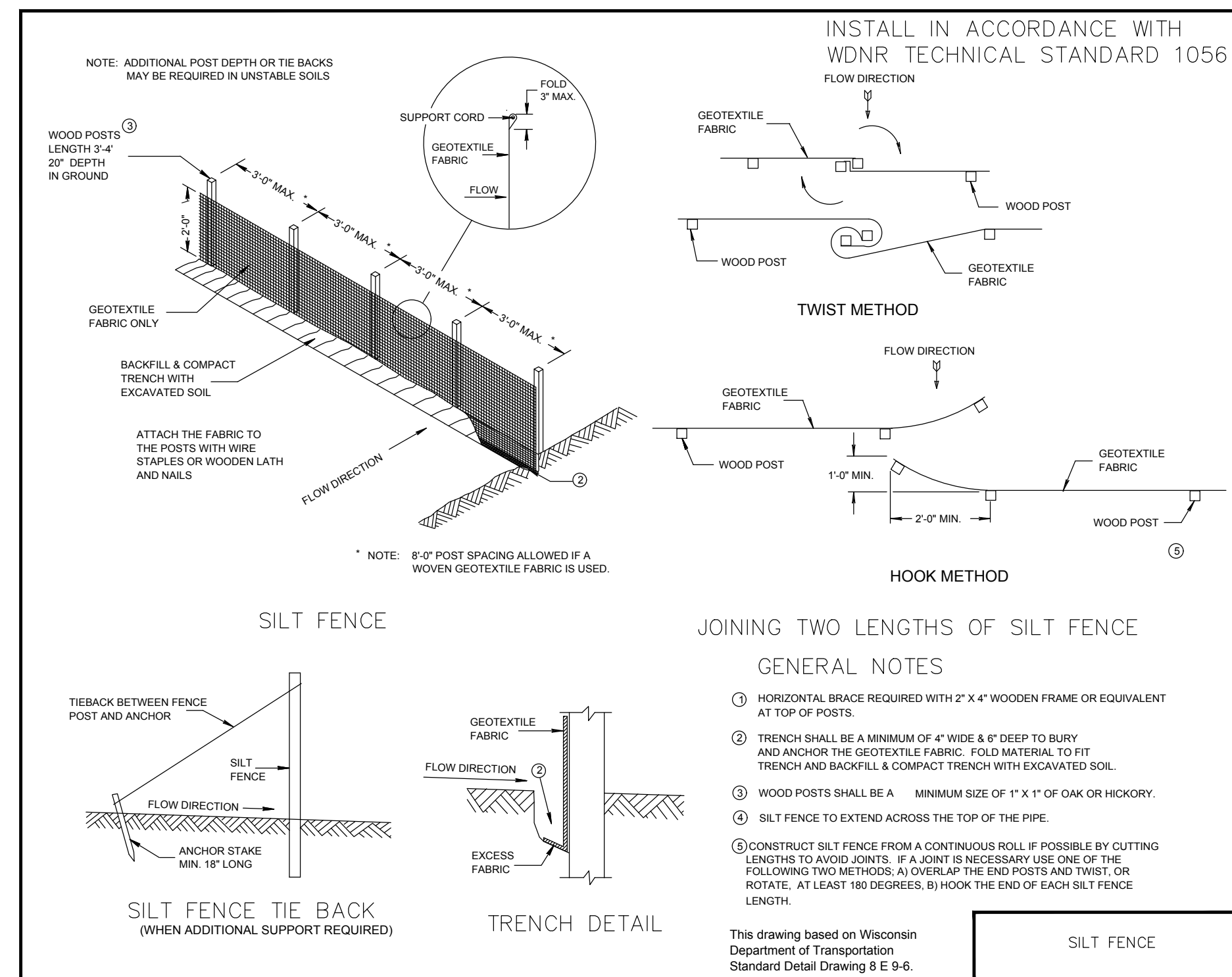
FIGURE 1. INLET PROTECTION TYPES A, B AND C



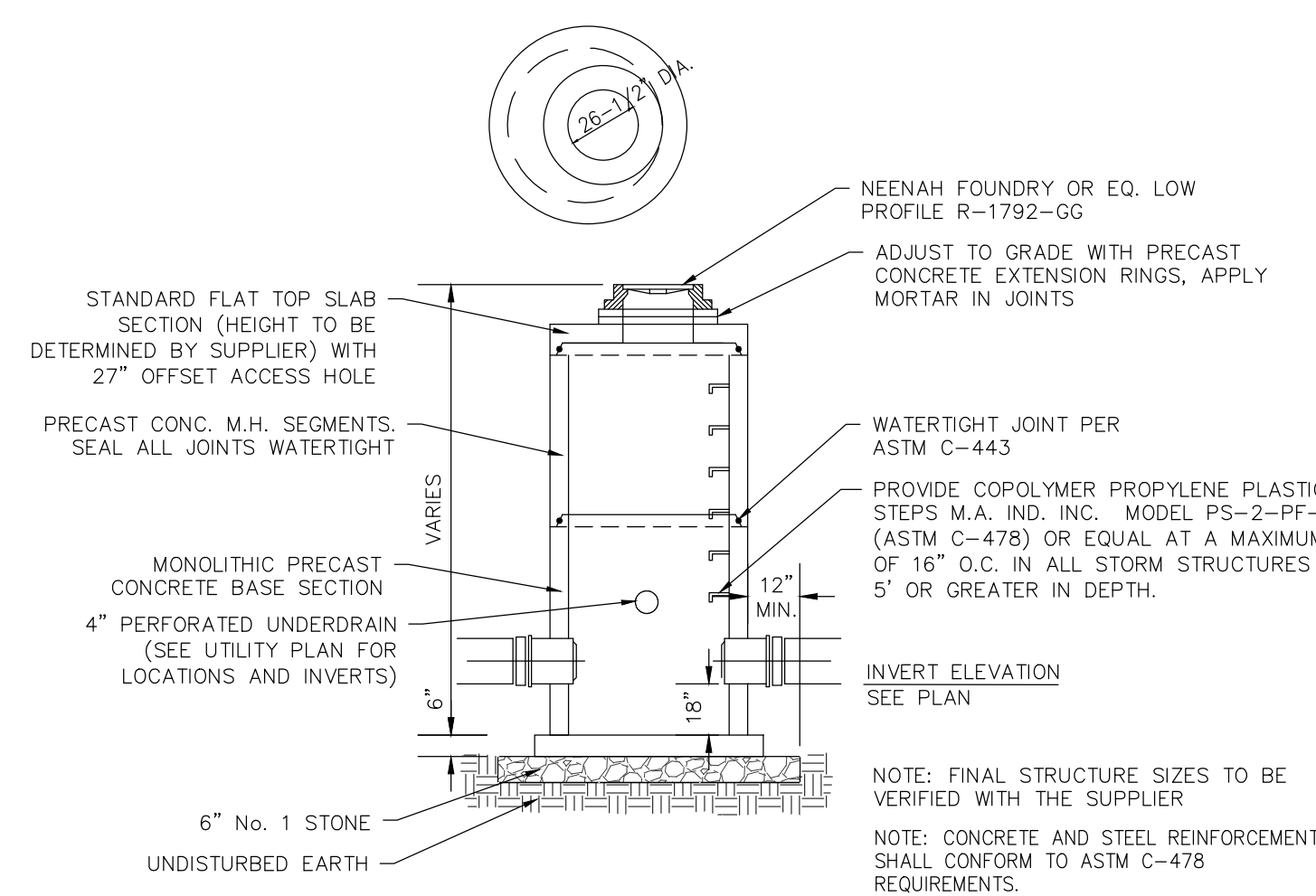
INLET PROTECTION DETAIL
NO SCALE



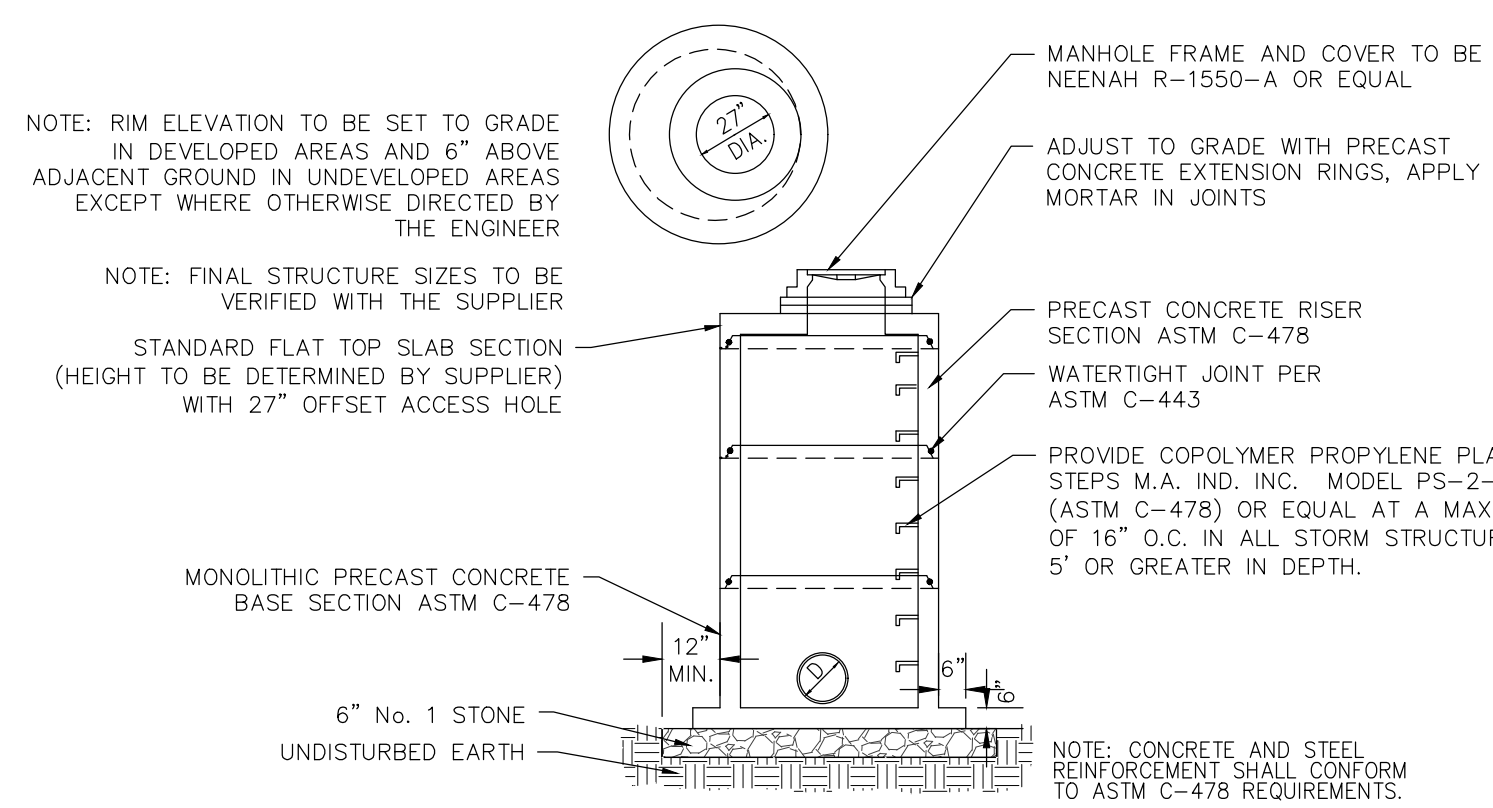
TRACKPAD DETAILS
NO SCALE



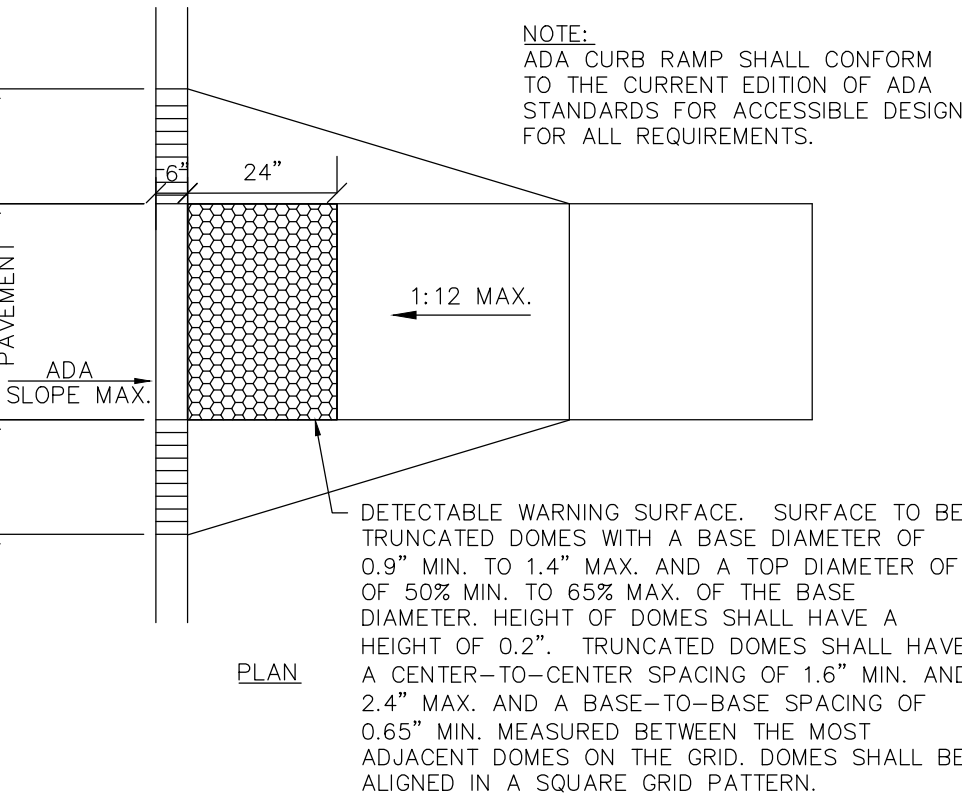
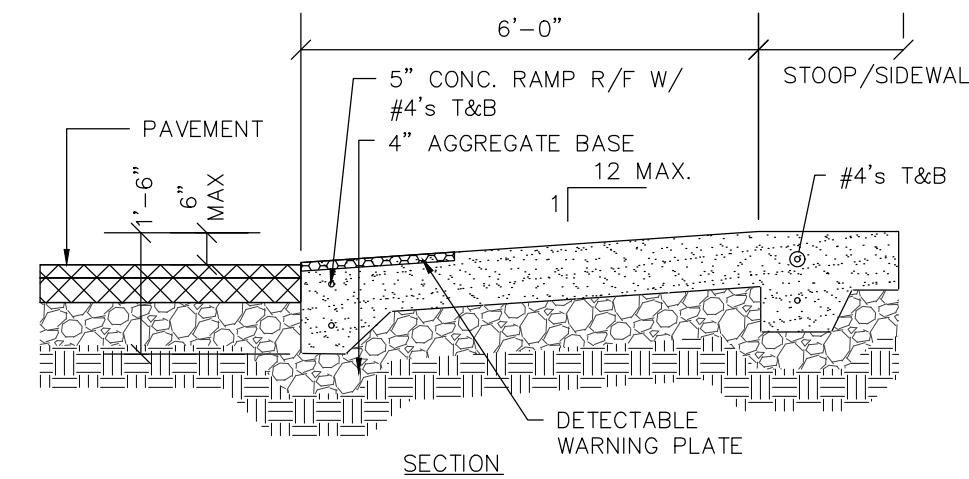
SILT FENCE - INSTALLATION DETAIL
NO SCALE



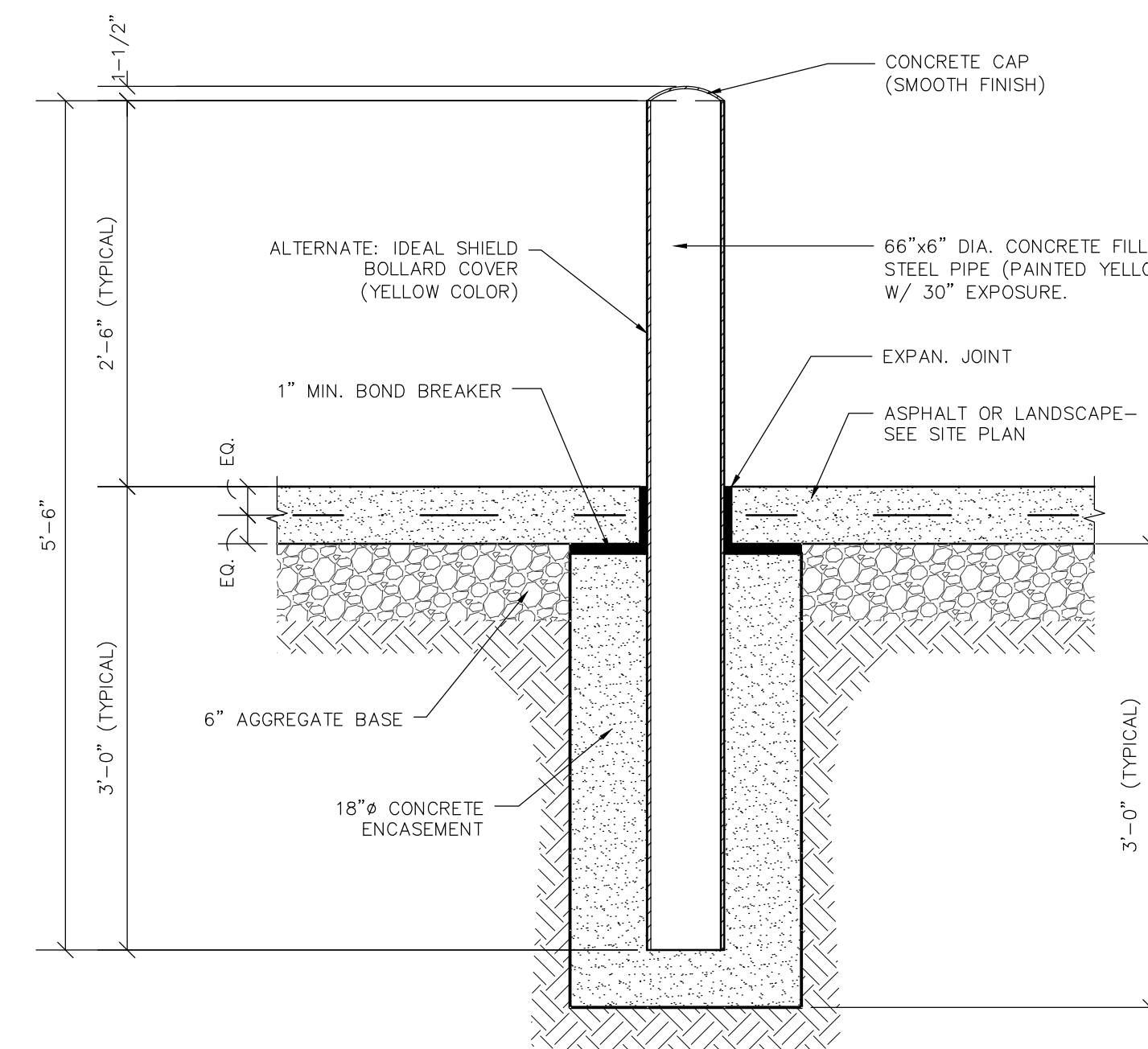
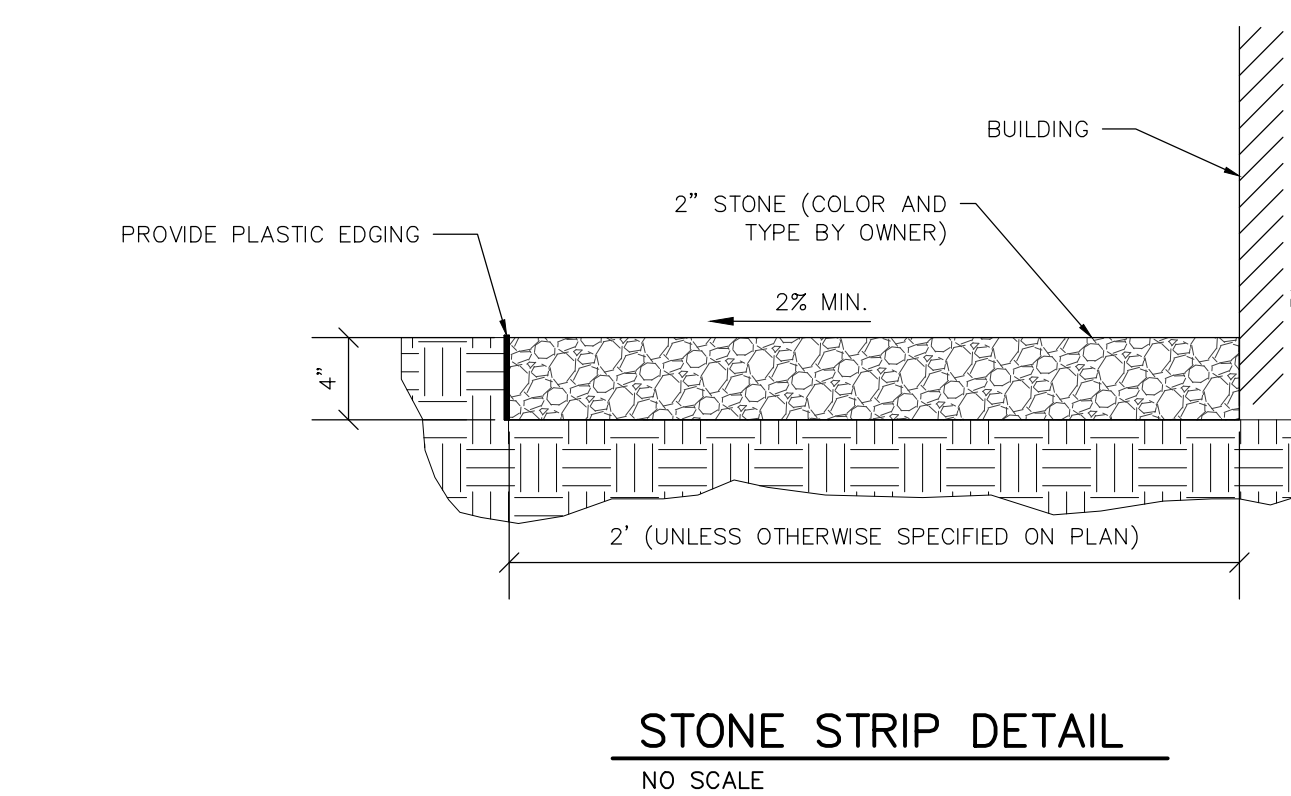
STORM CATCH BASIN W/ SUMP DETAIL
NO SCALE



STORM MANHOLE DETAIL
NO SCALE



CURB RAMP DETAIL
NO SCALE



6" PIPE BOLLARD DETAIL
NO SCALE

CONSTRUCTION SEQUENCE		CONSTRUCTION START: JULY 2023 CONSTRUCTION END: DEC 2024
PHASE	TYPE OF ACTION	
1. PRE-CONSTRUCTION ACTION	<ol style="list-style-type: none"> CONTRACTOR TO CALL DIGGERS HOTLINE AT A MINIMUM OF 3 DAYS PRIOR TO CONSTRUCTION. PLACE ALL SILT FENCE. CONSTRUCT TRACKING STONE ENTRANCES AND ANY TEMPORARY CONSTRUCTION ROADWAYS AS NEEDED. CONSTRUCT PERMANENT STORMWATER CONVEYANCE SYSTEMS. CONSTRUCT ANY TEMPORARY STORMWATER CONVEYANCE SYSTEMS AS NEEDED. STABILIZE ALL TEMPORARY AND PERMANENT EROSION CONTROL AND STORMWATER CONVEYANCE SYSTEMS BEFORE TOPSOIL CAN BE STRIPPED. 	
2. CONSTRUCTION ACTION	<ol style="list-style-type: none"> SITE DEMOLITION AS REQUIRED. STRIP AND RELOCATE TOPSOIL TO THE DESIGNATED TOPSOIL STOCKPILE. FINAL LOCATION BY CONTRACTOR (VERIFY W/ OWNER). PROVIDE PERIMETER SILT FENCE UNTIL STABILIZED. BEGIN MASS EARTH WORK FOR THE BUILDING PAD AND PAVEMENT AREAS. CONSTRUCT ANY REMAINING STORMWATER CONVEYANCE SYSTEMS, AND INSTALL ALL OTHER UTILITIES ON SITE. DIG AND POUR ALL BUILDING FOOTINGS. PLACE GRAVEL FOR ALL PROPOSED PAVEMENT AREAS, INCLUDING FIRE LANES. TOPSOIL, SEED, AND MULCH ALL DISTURBED AREAS OUTSIDE THE BUILDING AND PROPOSED PAVEMENT AREAS. CONSTRUCT BUILDING. PAVE DRIVEWAYS AND PARKING AREAS. TOPSOIL, SEED, AND MULCH ALL OTHER DISTURBED AREAS. PLACE EROSION MATTING AND RIP RAP. 	
3. POST CONSTRUCTION ACTION	<ol style="list-style-type: none"> CONTRACTOR TO REMOVE TEMPORARY EROSION CONTROL MEASURES UPON SITE STABILIZATION. SEE THE POST CONSTRUCTION MAINTENANCE PLAN FOR PERMANENT STORMWATER MANAGEMENT SYSTEMS. 	

*CONTRACTOR TO FOLLOW THE EROSION CONTROL SPECIFICATIONS FOR CONSTRUCTION EROSION CONTROL INSPECTION AND MAINTENANCE.**

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

EXCEL
Always a Better Plan
100 Camelot Drive
Fond du Lac, WI 54935
920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED EVAPORATOR ADDITION:
GALLOWAY COMPANY
601 S. COMMERCIAL ST. • NEENAH, WI 54956

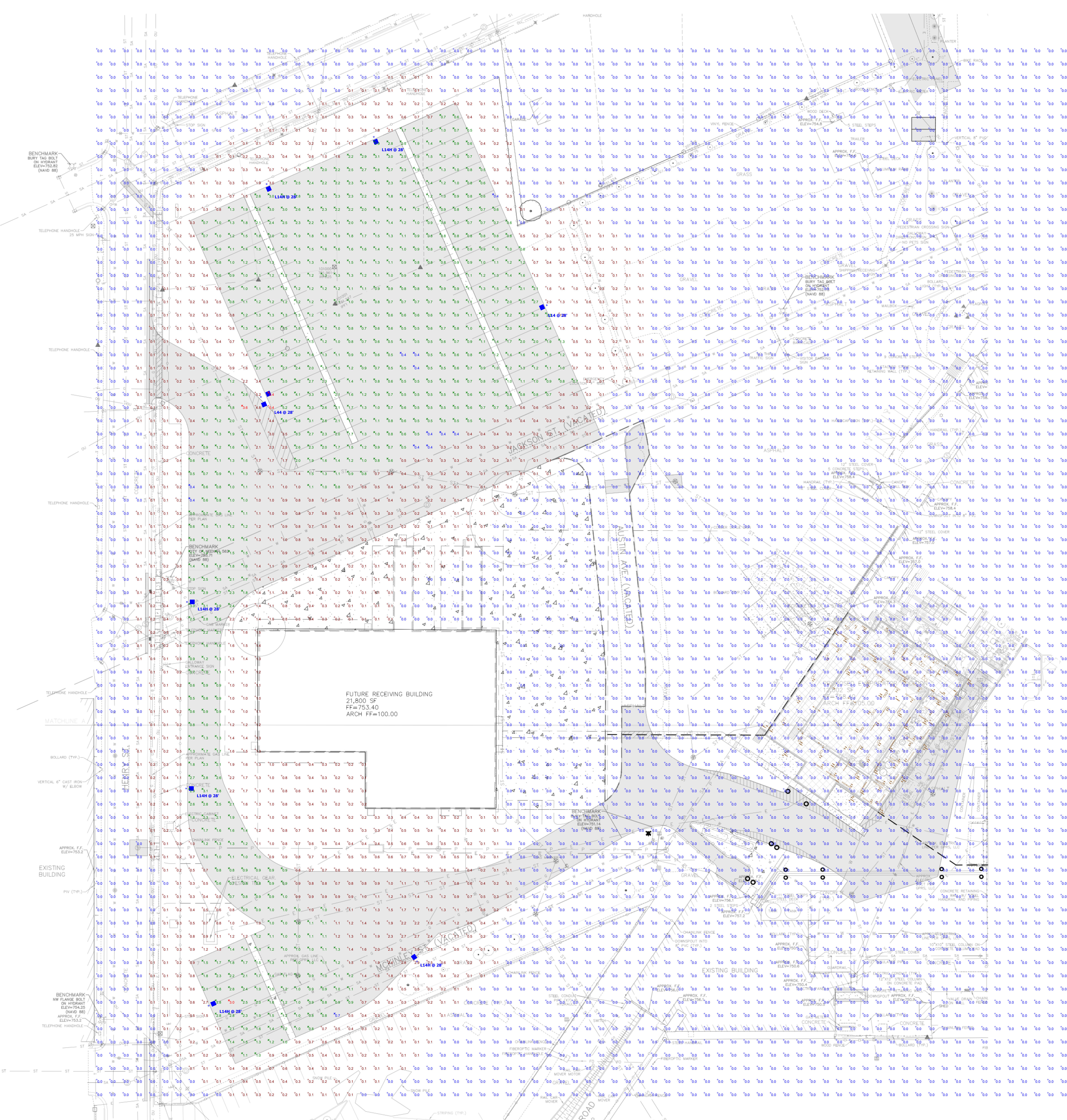
PROFESSIONAL SEAL

PRELIMINARY DATES
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JAN. 16, 2023
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OCT. 20, 2023
SEPT. 24, 2024

NOT FOR CONSTRUCTION

JOB NUMBER
2265880

SHEET NUMBER
C2.0



D-Series Size 1 LED Area Luminaire

Specifications

- EPA: 0.69 ft (21.33 in)
- Length: 14.26" (36.24 cm)
- Height H1: 2.78" (70.15 mm)
- Height H2: 2.21" (56.10 mm)
- Weight: 34 lbs (15.4 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

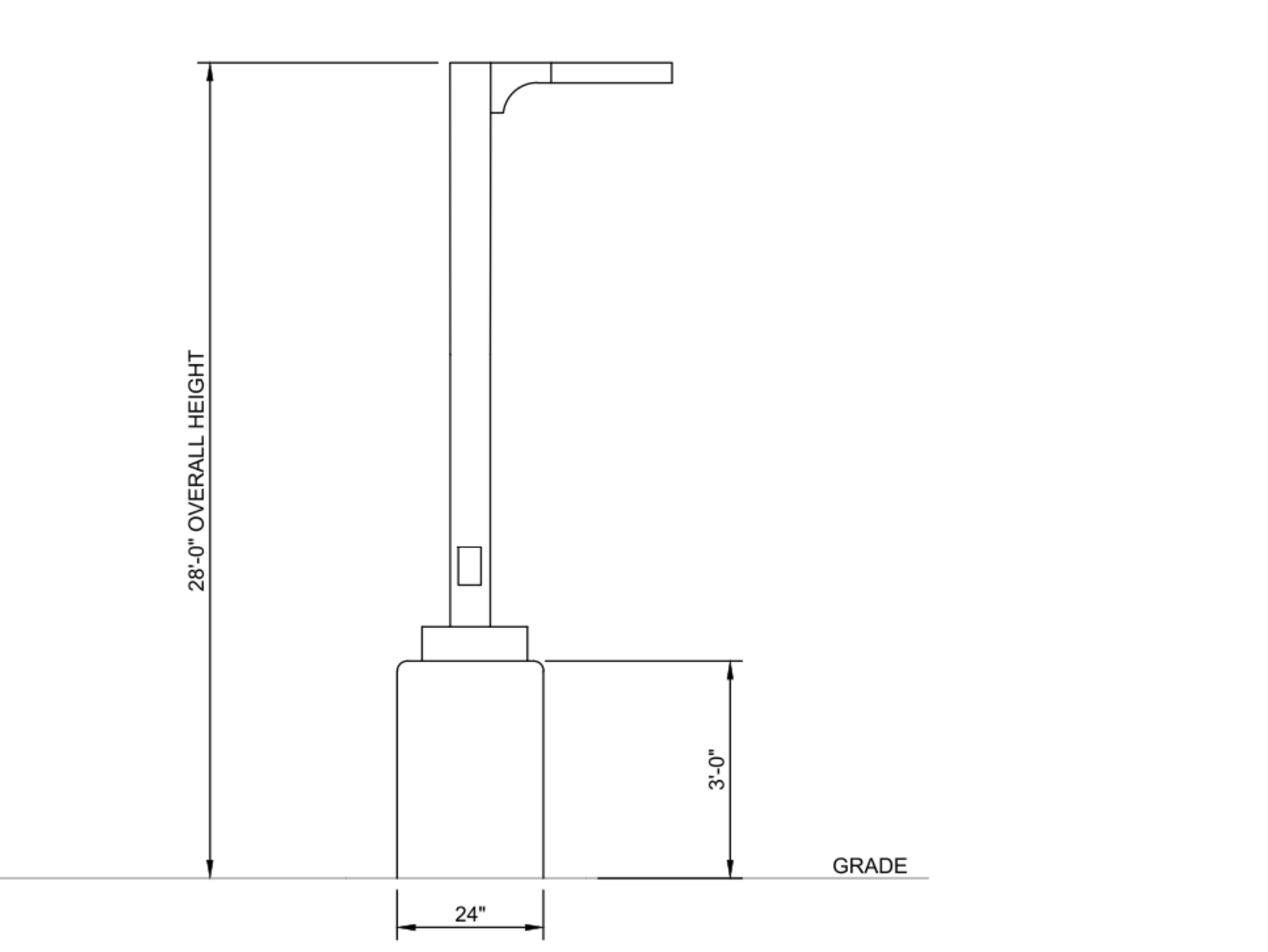
The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information **EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTARZ PIRH DBXD**

Series	Util	Color Temperature	Color Rendering Index	Description	Package	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)				
	P1	40K	90CRI	AR	AR	MMFL (120V-277V)
	P2	40K	90CRI	T5	TS	MMFL (120V-277V)
	P3	40K	90CRI	T3M	TSW	MMFL (120V-277V)
Reverse optics	P4	40K	90CRI	T3M	TSW	MMFL (120V-277V)
	P5	40K	90CRI	T3M	TSW	MMFL (120V-277V)
	P6	40K	90CRI	T3M	TSW	MMFL (120V-277V)
	P7	40K	90CRI	T3M	TSW	MMFL (120V-277V)

Control options	Other options	Finish options
Shipped installed HEMARZ PIRH: 40K (40K gen 2) enabled with bi-level motion / ambient sensor & 40' mounting height, ambient sensor enabled at 20' (10' x 10' x 10') PIR: High flow, motion/ambient sensor 3-40' mounting height, ambient sensor enabled at 20' (10' x 10' x 10') PER: NEMA 4x wet location only (controls ordered separately) PERS: Five pin receptacle only (controls ordered separately)	Shipped installed PER7: Seven pin receptacle only (controls ordered separately) F40: Field adjustable height 1-10' BLS0: Bi-level switched dimming, 100%+ BLS1: Bi-level switched dimming, 100%+ BLS2: Bi-level switched dimming, 100%+ DMG: 0-10V dimming sensor control (not available for use with an external control system) DS: Dual switching 1-10'	Shipped installed DBXD: Dark Bronze DBLD: Black DBAL: Natural Aluminum DBWH: White DBDT: Textured dark bronze DBRD: Textured black DBST: Textured stainless aluminum Shipped separately EGR: Control Glass Shield (available, field install required, mounting hardware included) BSL: Black Shield (field install required)

LITHONIA LIGHTING One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-755-SEEV (3378) • www.lithonia.com
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LIGHT POLE DETAIL
NO SCALE

Manufacturer	Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Wattage
Lithonia Lighting	□	L12H	0	Lithonia Lighting	DSX1 LED P7 50K 70CRI T2M HS	D-Series Size 1 Area Luminaire P7 Performance Package 5000K CCT 70 CRI Type 2 Medium Houseside Shield	119421	184.4348
Lithonia Lighting	□	L44	1	Lithonia Lighting	DSX1 LED P7 50K 70CRI TFTM	D-Series Size 1 Area Luminaire P7 Performance Package 5000K CCT 70 CRI Forward Throw	23139	368.86
Lithonia Lighting	□	L14	1	Lithonia Lighting	DSX1 LED P7 50K 70CRI TFTM	D-Series Size 1 Area Luminaire P7 Performance Package 5000K CCT 70 CRI Forward Throw	23139	184.43
Lithonia Lighting	□	L14H	6	Lithonia Lighting	DSX1 LED P7 50K 70CRI TFTM EGS	D-Series Size 1 Area Luminaire P7 Performance Package 5000K CCT 70 CRI Forward Throw External Glare Shield	20411	184.4348

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
*SITE OVERALL	+	0.3 fc	5.4 fc	0.0 fc	N/A	N/A
EAST DRIVEWAY	✗	1.4 fc	3.6 fc	0.4 fc	9.0:1	3.5:1
TRAILER PARKING (NORTH)	✗	1.4 fc	5.4 fc	0.4 fc	13.5:1	3.5:1
TRAILER PARKING (SOUTH)	✗	1.4 fc	3.0 fc	0.7 fc	4.3:1	2.0:1



SCALE: 1"=30'-0"
CIVIL SITE PHOTOMETRIC PLAN & DETAILS

Always a Better Plan
 100 Camelot Drive
 Fond du Lac, WI 54935
 920-926-9800
excelengineer.com

PROJECT INFORMATION

PROPOSED EVAPORATOR ADDITION:
GALLOWAY COMPANY
 601 S. COMMERCIAL ST. • NENAH, WI 54956

PROFESSIONAL SEAL

PRELIMINARY DATES
 SEPT. 24, 2024

NOT FOR CONSTRUCTION

JOB NUMBER
 2265880

SHEET NUMBER
C3.1



Department of Public Works
211 Walnut Street | Neenah, WI 54956
publicworks@neenahwi.gov
920.886.6240

M E M O R A N D U M

DATE: September 30, 2024
TO: Mayor Lang, Members of the Public Services & Safety Committee, and Members of the Plan Commission
FROM: James Merten, Traffic Engineer
RE: Resolution 2024-19: Amended S. Commercial Street Relocation Order

S. Commercial Street between Stanley Street and Tyler Street is scheduled for construction in 2025. Resolution 2023-18 was approved by the Neenah Common Council on August 2, 2023 authorizing the relocation order for the project. Resolution 2023-24 was approved on October 18, 2023, authorizing an amended relocation order as a result of modifications made to the plat.

Attached is Resolution 2024-19, which if approved, would authorize a final amended relocation order for the project. The amendments primarily comprise property ownership updates, but also the following land interest changes:

- Parcel 19 – 1315 S Commercial St – Hair Connection Salon – Decrease 8 SF of TLE
- Parcel 47 – 1117 S Commercial St – Gill Liquor – Increase 9 SF of Fee
- Parcel 108 – 783 S Commercial St – Buksyk Residence – Increase 30 SF of TLE
- Parcel 129 – 601 S Commercial St – Galloway Company – Decrease 1363 SF of TLE

The agreements made with the property owners already account for the amended quantities, so this relocation order is effectively a retroactive cleanup of those exchanges.

Staff recommend the Common Council approve Resolution 2024-19, the relocation order for the amended plat for the 2025 S. Commercial Street reconstruction project between Stanley Street and Tyler Street.



RESOLUTION NO. 2024-19

A RESOLUTION OF THE CITY OF NEENAH APPROVING AND AUTHORIZING THE EXECUTION OF A RELOCATION ORDER FOR THE RECONSTRUCTION OF S. COMMERCIAL STREET (STANLEY STREET TO TYLER STREET).

WHEREAS, the Neenah Common Council approved Resolution 2023-18, which issued a Resolution Order to acquire certain adjoining lands in order to properly reconstruct S. Commercial Street (Stanley Street to Tyler Street); and

WHEREAS, the Neenah Common Council approved Resolution 2023-24, which issued an amended Resolution Order for said project; and

WHEREAS, the City has identified additional changes to the S. Commercial Street Right of Way necessary to properly reconstruct S. Commercial Street (Stanley Street to Tyler Street); and

WHEREAS, such acquisition will be accomplished pursuant to authority granted under sections 32.05 and 62.22 of the Wisconsin Statutes.

NOW THEREFORE, BE IT RESOLVED BY THE COMMON COUNCIL OF THE CITY OF NEENAH, WISCONSIN, that the Relocation Order for Project ID 4993-01-01, attached hereto as Exhibit A, is hereby approved and the proper City officials are authorized and directed to execute the Order for acquisition of the properties shown.

Recommended by:

CITY OF NEENAH, WISCONSIN

Moved: _____

Jane Lang, Mayor

Passed: _____

Charlotte Nagel, City Clerk

RELOCATION ORDER

LPA1708 07/2022 (Replaces LPA3006)

Project 4993-01-01 COMMERCIAL STREET	Road name Commercial Street City of Neenah Winnebago County, Wisconsin	Highway Commercial Street	County Winnebago
Right of way plat date 9-17-2024	Plat sheet number(s) 4.13, 4.14, 4.15, 4.16, 4.17, 4.18, 4.19, 4.20, 4.21, 4.22, 4.23, 4.24	Previously approved Relocation Order date 8-1-2023, 9-25-2023	

Description of termini of project: Beginning at a point that is 1273.76 feet North of and 0.60 feet East of the Southwest Corner of Section 34, T20N, R17E, City of Neenah, Winnebago County, Wisconsin; thence Northerly to the End of the Relocation Order. Said End being 1279.49 feet South of and 6.69 feet East of the Northeast Quarter Corner of Section 28, T20N, R17E, City of Neenah, Winnebago County, Wisconsin as shown on the plat of right-of-way, or a copy thereof marked.

Total net length of centerline is approximately 8,021.03' feet (1.52 miles)

Outagamie County Coordinate System, NAD 83 (2012):

Beginning Coordinates:

Y: 525122.505

X: 812232.127

End Coordinates:

Y: 533143.121

X: 812186.394

To properly establish, lay out, widen, enlarge, extend, construct, reconstruct, improve, or maintain a portion of the highway designated above, it is necessary to relocate or change and acquire certain lands or interests in lands as shown on the right of way plat for the above project.

To effect this change, pursuant to authority granted under Sections 62.22 and 62.23(10), Wisconsin Statutes, City of Neenah orders that:

1. The said road is laid out and established to the lines and widths as shown on the plat.
2. The required lands or interests in lands as shown on the plat shall be acquired by: City of Neenah
3. This order supersedes and amends any previous order issued by the: City of Neenah

Name and Title

Date

R/W PROJECT NUMBER 4993-01-01	SHEET NUMBER 4.01	TOTAL SHEETS 24
CONSTRUCTION PROJECT NUMBER 4993-01-01		
PLAT OF RIGHT OF WAY REQUIRED FOR COMMERCIAL STREET STANLEY ST. - WINNECONNE AVE.		
COMMERCIAL STREET, CITY OF NEENAH		WINNEBAGO COUNTY

CONVENTIONAL SYMBOLS		
SECTION LINE		SECTION CORNER SYMBOL
QUARTER LINE		SECTION CORNER MONUMENT
SIXTEENTH LINE		GEODETIC SURVEY MONUMENT
NEW REFERENCE LINE		RIGHT OF WAY IRON FOUND
NEW R/W LINE		SIGN
EXISTING R/W OR HE LINE		OFF-PREMISE SIGN
PROPERTY LINE		
LOT, TIE & OTHER MINOR LINES		
SLOPE INTERCEPT		
CORPORATE LIMITS		
UNDERGROUND FACILITY (COMMUNICATIONS, ELECTRIC, ETC)		
NEW R/W (FEE OR HE) (HATCHING VARIES BY OWNER)		
TEMPORARY LIMITED EASEMENT AREA		
EASEMENT AREA (PERMANENT LIMITED OR RESTRICTED DEVELOPMENT)		
TRANSMISSION STRUCTURES		
BUILDING TO BE REMOVED		
BRIDGE		
CULVERT		

CONVENTIONAL UTILITY SYMBOLS		CURVE DATA ABBREVIATIONS	
WATER		LONG CHORD	LCH
GAS		LONG CHORD BEARING	LCB
TELEPHONE		RADIUS	R
OVERHEAD TRANSMISSION LINES		DEGREE OF CURVE	D
ELECTRIC		CENTRAL ANGLE	Δ/DELTA
CABLE TELEVISION		LENGTH OF CURVE	L
FIBER OPTIC		TANGENT	T
SANITARY SEWER		DIRECTION AHEAD	DA
STORM SEWER		DIRECTION BACK	DB
ELECTRIC TOWER			

CONVENTIONAL ABBREVIATIONS			
ACCESS RIGHTS	AR	PAGE	P
ACRES	AC	POINT OF TANGENCY	PT
AHEAD	AH	PERMANENT LIMITED EASEMENT	PLE
ALUMINUM	ALUM		
AND OTHERS	ET AL	POINT OF BEGINNING	POB
BACK	BK	POINT OF CURVATURE	PC
BLOCK	BLK	POINT OF COMPOUND CURVE	PCC
CENTERLINE	C/L	POINT OF INTERSECTION	PI
CERTIFIED SURVEY MAP	CSM	PROPERTY LINE	P/L
CONCRETE	CONC	RECORDED AS (100')	(100')
COUNTY	CO	REEL / IMAGE	R/I
COUNTY TRUNK HIGHWAY	CTH	REFERENCE LINE	R/L
DISTANCE	DIST	REMAINING	REM
CORNER	COR	RESTRICTIVE DEVELOPMENT	RDE
DOCUMENT NUMBER	DOC	EASEMENT	
EASEMENT	EASE	RIGHT	RT
EXISTING	EX	RIGHT OF WAY	R/W
GAS VALVE	GV	SECTION	SEC
GRID NORTH	GN	SEPTIC VENT	SEPV
HIGHWAY EASEMENT	HE	SQUARE FEET	SF
IDENTIFICATION	ID	STATE TRUNK HIGHWAY	STH
LAND CONTRACT	LC	STATION	STA
LEFT	LT	TELEPHONE PEDESTAL	TP
MONUMENT	MON	TEMPORARY LIMITED EASEMENT	TLE
NATIONAL GEODETIC SURVEY	NGS		
NUMBER	NO	TRANSPORTATION PROJECT PLAT	TPP
OUTLOT	OL	UNITED STATES HIGHWAY	USH
		VOLUME	V

NOTES:

POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), WINNEBAGO COUNTY, NAD83 (2012) IN US SURVEY FEET. VALUES SHOWN ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.

ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 3/4" X 24" IRON REBARS), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.

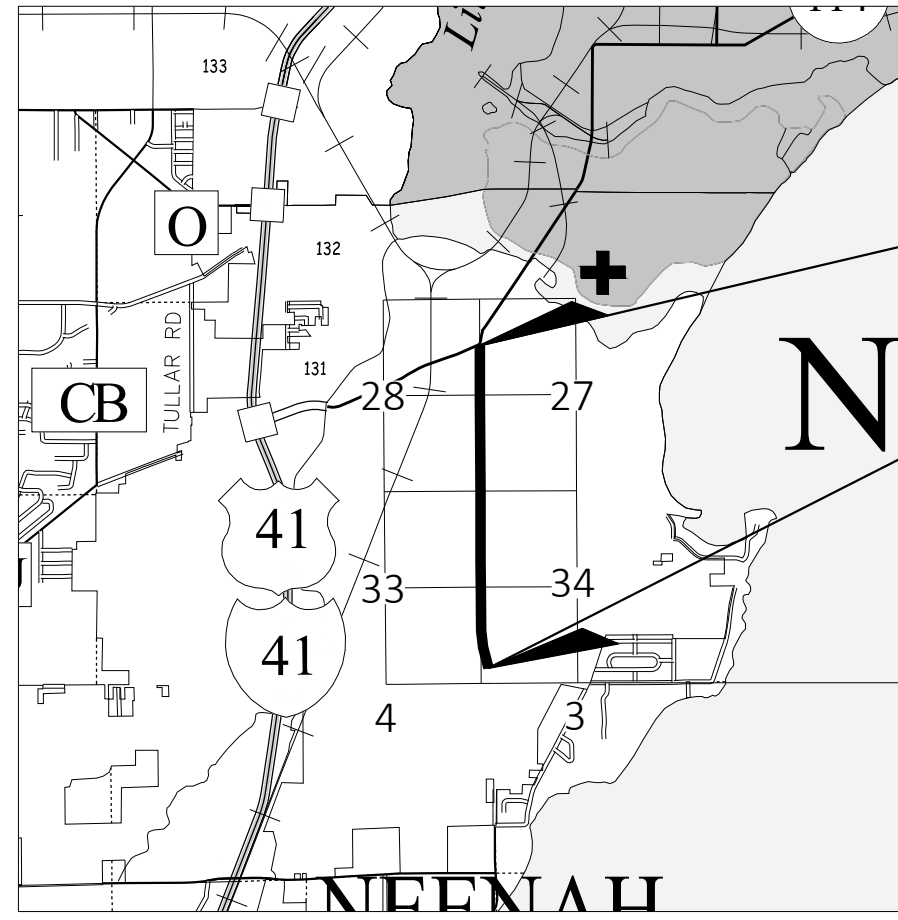
DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.

RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF PUBLIC RECORD.

FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT CITY OF NEENAH.

PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE DETAIL PAGES.

INFORMATION FOR THE BASIS OF EXISTING HIGHWAY RIGHT-OF-WAY POINTS OF REFERENCE AND ACCESS CONTROL ARE LISTED ON THE DETAIL PAGES.



END RELOCATION ORDER
 STATION 93+96.03
 1279.49 FEET SOUTH OF AND 6.69 FEET EAST OF THE NORTHEAST CORNER OF SEC. 28, T20N, R17E, TOWN OF NEENAH, WINNEBAGO COUNTY, WISCONSIN.
 Y: 533143.121
 X: 812186.394

BEGIN RELOCATION ORDER
 STATION 13+75.00
 1273.76 FEET NORTH OF AND 0.60 FEET EAST OF THE SOUTHWEST CORNER OF SEC. 34, T20N, R17E, TOWN OF NEENAH, WINNEBAGO COUNTY, WISCONSIN
 Y: 525122.505
 X: 812232.127



Terry L. Van Hout

8-1-2023
 REVISED 9-25-2023
 REVISED 11-10-2023
 REVISED 9-17-2024

LAYOUT
 SCALE 0 5280'
 TOTAL NET LENGTH OF CENTERLINE = 8,021.03' (1.52 MILES)

REVISION DATE 9-25-2023 11-10-2023 9-17-2024	CITY OF NEENAH
	APPROVED FOR THE COUNTY
	DATE: _____ (Signature)

SCHEDULE OF LANDS AND INTERESTS REQUIRED

AREAS SHOWN IN THE TOTAL ACRES COLUMN MAY BE APPROXIMATE AND ARE DERIVED FROM TAX ROLE OR OTHER AVAILABLE SOURCES AND MAY NOT INCLUDE LANDS OF THE OWNER WHICH ARE NOT CONTIGUOUS TO THE AREA TO BE ACQUIRED. OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY.

PARCEL NUMBER	SHEET NUMBER(S)	OWNER(S)	INTEREST REQUIRED	R/W AREA REQUIRED - SF			TLE SF
				NEW	EXISTING	TOTAL	REQUIRED
1	4.13	SOUTHGATE APARTMENTS LLC A/K/A SOUTHGATE APARTMENTS, LLC	TLE	0	0	0	1483
2	4.13, 4.14	NEENAH PLAZA CONDOMINIUMS (NEENAH PLAZA CONDOMINIUM OWNERS ASSOCIATION)	FEE, TLE	421	0	421	2131
3	4.13	GRISHABER MAIN STREET PARTNERSHIP	TLE	0	0	0	1027
4	4.13, 4.14	CAPITAL CREDIT UNION	TLE	0	0	0	1559
6	4.14	PIONEER DEVELOPMENT, INC.	TLE	0	0	0	1107
7	4.14	CITY OF NEENAH	TLE	0	0	0	3458
8	4.14	CHARLOTTE'S CAR WASH LLC	FEE, TLE	64	0	64	1913
9	4.14, 4.15	D-JON PROPERTIES, LLC	TLE	0	0	0	1022
10	4.14	PIONEER DEVELOPMENT, INC.	FEE, TLE	130	0	130	1088
11	4.14	O'BRIEN INVESTMENT PROPERTIES LLC	TLE	0	0	0	1347
12	4.14	FLOREK HENDERSON DENTAL LLC A/K/A FLOREK, HENDERSON DENTAL, LLC & R&L PROPERTIES, LLC	FEE, TLE	112	0	112	1321
13	4.13, 4.14	EXCEL PROPERTIES, LLC	TLE	0	0	0	2367
14	4.13	VICKI A. WEINAUG (PURCHASER) & MICHAEL L. JOHNSON (VENDOR)	TLE	0	0	0	627
16	4.13	DANIEL C. STRONG	TLE	0	0	0	1528
17	4.13	WESNER HOLDINGS, INC.	TLE	0	0	0	1099
18	4.15	DAVID L. GERARDEN & SARAH L. GERARDEN	TLE	0	0	0	1395
19	4.15	LIND REAL ESTATE, LLC (PURCHASER) & MYKEL, LLC (VENDOR)	TLE	0	0	0	1129
20	4.13	1504 SOUTH, LLC	TLE	0	0	0	469
21	4.15	CITY OF NEENAH	TLE	0	0	0	1010
22	4.15, 4.16	KRIST OIL CO., INC A/K/A KRIST OIL CO., INC., A MICHIGAN CORPORATION	TLE	0	0	0	1823
23	4.16	PSAM, LLC.	TLE	0	0	0	525
24	4.16	SCRIBNER PROPERTIES, LLC	TLE	0	0	0	912
25	4.16	CITY OF NEENAH	TLE	0	0	0	1495
26	4.16	AUTOZONE, INC.	TLE	0	0	0	1270
27	4.16	JOHN A. NENNIG	FEE, TLE	0	2256	2256	430
28	4.16	E&B PROPERTIES, LLC	FEE, TLE	0	2275	2275	627
29	4.16	KRISTINA M. & DAVID A. SCHMIDT (PURCHASERS), & JUDITH A. ZARETZKE TRUST (VENDOR)	FEE, TLE	0	2036	2036	419
31	4.16	BERO REAL ESTATE LLC	FEE, TLE	0	4338	4338	1281
32	4.16	JPACK REAL ESTATE LLC	FEE, TLE	7	0	7	975
34	4.16	L.A. RENTALS AND REAL ESTATE, LLC.	TLE	0	0	0	423

REVISION DATE
 9-25-2023
 11-10-2023-NC
 9-17-2024

DATE 8-1-2023
 GRID FACTOR _____



HWY: COMMERCIAL STREET
 COUNTY: WINNEBAGO

R/W PROJECT NUMBER 4993-01-01
 CONSTRUCTION PROJECT NUMBER 4993-01-01

PLAT SHEET 4.02
 PS&E SHEET _____

SCHEDULE OF LANDS AND INTERESTS REQUIRED

AREAS SHOWN IN THE TOTAL ACRES COLUMN MAY BE APPROXIMATE AND ARE DERIVED FROM TAX ROLE OR OTHER AVAILABLE SOURCES AND MAY NOT INCLUDE LANDS OF THE OWNER WHICH ARE NOT CONTIGUOUS TO THE AREA TO BE ACQUIRED. OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY.

PARCEL NUMBER	SHEET NUMBER(S)	OWNER(S)	INTEREST REQUIRED	R/W AREA REQUIRED - SF			TLE SF
				NEW	EXISTING	TOTAL	REQUIRED
36	4.15, 4.16	KRISTIN ZAGRODNIK & SHAWN ZAGRODNIK	FEE, TLE	0	2740	2740	651
37	4.15	CEDAR BAR & GRILL, LLP	FEE, TLE	0	5530	5530	732
38	4.15	KACE, LLC.	FEE, TLE	0	4909	4909	765
39	4.15	COMMERCIAL BREAK, LLC	TLE	0	0	0	503
41	4.15	LESLIE LOHFF	TLE	0	0	0	1226
42	4.17	ROB'S REPAIR, LLC	FEE, TLE	13	0	13	393
43	4.17	ELLIOT KRUEGER	TLE	0	0	0	570
44	4.17	WAITE PROPERTY MANAGEMENT LLC	TLE	0	0	0	836
46	4.17	MY PLACE T N S, LLC (PURCHASER) & KUBINSKI INVESTMENTS, LLC (VENDOR)	FEE, TLE	3	0	3	600
47	4.17	A S GILL, INC.	FEE, TLE	23	0	23	2500
48	4.18	D & M PROPERITES I, LLC	FEE, TLE	9	0	9	1836
49	4.18	CRANKY PAT'S PROPERTIES, LLC	FEE, TLE	74	6657	6730	2138
51	4.18	VDH AUTOMOTIVE, LLC	FEE, TLE	78	0	78	1381
52	4.18	1016 S COMMERCIAL, LLC	TLE	0	0	0	1675
53	4.17, 4.18	PRSHEO, LLC	FEE, TLE	78	0	78	1274
54	4.17	PGM PROPERTIES, LLC	FEE, TLE	0	5944	5944	1614
56	4.17	K AND E LIMITED PARTNERSHIP	FEE, TLE	0	3255	3255	2010
57	4.16, 4.17	DAVID TATE	FEE, TLE	0	2156	2156	437
76	4.19	KALEKA ENTERPRISES, LLC	FEE, TLE	107	0	107	1214
77	4.19	MEND ENTERPRISES LLC	FEE, TLE	9	0	9	477
78	4.19	BRITNEY DUNN	FEE, TLE	6	0	6	532
79	4.19	JOHN JOSEPH THIEL	TLE	0	0	0	388
81	4.19	TYLER A. HOFFIUS & KARA A. HOFFIUS	TLE	0	0	0	364
82	4.19	MARLENE ROHE A/K/A MARLENE M. ROHE	TLE	0	0	0	501
83	4.19, 4.20	CLARITY CARE, INC.	TLE	0	0	0	778
84	4.20	KWIK INVESTMENTS INC.	TLE	0	0	0	398
85	4.20	OUR SAVIOR'S LUTHERAN CHURCH OF NEENAH	TLE	0	0	0	1694
86	4.20	STEPHEN H. GUNDERSON	TLE	0	0	0	542
87	4.20	OUR SAVIOR'S LUTHERAN CHURCH OF NEENAH	TLE	0	0	0	721

REVISION DATE	_____	_____	_____
9-25-2023	_____	_____	_____
11-10-2023	_____	_____	_____
9-17-2024	_____	_____	_____

DATE	8-1-2023
GRID FACTOR	_____



HWY:	COMMERCIAL STREET
COUNTY:	WINNEBAGO

R/W PROJECT NUMBER	4993-01-01
CONSTRUCTION PROJECT NUMBER	4993-01-01

PLAT SHEET	4.03
PS&E SHEET	_____

SCHEDULE OF LANDS AND INTERESTS REQUIRED

AREAS SHOWN IN THE TOTAL ACRES COLUMN MAY BE APPROXIMATE AND ARE DERIVED FROM TAX ROLE OR OTHER AVAILABLE SOURCES AND MAY NOT INCLUDE LANDS OF THE OWNER WHICH ARE NOT CONTIGUOUS TO THE AREA TO BE ACQUIRED. OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY.

PARCEL NUMBER	SHEET NUMBER(S)	OWNER(S)	INTEREST REQUIRED	R/W AREA REQUIRED - SF			TLE SF REQUIRED
				NEW	EXISTING	TOTAL	
89	4.20	KENNETH R. BERNHARDT & DEBRA L. BERNHARDT	FEE, TLE	54	0	54	425
91	4.20	ORPHAN ANIMAL RESCUE AND SANCTUARY, INC.	TLE	0	0	0	630
92	4.20	LAWRENCE MICHAEL DANIELS	TLE	0	0	0	297
93	4.20	PATRICK G. MCGILLIGAN & SANDRA J. MCGILLIGAN	TLE	0	0	0	309
94	4.20	TITAN OF NEENAH LLC	TLE	0	0	0	396
96	4.20	JOSEPH J. HEIL JR. & KATHERINE M. HEIL	TLE	0	0	0	396
97	4.20	TERESA SORIANO	TLE	0	0	0	396
98	4.20	MARJORIE L. RIETVELD	TLE	0	0	0	391
99	4.19, 4.20	AEB REAL ESTATE LLC	TLE	0	0	0	1120
101	4.19	PAMELA S. DEGROOT & SHANE K. DEGROOT	TLE	0	0	0	900
102	4.19	GREG KETTNER & KELSEY KETTNER	TLE	0	0	0	338
103	4.19	ROSEGOLD, LLC	TLE	0	0	0	104
104	4.19	RANDY GRAHAM & SHELLY L. GRAHAM (PURCHASER), & 884 NEENAH LLC (VENDOR)	TLE	0	0	0	1642
105	4.19	CITY OF NEENAH	TLE	0	0	0	350
106	4.19	EARLE PROPERTIES, LLC	FEE, TLE	23	0	23	1239
107	4.20, 4.21	MICHAEL A. HENNE	TLE	0	0	0	370
108	4.21	WILLIAM M. BUKSYK & VICKI L. BUKSYK	TLE	0	0	0	363
109	4.21	GARY C. BURR	TLE	0	0	0	384
110	4.21	CITY OF NEENAH	FEE, TLE	6	0	6	128
111	4.21	ADAM CHOUINARD	TLE	0	0	0	315
112	4.21	TERRY P. SCHRAMM & CHERYL D. SCHRAMM	TLE	0	0	0	376
113	4.21	KEEN CAPITAL MANAGEMENT, LLC	FEE, TLE	2	0	2	565
114	4.21	BRADLEY J. FAHRENKRUG & KIMBERLY M. FAHRENKRUG	TLE	0	0	0	250
116	4.21	CHRISTOPHER FOREMAN & REBECCA BERGSTROM	TLE	0	0	0	265
117	4.21	CODIE EMUNSON & LEIGH ANN RASCO	TLE	0	0	0	349
118	4.21, 4.22	BENJAMIN BRAVICK	TLE	0	0	0	398
119	4.22	MARK B. MARMES	TLE	0	0	0	379
121	4.22	BRANDON HAY	TLE	0	0	0	350
122	4.22	STUYVENBERG PROPERTIES, LLC	TLE	0	0	0	387

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REVISION DATE
 9-25-2023
 11-10-2023-NC
 9-17-2024

DATE 8-1-2023
 GRID FACTOR _____



HWY: COMMERCIAL STREET
 COUNTY: WINNEBAGO

R/W PROJECT NUMBER 4993-01-01
 CONSTRUCTION PROJECT NUMBER 4993-01-01

PLAT SHEET 4.04
 PS&E SHEET _____

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SCHEDULE OF LANDS AND INTERESTS REQUIRED

AREAS SHOWN IN THE TOTAL ACRES COLUMN MAY BE APPROXIMATE AND ARE DERIVED FROM TAX ROLE OR OTHER AVAILABLE SOURCES AND MAY NOT INCLUDE LANDS OF THE OWNER WHICH ARE NOT CONTIGUOUS TO THE AREA TO BE ACQUIRED. OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY.

PARCEL NUMBER	SHEET NUMBER(S)	OWNER(S)	INTEREST REQUIRED	R/W AREA REQUIRED - SF			TLE SF
				NEW	EXISTING	TOTAL	REQUIRED
123	4.22	BRANDON P. BOETTCHER & DANA G. BOETTCHER	TLE	0	0	0	404
124	4.22	DAREN GABRIELSON	TLE	0	0	0	294
126	4.22	JENNIFER L. STEWART	TLE	0	0	0	294
127	4.22	SCOTT G. WOULF	TLE	0	0	0	403
128	4.22	KARA L. OLMSTEAD	TLE	0	0	0	454
129	4.22, 4.23, 4.24	THE GALLOWAY COMPANY	FEE, TLE	81	0	81	6547
131	4.22	WINCH ENTERPRISES LLC	FEE, TLE	5	0	5	644
132	4.22	TAMMY STEWART	TLE	0	0	0	426
133	4.22	THOMAS M. RUNNOE & KALENA DANIEL MONTGOMERY	TLE	0	0	0	396
134	4.22	LAURIE A. LORNSON & DONALD R. LORNSON	TLE	0	0	0	481
135	4.22	WINCH ENTERPRISES LLC	TLE	0	0	0	525
136	4.22	SAM NESLLER & JENNIFER NESSLER	TLE	0	0	0	558
138	4.22	DONNA MAE DE WEERT	TLE	0	0	0	614
139	4.22	CODY M. GASSERT-DEBOER & LARISSA A. KEELEY	TLE	0	0	0	780
141	4.22	GARY W. SHAW, SR. & GRETCHEN SHAW	TLE	0	0	0	557
142	4.21, 4.22	TIMOTHY R. HALL & CHARLOTTE M. HALL	TLE	0	0	0	381
143	4.21	DONALD EBELT & VICKY EBELT	TLE	0	0	0	287
144	4.21	TONY L. PROUSE	TLE	0	0	0	466
146	4.21	JAMES T. ROGERS & GLORIA J. ROGERS	TLE	0	0	0	403
147	4.21	LYNDELL M. MILLER	TLE	0	0	0	306
148	4.21	RONALD W. FLEGAL	TLE	0	0	0	925
151	4.21	JOSHUA MEULEMANS	TLE	0	0	0	445
152	4.21	ARLENE GEBHART & ANGELA GEBHART	TLE	0	0	0	434
153	4.21	NORMAN A. BOUCK	TLE	0	0	0	385
154	4.21	JASON T. VAN LINN & INDIA D. TROYER	TLE	0	0	0	353
156	4.20, 4.21	SHANNON A. GLASGOW & KAROLINE GLASGOW	TLE	0	0	0	532
157	4.24	GB MINIMART LLC	TLE	0	0	0	1375

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REVISION DATE
 9-25-2023
 11-10-2023-NC
 9-17-2024

DATE 8-1-2023
 GRID FACTOR



HWY: COMMERCIAL STREET
 COUNTY: WINNEBAGO

R/W PROJECT NUMBER 4993-01-01
 CONSTRUCTION PROJECT NUMBER 4993-01-01

PLAT SHEET 4.05
 PS&E SHEET E

SCHEDULE OF LANDS AND INTERESTS REQUIRED

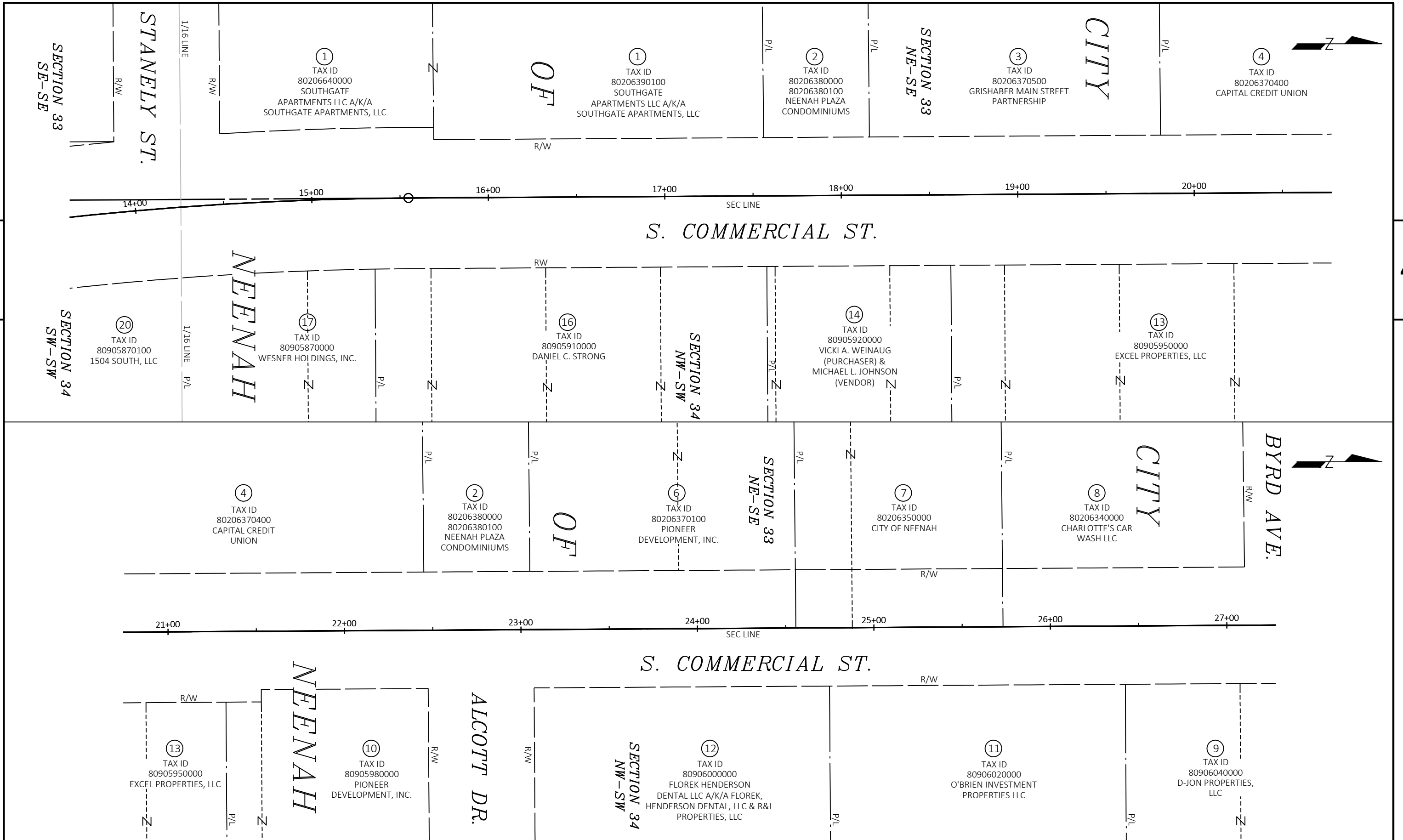
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PARCEL NUMBER	SHEET NUMBER(S)	OWNER(S)	INTEREST REQUIRED	R/W AREA REQUIRED - SF			TLE SF REQUIRED
				NEW	EXISTING	TOTAL	
158	4.24	BRIGHT STAR PROPERTIES LLC	TLE	0	0	0	643
159	4.24	WINNEBAGO COMMUNITY CREDIT UNION	TLE	0	0	0	1264
161	4.24	BRIAN BERT & LOURDES BERT	TLE	0	0	0	608
162	4.23, 4.24	COMMERCIAL STREET PROPERTY, LLC	FEE, TLE	6	0	6	1607
163	4.23	KELLY M. POLSIN	TLE	0	0	0	358
164	4.23	MEHO, LLC	TLE	0	0	0	230
165	4.23	AKEY PROPERTY MANAGEMENT LLC	TLE	0	0	0	409
166	4.23	EPL INVESTMENTS, LLC	TLE	0	0	0	240
167	4.23	LAURYN SCHMUDLACH	TLE	0	0	0	442
168	4.23	ANDREW BOEHM	TLE	0	0	0	359
169	4.23	WILLIAM P. MOORE & BARBARA R. MOORE	TLE	0	0	0	316
171	4.23	KEVIN C. MESKO & RHONDA J. MESKO	TLE	0	0	0	702
172	4.23	AVERY HEADINGTON	TLE	0	0	0	619
173	4.22, 4.23	MARIA H. VEESER	TLE	0	0	0	597
501	4.13, 4.14, 4.17	CITY OF NEENAH	RELEASE OF RIGHTS				
502	4.13, 4.14, 4.15, 4.16, 4.18, 4.19, 4.21, 4.22, 4.23	WE ENERGIES	RELEASE OF RIGHTS				
503	4.13, 4.14, 4.15, 4.16, 4.17, 4.19, 4.20, 4.21, 4.22, 4.23, 4.24	AT&T	RELEASE OF RIGHTS				
505	4.22, 4.23	SPRINT	RELEASE OF RIGHTS				

REVISION DATE 9-25-2023 11-10-2023-NC 9-17-2024	DATE 8-1-2023	SCALE, FEET 0 25 50	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER 4993-01-01	PLAT SHEET 4.06
GRID FACTOR	COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER 4993-01-01	PS&E SHEET		E

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REVISION DATE	_____
9-25-2023-NC	_____
11-10-2023-NC	_____
9-17-2024	_____

DATE	8-1-2023
GRID FACTOR	_____



HWY:	COMMERCIAL STREET
COUNTY:	WINNEBAGO

R/W PROJECT NUMBER	4993-01-01
CONSTRUCTION PROJECT NUMBER	4993-01-01

PLAT SHEET	4.07
PS&E SHEET	_____

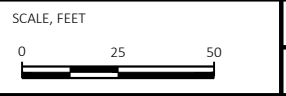


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REVISION DATE	_____	_____	_____
9-25-2023-NC	_____	_____	_____
11-10-2023-NC	_____	_____	_____
9-17-2024-NC	_____	_____	_____

DATE	8-1-2023
GRID FACTOR	_____

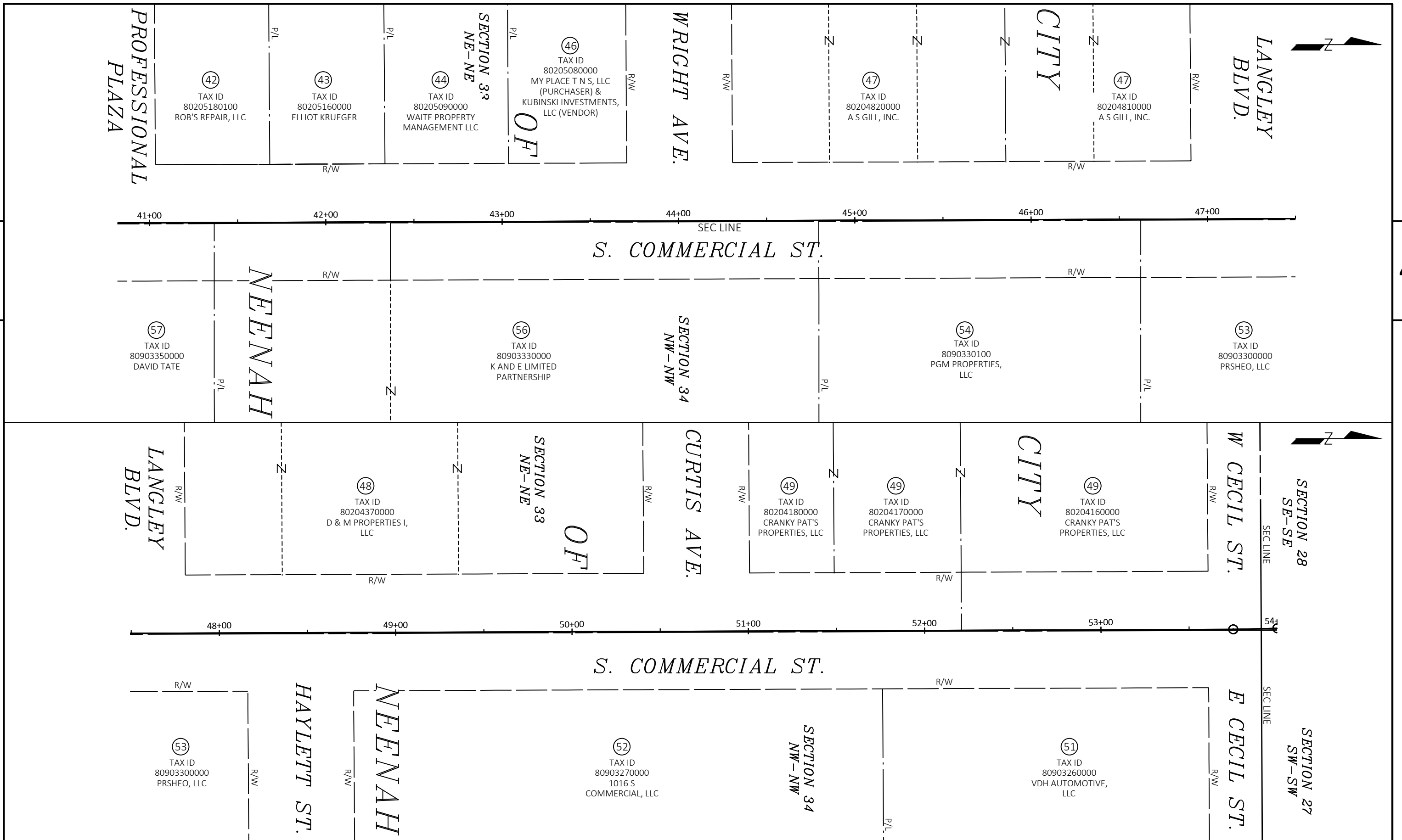


HWY:	COMMERCIAL STREET
COUNTY:	WINNEBAGO

R/W PROJECT NUMBER	4993-01-01
CONSTRUCTION PROJECT NUMBER	4993-01-01

PLAT SHEET	4.08
PS&E SHEET	_____

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REVISION DATE	_____	_____	_____
9-25-2023-NC	_____	_____	_____
11-10-2023-NC	_____	_____	_____
9-17-2024	_____	_____	_____

DATE	8-1-2023
GRID FACTOR	_____

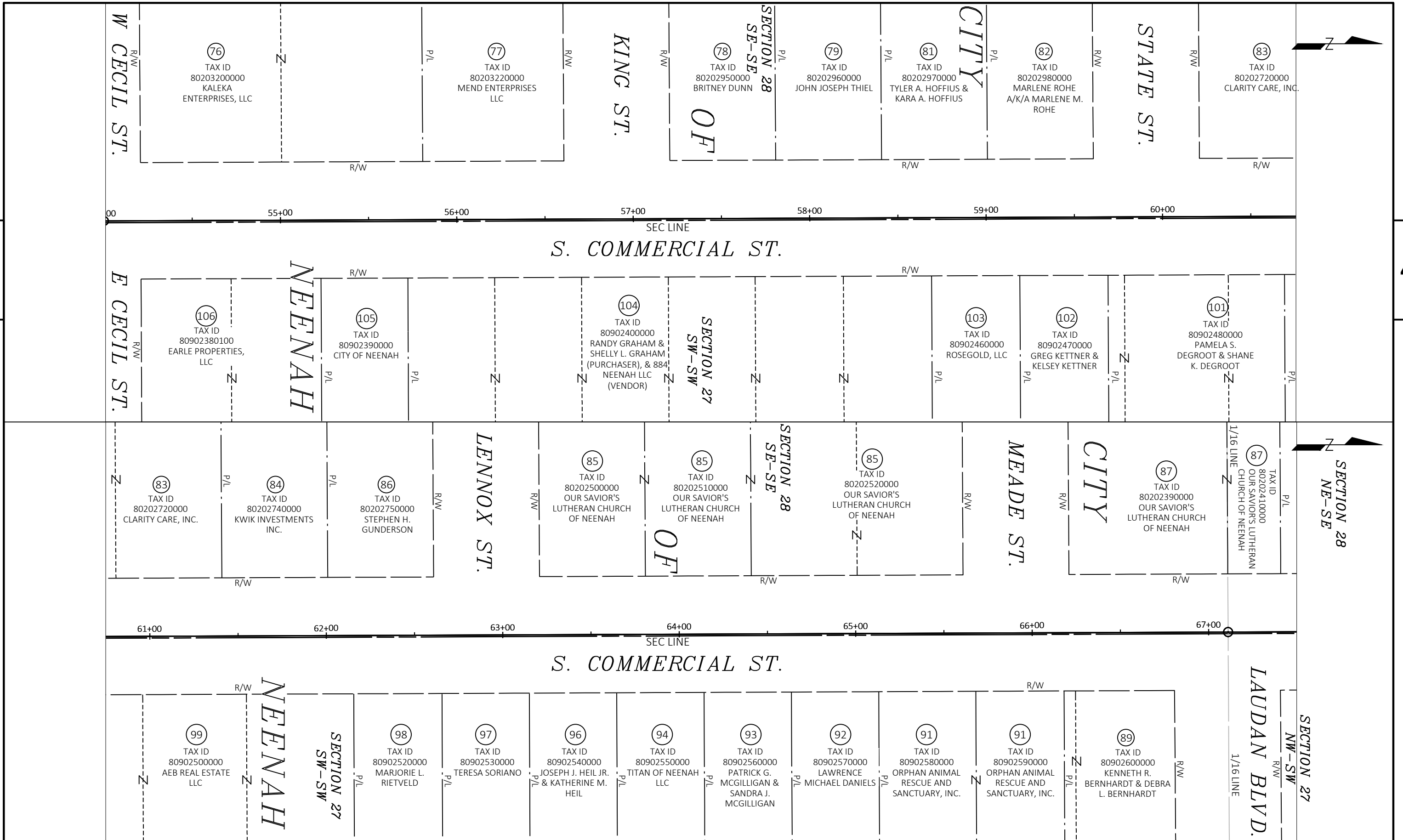


HWY:	COMMERCIAL STREET
COUNTY:	WINNEBAGO

R/W PROJECT NUMBER	4993-01-01
CONSTRUCTION PROJECT NUMBER	4993-01-01

PLAT SHEET	4.09
PS&E SHEET	_____

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REVISION DATE	DATE	SCALE, FEET	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER	PLAT SHEET
9-25-2023-NC	8-1-2023	0 25 50	COUNTY: WINNEBAGO	4993-01-01	4. 10
11-10-2023-NC				CONSTRUCTION PROJECT NUMBER	PS&E SHEET
9-17-2024				4993-01-01	

GRID FACTOR	
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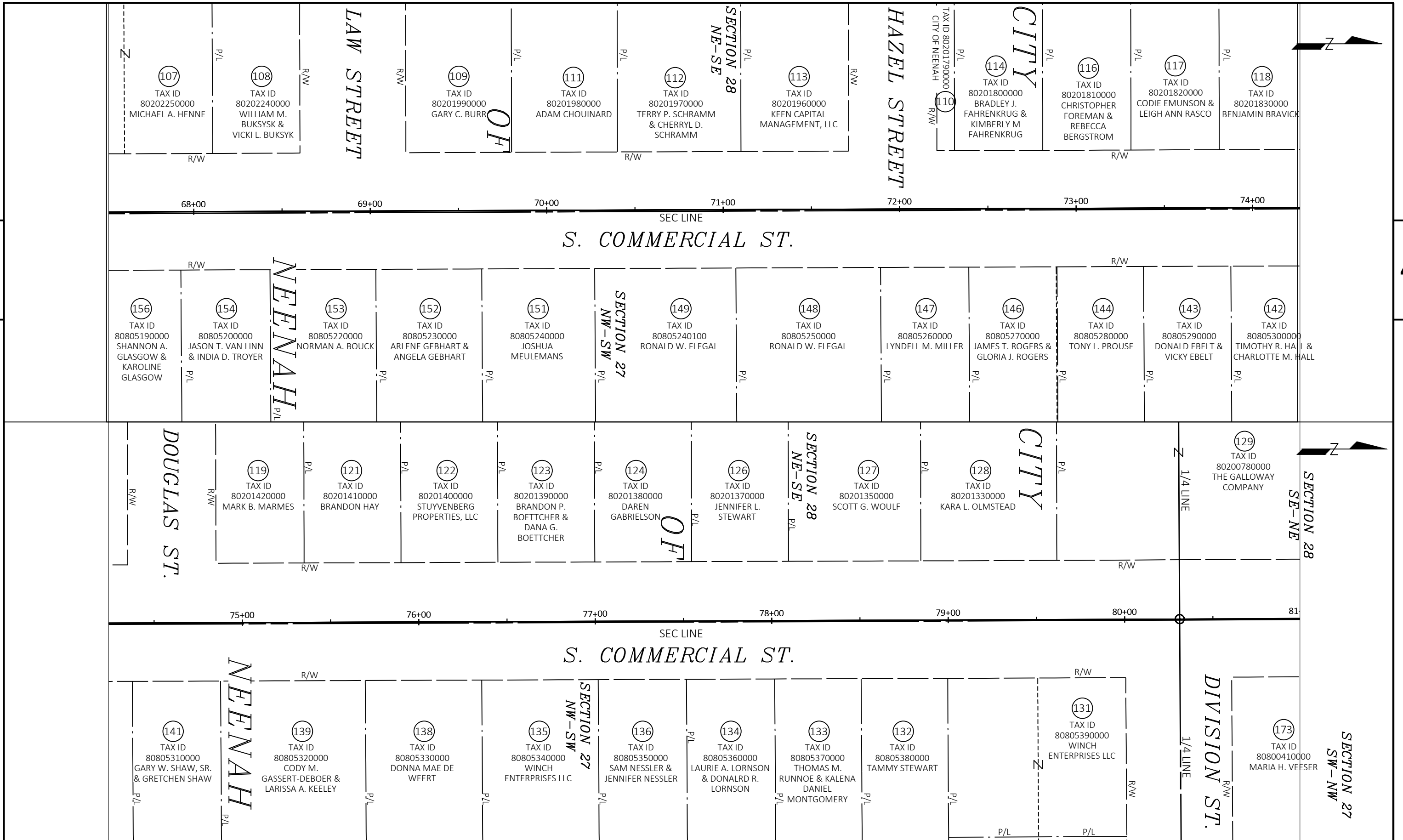


PLOT DATE:	9/19/2024 10:21 AM
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PLOT BY:	ETHAN KARLS
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PLOT NAME:	
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PLOT SCALE:	
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REVISION DATE	_____
9-25-2023-NC	_____
11-10-2023-NC	_____
9-17-2024	_____

DATE	8-1-2023
GRID FACTOR	_____

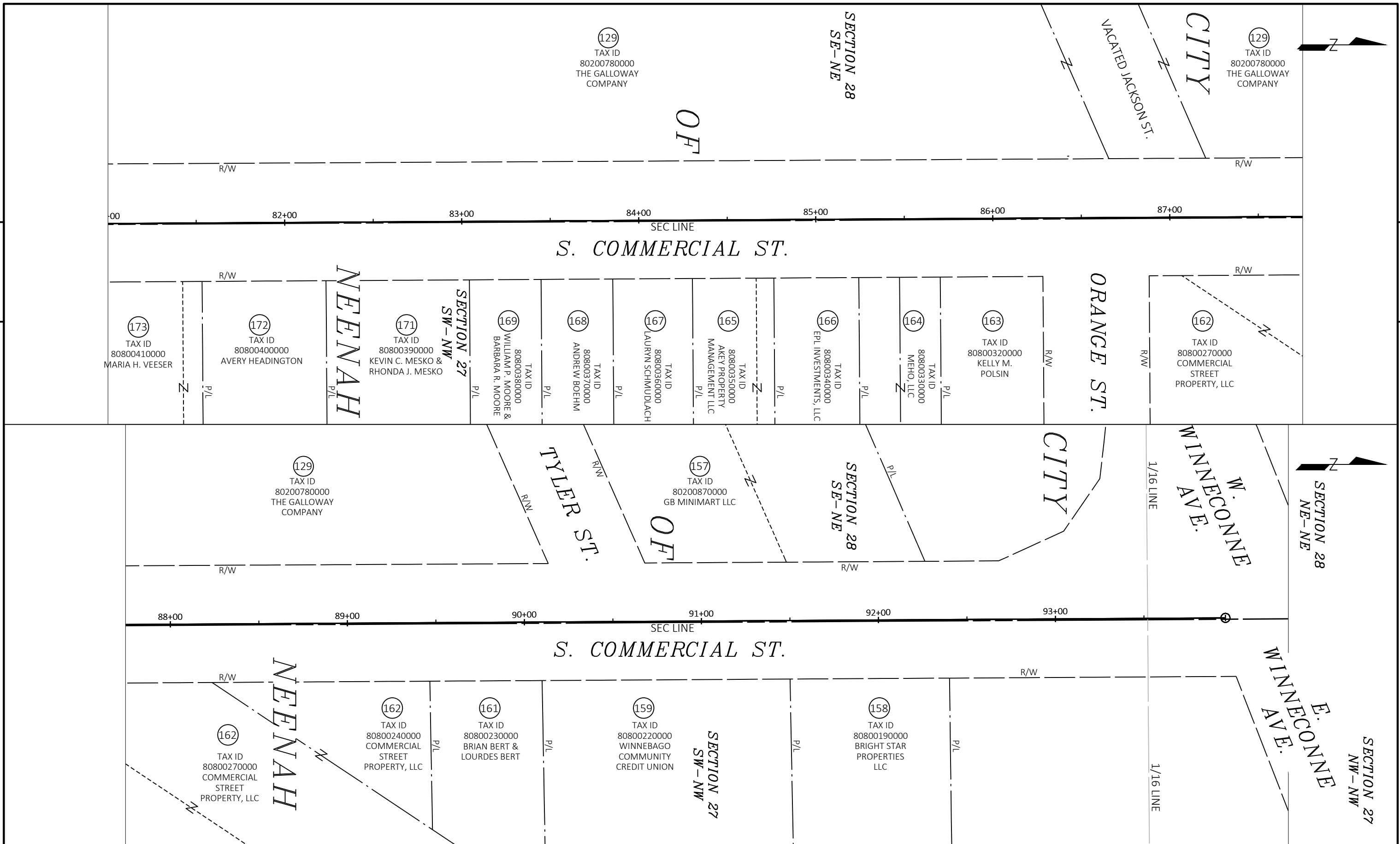


HWY:	COMMERCIAL STREET
COUNTY:	WINNEBAGO

R/W PROJECT NUMBER	4993-01-01
CONSTRUCTION PROJECT NUMBER	4993-01-01

PLAT SHEET	4. 11
PS&E SHEET	_____

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REVISION DATE	_____	_____	_____
9-25-2023	_____	_____	_____
11-10-2023-NC	_____	_____	_____
9-17-2024	_____	_____	_____

DATE	8-1-2023
GRID FACTOR	_____

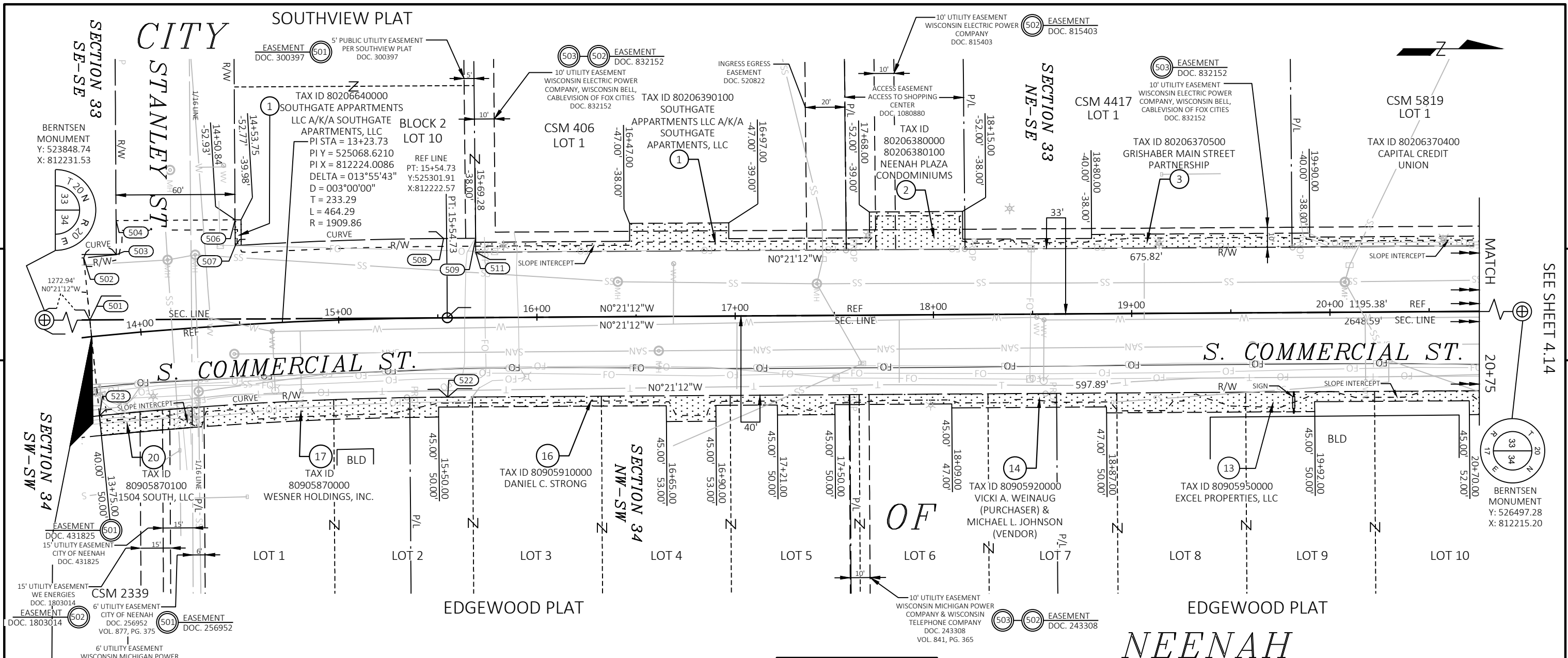


HWY:	COMMERCIAL STREET
COUNTY:	WINNEBAGO

R/W PROJECT NUMBER	4993-01-01
CONSTRUCTION PROJECT NUMBER	4993-01-01

PLAT SHEET	4. 12
PS&E SHEET	_____

E



FOUND MONUMENT TABLE		
TYPE	STA	OFFSET
1" IRON PIPE WITH CAP	14+21.38	40.16' RT
MONUMENT UNDER SIDWALK	15+33.69	39.91' RT
3/4" IRON REBAR	15+70.13	32.93' LT
1" IRON PIPE	17+55.75	42.34' RT
1" IRON PIPE	17+56.05	32.76' LT
1" IRON PIPE WITH CAP	18+15.97	33.00' LT
1" IRON PIPE	18+56.23	40.11' RT
IRON PIPE UNDER SIDWALK	19+81.31	32.72' LT

Line Table		
Line #	Length	Direction
501-502	31.51	S84° 15' 18"W
503-504	17.17	S89° 38' 51"W
504-506	60.00	N00° 21' 09"W
506-507	12.98	N89° 38' 48"E
508-509	16.18	N00° 21' 12"W
509-511	7.00	N89° 25' 48"E
501-523	48.49	N84° 15' 18"E

FEE POINT TABLE		
POINT	Y	X
501	525121.66	812223.68
502	525118.50	812192.33
503	525134.99	812190.74
504	525134.89	812173.57
506	525194.89	812173.20
507	525194.97	812186.18
508	525300.03	812182.58
509	525316.21	812182.48
511	525316.28	812189.48
522	525302.15	812262.57
523	525126.51	812271.93

Curve Table					
Curve	Length	Radius	Delta	CHORD LENGTH	CHORD BEARING
502-503	16.57	1949.86	000°29'13"	16.57	N05° 30' 05"W
507-508	105.14	1873.98	003°12'53"	105.13	N01° 57' 38"W
523-522	175.96	1869.86	005°23'30"	175.89	N03° 02' 57"W

BEGIN RELOCATION ORDER
STATION 13+75.00
 1273.76 FEET NORTH OF AND 0.60 FEET EAST OF THE SOUTHWEST CORNER OF SEC. 34, T20N, R17E, TOWN OF NEENAH, WINNEBAGO COUNTY, WISCONSIN
 Y: 525122.505
 X: 812232.127

EXISTING RIGHT-OF-WAY OF COMMERCIAL STREET IS BASED ON SUBDIVISION PLATS AND CSM'S ON FILE AT WINNEBAGO COUNTY
 TITLE NOTE: ALL TEMPORARY LIMITED EASEMENTS ON THIS RIGHT-OF-WAY PLAT ARE FOR SLOPING AND CONSTRUCTION PURPOSES

REVISION DATE 9-25-2023 11-10-2023-NC 9-17-2024	DATE 8-1-2023	SCALE, FEET 0 25 50	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER 4993-01-01	PLAT SHEET 4.13
FILE NAME: RW PLAT-3001439.DWG LAYOUT NAME: RWPLAT 4.13	GRID FACTOR		COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER 4993-01-01	PS&E SHEET E



CITY

SECTION 33
NE-SE

CSM 4745
LOT 1

SECTION 34
NW-SW

LOT 1
CSM 909

LOT 2
CSM 909

LOT 18

LOT 19

BYRD AVE.

S. COMMERCIAL ST.

ALCOTT DR.

NEENAH

EDGEWOOD PLAT

CSM 5819
LOT 1

TAX ID 80206370400
CAPITAL CREDIT UNION

TAX ID 80206380000
80206380100
NEENAH PLAZA
CONDOMINIUMS

TAX ID 80206370100
PIONEER
DEVELOPMENT, INC.

TAX ID 80206350000
CITY OF NEENAH

EASEMENT
DOC. 252371 (501)
15' SEWER EASEMENT
CITY OF NEENAH
DOC. 252371

TAX ID 80206340000
CHARLOTTE'S CAR
WASH, LLC

EASEMENT
DOC. 836563 (503) (502)
10' UTILITY EASEMENT
WISCONSIN ELECTRIC POWER
COMPANY & WISCONSIN BELL
DOC. 836563

10' UTILITY EASEMENT
WISCONSIN ELECTRIC POWER
COMPANY & WISCONSIN BELL
DOC. 836563 (502) (503)
(PER CSM)

SEE SHEET 4.13

SEE SHEET 4.15

BERNTSEN
MONUMENT
Y: 523848.74
X: 812231.53

BERNTSEN
MONUMENT
Y: 526497.28
X: 812215.20

FEE POINT TABLE

POINT	Y	X
1	526070.37	812250.83
2	526066.41	812256.86
3	525994.90	812298.30
5	526054.68	812261.93
6	525992.76	812263.49
7	525985.66	812251.36
9	526446.46	812182.51
10	526456.97	812170.45
51	525992.09	812185.31
52	525992.03	812178.32
53	526052.13	812177.94
54	526052.20	812184.94
513	526456.86	812160.66

Line Table

Line #	Length	Direction
9-10	16.00	N48° 55' 10"W
10-513	9.80	S89° 20' 43"W
513-514	39.93	N00° 39' 17"W
521-519	7.00	S89° 38' 49"W
519-7	85.67	N00° 21' 12"W
7-6	14.06	N59° 38' 48"E
6-4	34.82	N89° 18' 00"E
4-3	1.72	N00° 21' 11"W
3-520	5.00	N89° 38' 49"E
520-518	60.00	N00° 21' 11"W
518-5	41.00	S89° 38' 49"W
5-2	12.78	N23° 22' 08"W
2-1	7.21	N56° 40' 23"W

Line Table

Line #	Length	Direction
51 - 52	7.00	S89° 28' 40"W
52 - 53	60.10	N00° 21' 13"W
53 - 54	7.00	N89° 27' 11"E

FEE POINT TABLE

POINT	Y	X
518	526054.93	812302.93
519	525899.99	812251.88
520	525994.93	812303.30
521	525900.03	812258.88

FOUND MONUMENT TABLE

TYPE	STA	OFFSET
3/4" IRON REBAR	21+31.17	40.00' RT

EXISTING RIGHT-OF-WAY OF COMMERCIAL STREET IS BASED ON SUBDIVISION PLATS AND CSM'S ON FILE AT WINNEBAGO COUNTY

NOTE: ALL TEMPORARY LIMITED EASEMENTS ON THIS RIGHT-OF-WAY PLAT ARE FOR SLOPING AND CONSTRUCTION PURPOSES

REVISION DATE	DATE	SCALE, FEET	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER	4993-01-01	PLAT SHEET	4.14
9-25-2023	8-1-2023	0 25 50	COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER	4993-01-01	PS&E SHEET	E
11-10-2023-NC	GRID FACTOR						
9-17-2024							

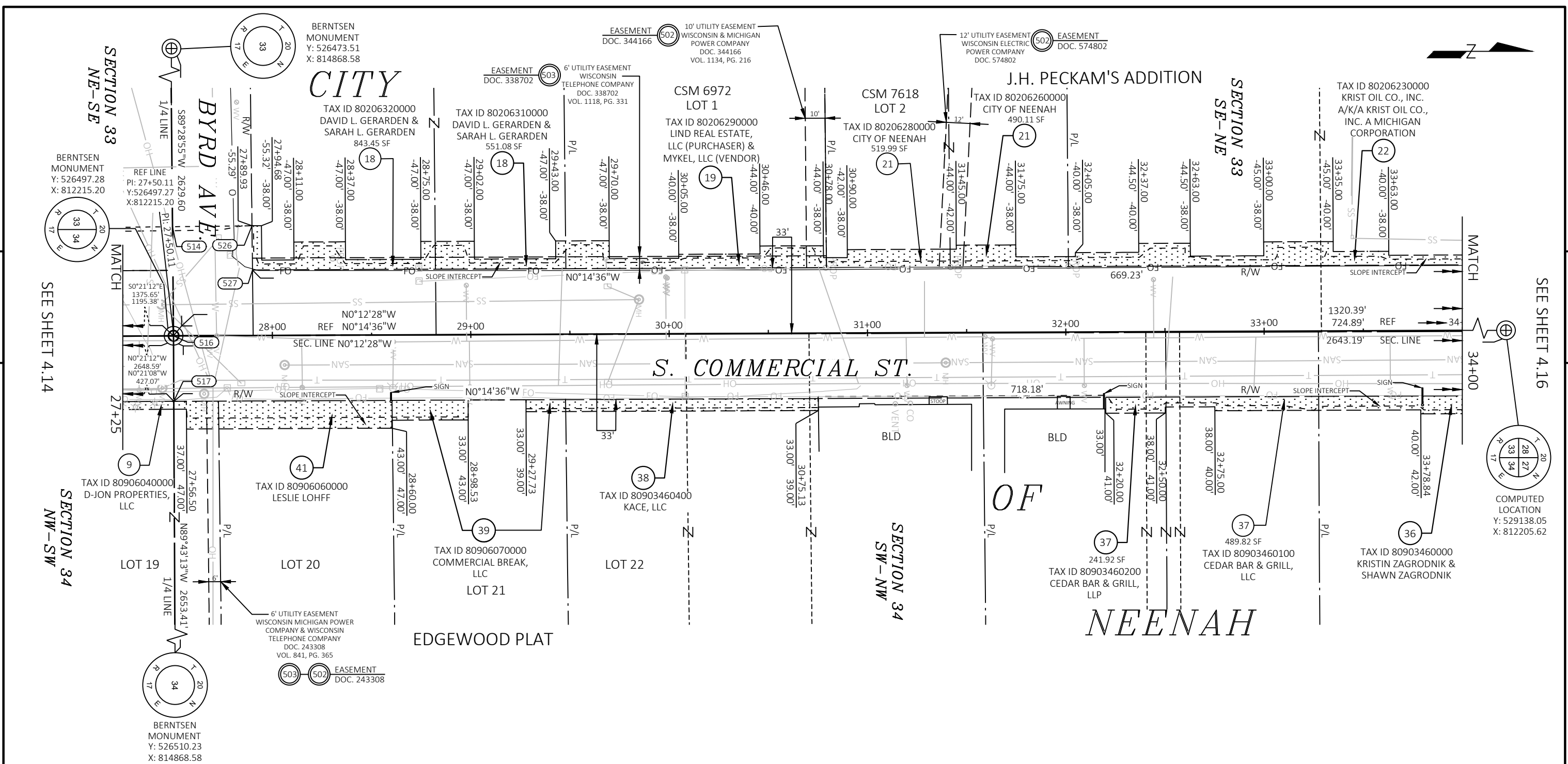
DATE	8-1-2023
GRID FACTOR	



HWY: COMMERCIAL STREET	R/W PROJECT NUMBER	4993-01-01
COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER	4993-01-01

R/W PROJECT NUMBER	4993-01-01
CONSTRUCTION PROJECT NUMBER	4993-01-01

PLAT SHEET	4.14
PS&E SHEET	E



Line Table		
Line #	Length	Direction
513-514	39.93	N00° 39' 17"W
514-516	55.00	N89° 28' 55"E
514-526	40.07	N00° 39' 17"W
526-527	22.29	N89° 20' 43"E
516-517	33.00	N89° 43' 13"E

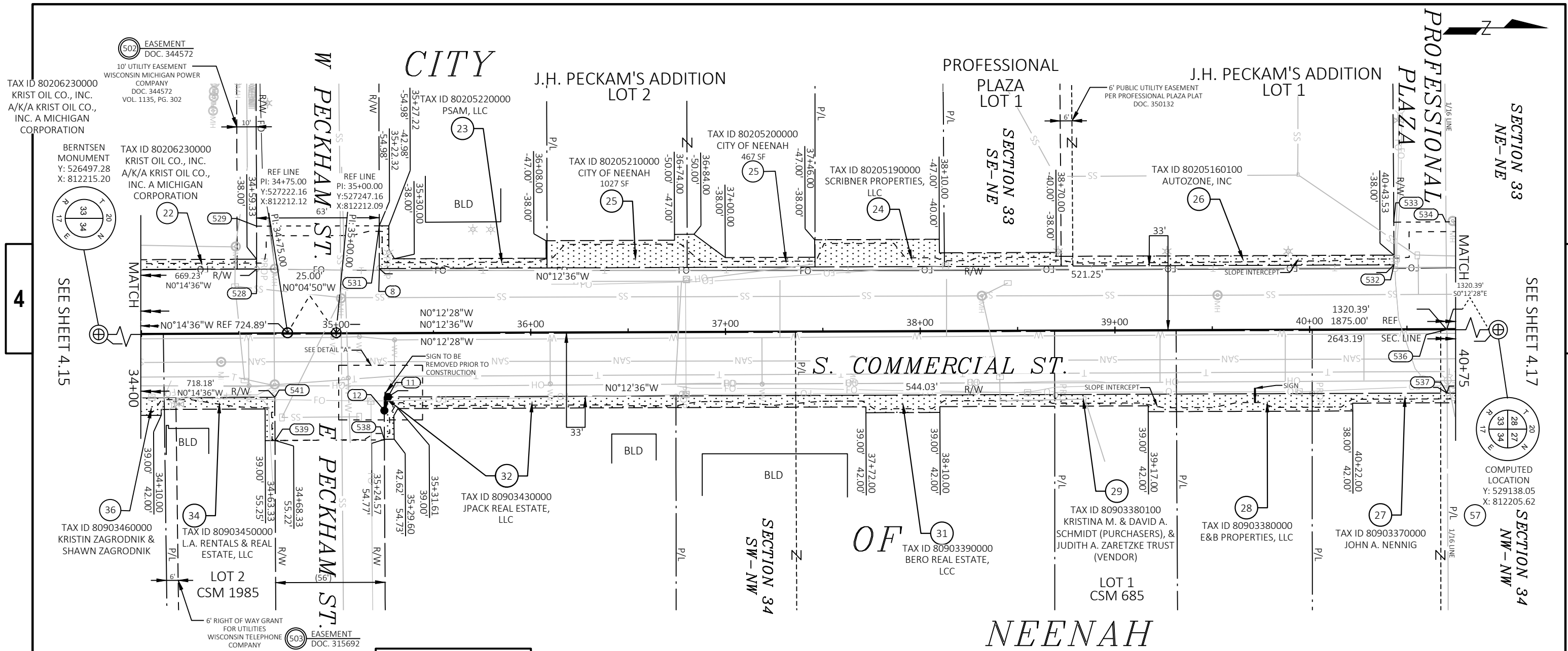
FEE POINT TABLE		
POINT	Y	X
514	526496.78	812160.20
516	526497.27	812215.20
517	526497.44	812248.21

FOUND MONUMENT TABLE		
TYPE	STA	OFFSET
1" IRON PIPE	28+30.56	38.59' LT
1" IRON PIPE	30+79.08	32.89' LT
1" IRON PIPE	31+42.02	33.02' LT
1/2" IRON REBAR	32+01.49	33.11' LT

EXISTING RIGHT-OF-WAY OF COMMERCIAL STREET IS BASED ON SUBDIVISION PLATS AND CSM'S ON FILE AT WINNEBAGO COUNTY

NOTE: ALL TEMPORARY LIMITED EASEMENTS ON THIS RIGHT-OF-WAY PLAT ARE FOR SLOPING AND CONSTRUCTION PURPOSES

REVISION DATE 9-25-2023 11-10-2023-NC 9-17-2024	DATE 8-1-2023	SCALE, FEET 0 25 50	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER 4993-01-01	PLAT SHEET 4.15
FILE NAME: RW PLAT-3001439.DWG LAYOUT NAME - RWPLAT 4.15	GRID FACTOR	PLOT DATE: 9/19/2024 10:01 AM	COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER 4993-01-01	PS&E SHEET E

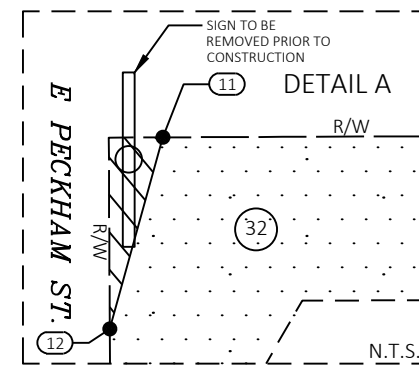


Line #	Length	Direction
528-529	21.97	S89° 49' 29"W
529-531	63.01	N00° 10' 31"W
531-8	21.98	N89° 51' 42"E
532-533	21.91	S89° 36' 32"W
533-534	26.81	N00° 23' 28"W
534-536	55.41	N89° 33' 20"E
541-539	22.22	N89° 43' 38"E
539-538	56.20	N00° 16' 21"W
538-12	15.09	S89° 43' 39"W
12-11	7.29	N74° 29' 58"W
537-536	32.59	S89° 43' 26"W

FEE POINT TABLE		
POINT	Y	X
8	527269.33	812179.00
11	527273.80	812244.99
12	527271.85	812252.01
528	527206.33	812179.19
529	527206.26	812157.21
531	527269.28	812157.02
532	527790.57	812177.09

FEE POINT TABLE		
POINT	Y	X
533	527790.42	812155.19
534	527817.24	812155.01
536	527817.66	812210.41
537	527817.82	812243.00
538	527271.92	812267.10
539	527215.72	812267.37
541	527215.62	812245.15

FOUND MONUMENT TABLE		
TYPE	STA	OFFSET
1" IRON PIPE	34+59.32	33.00' LT
3/4" IRON REBAR	35+22.30	33.26' LT
3/4" IRON REBAR	36+74.45	33.51' RT
3/4" IRON REBAR	38+69.41	33.37' RT
1" IRON PIPE	40+01.24	33.00' RT
1" IRON PIPE	40+70.99	33.00' RT



EXISTING RIGHT-OF-WAY OF COMMERCIAL STREET IS BASED ON SUBDIVISION PLATS AND CSM'S ON FILE AT WINNEBAGO COUNTY

NOTE: ALL TEMPORARY LIMITED EASEMENTS ON THIS RIGHT-OF-WAY PLAT ARE FOR SLOPING AND CONSTRUCTION PURPOSES

REVISION DATE 9-25-2023 11-10-2023-NC 9-17-2024	DATE 8-1-2023	SCALE, FEET 0 25 50	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER 4993-01-01	PLAT SHEET 4.16
FILE NAME: RW PLAT-3001439.DWG LAYOUT NAME - RWPLAT 4.16	GRID FACTOR	PLOT DATE: 9/19/2024 10:01 AM	COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER 4993-01-01	PS&E SHEET E

CITY PROFESSIONAL PLAZA

PROFESSIONAL PLAZA LOT 2
6" UTILITY EASEMENT PER PROFESSIONAL PLAZA PLAT DOC. 350132

(503) EASEMENT DOC. 340648
6' RIGHT OF WAY GRANT WISCONSIN TELEPHONE COMPANY DOC. 340648 VOL. 1123, PG. 635

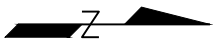
(503) EASEMENT DOC. 339141
15' RIGHT OF WAY GRANT WISCONSIN TELEPHONE COMPANY DOC. 339141 VOL. 1119, PG. 476

REPLAT OF AIRPORT HEIGHTS
TAX ID 80205080000 MY PLACE T N S, LLC (PURCHASER) & KUBINSKI INVESTMENTS, LLC (VENDOR)

SECTION 33 NE-NE

REPLAT OF AIRPORT HEIGHTS

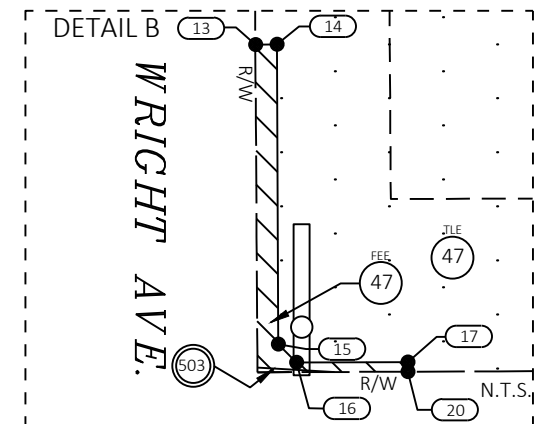
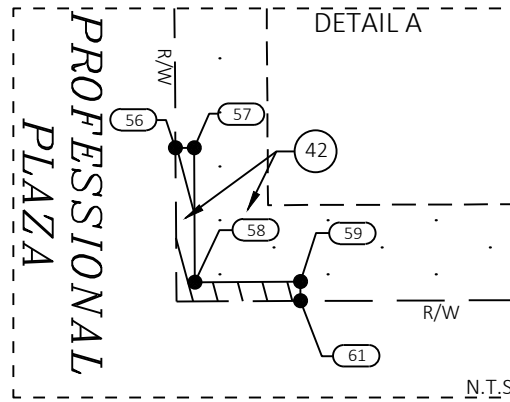
LANGLEY BLVD.



S. COMMERCIAL ST.

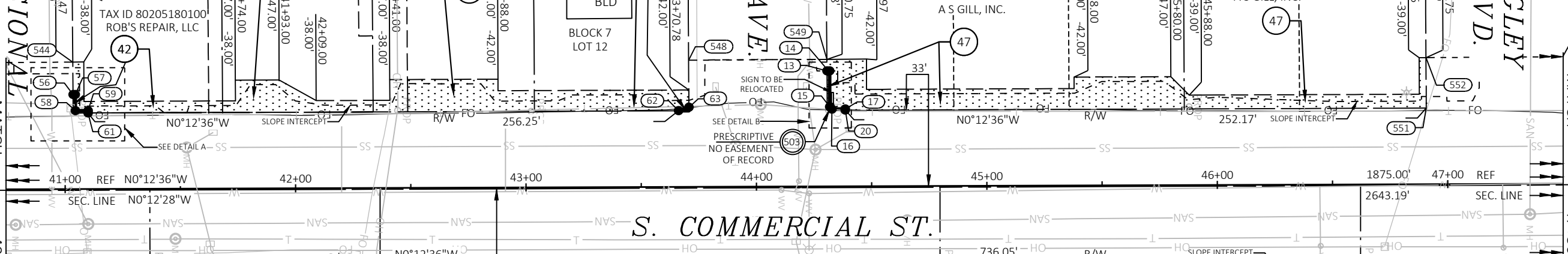
OF SECTION 34 NW-NW

NEENAH



EXISTING RIGHT-OF-WAY OF COMMERCIAL STREET IS BASED ON SUBDIVISION PLATS AND CSM'S ON FILE AT WINNEBAGO COUNTY

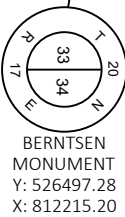
FILE NOTE: ALL TEMPORARY LIMITED EASEMENTS ON THIS RIGHT-OF-WAY PLAT ARE FOR SLOPING AND CONSTRUCTION PURPOSES



FOUND MONUMENT TABLE		
TYPE	STA	OFFSET
2" IRON PIPE	41+03.41	32.89' LT
1" IRON PIPE	41+36.66	33.15' RT
1" IRON PIPE	42+44.40	33.57' LT
RAILROAD SPIKE	43+02.29	32.93' LT
1" IRON PIPE	44+31.32	33.00' LT
3/4" IRON REBAR	44+79.53	33.35' RT
1" IRON PIPE	45+87.74	33.89' LT
3/4" IRON REBAR	46+62.06	33.21' RT

FEE POINT TABLE			
POINT	Y	X	
13	528177.72	812158.61	
14	528178.85	812158.60	
15	528178.91	812174.21	
16	528179.87	812175.17	
17	528185.66	812175.15	
20	528185.67	812175.65	
56	527850.52	812168.87	
57	527851.50	812168.87	
58	527851.53	812175.87	
59	527857.03	812175.85	
61	527857.03	812176.85	
62	528113.28	812175.91	
63	528117.83	812174.40	
544	527850.42	812154.78	
548	528117.69	812153.98	
549	528177.69	812153.59	
551	528437.83	812174.72	
552	528437.69	812152.86	

Line Table			
Line #	Length	Direction	
534-544	33.19	N00° 23' 28"W	
544-56	14.10	N89° 36' 32"E	
56-57	0.98	N00° 12' 36"W	
57-58	7.00	N89° 47' 24"E	
58-59	5.50	N00° 12' 36"W	
59-61	1.00	N89° 47' 24"E	
62-63	4.79	N18° 26' 39"W	
63-548	20.42	S89° 37' 42"W	
548-549	60.00	N00° 22' 18"W	
549-13	5.01	N89° 37' 42"E	
13-14	1.13	N00° 17' 57"W	
14-15	15.61	N89° 47' 32"E	
15-16	1.35	N44° 47' 24"E	
16-17	5.79	N00° 12' 36"W	
17-20	0.50	N89° 47' 24"E	
551-552	21.87	S89° 37' 42"W	
552-553	90.00	N00° 22' 18"W	



REVISION DATE	DATE	SCALE, FEET	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER	4993-01-01	PLAT SHEET	4.17
9-25-2023	8-1-2023	0 25 50	COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER	4993-01-01	PS&E SHEET	
11-10-2023							
9-17-2024							

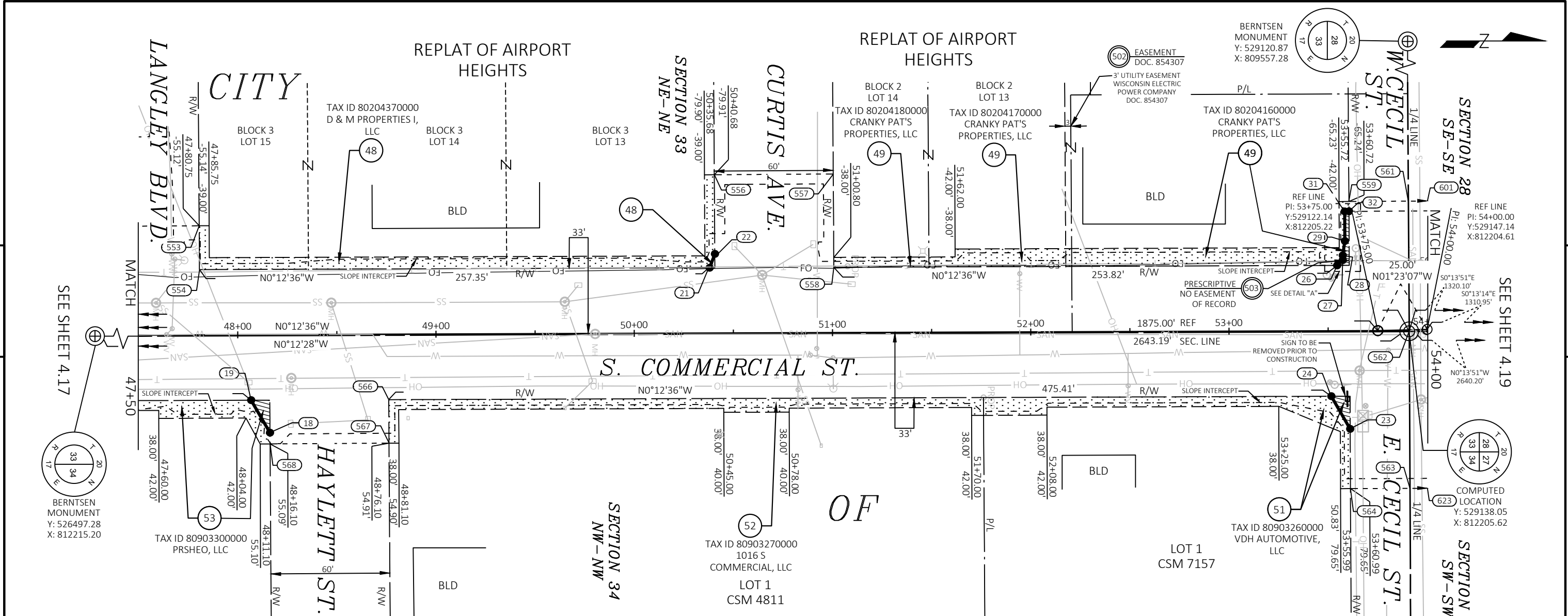
GRID FACTOR	
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DATE	8-1-2023
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SCALE, FEET	0 25 50
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HWY: COMMERCIAL STREET	R/W PROJECT NUMBER	4993-01-01	PLAT SHEET	4.17
COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER	4993-01-01	PS&E SHEET	



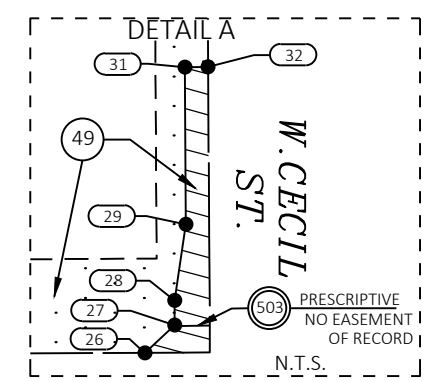
FEE POINT TABLE		
POINT	Y	X
18	528563.41	812256.69
19	528553.86	812240.30
21	528785.19	812173.45
22	528787.79	812166.52
23	529108.28	812254.76
24	529098.70	812238.30
26	529101.65	812172.29
27	529104.48	812169.63
28	529104.47	812167.28
29	529105.55	812160.02
31	529105.45	812145.04
32	529107.66	812145.03
553	528527.69	812152.27

FEE POINT TABLE		
POINT	Y	X
554	528527.83	812174.39
556	528787.53	812126.53
557	528847.53	812126.14
558	528847.83	812173.22
559	529107.62	812140.03
561	529137.62	812139.83
562	529138.05	812205.62
563	529138.43	812284.77
564	529108.43	812284.91
566	528623.30	812240.04
567	528623.44	812261.96
568	528563.44	812262.35

Line Table		
Line #	Length	Direction
552-553	90.00	N00° 22' 18"W
553-554	22.12	N89° 37' 42"E
21-22	7.41	N69° 25' 25"W
22-556	39.99	S89° 37' 42"W
556-557	60.00	N00° 22' 18"W
557-558	47.08	N89° 37' 42"E
26-27	3.88	N43° 11' 05"W
27-28	2.35	S89° 37' 42"W
28-29	7.34	N81° 30' 55"W
29-31	14.98	S89° 37' 42"W
31-32	2.20	N00° 22' 18"W

Line Table		
Line #	Length	Direction
32-559	5.00	S89° 37' 42"W
559-561	30.00	N00° 22' 18"W
561-562	65.79	N89° 37' 42"E
19-18	18.97	N59° 47' 24"E
18-568	5.66	N89° 37' 24"E
568-567	60.00	N00° 22' 36"W
567-566	21.91	S89° 37' 24"W
24-23	19.04	N59° 47' 24"E
23-564	30.16	N89° 43' 39"E
564-563	30.00	N00° 16' 21"W
563-562	79.15	S89° 43' 39"W

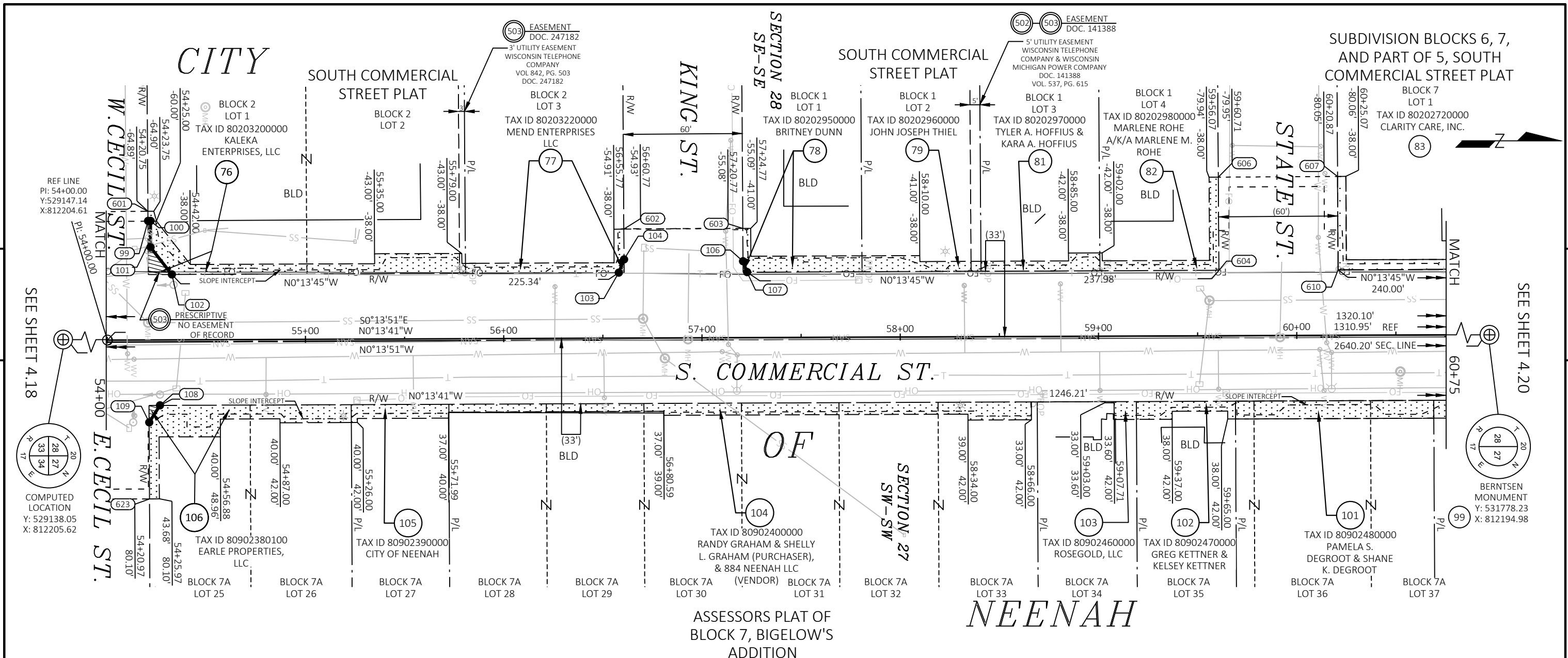
FOUND MONUMENT TABLE		
TYPE	STA	OFFSET
1" IRON PIPE (LAYING ON SIDE)	51+07.74	33.47' LT
1" IRON PIPE	51+76.02	33.00' RT



EXISTING RIGHT-OF-WAY OF COMMERCIAL STREET IS BASED ON SUBDIVISION PLATS AND CSM'S ON FILE AT WINNEBAGO COUNTY

FILE NOTE: ALL TEMPORARY LIMITED EASEMENTS ON THIS RIGHT-OF-WAY PLAT ARE FOR SLOPING AND CONSTRUCTION PURPOSES

REVISION DATE 9-25-2023 11-10-2023-NC 9-17-2024-NC	DATE 8-1-2023	SCALE, FEET 0 25 50	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER 4993-01-01	PLAT SHEET 4.18
GRID FACTOR			COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER 4993-01-01	PS&E SHEET



**ASSESSORS PLAT OF
BLOCK 7, BIGELOW'S
ADDITION
NEENAH**

Line #	Length	Direction
561-601	30.00	N00° 22' 18"W
601-99	4.89	N89° 37' 42"E
99-100	1.24	N00° 22' 18"W
100-101	13.22	N89° 46' 19"E
101-102	17.48	N51° 56' 23"E
103-104	7.17	N67° 42' 07"W
104-602	15.32	S89° 37' 42"W
602-603	60.00	N00° 22' 18"W

Line #	Length	Direction
603-106	16.64	N89° 37' 42"E
106-107	5.83	N69° 19' 17"E
604-606	46.96	S89° 37' 42"W
606-607	60.16	N00° 19' 37"W
607-610	47.06	N89° 40' 23"E
563-623	30.00	N00° 16' 21"W
623-109	38.57	S89° 43' 39"W
109-108	10.14	N57° 28' 43"W

POINT	Y	X
99	529167.65	812144.53
100	529168.90	812144.52
101	529168.95	812157.74
102	529179.73	812171.50
103	529405.06	812170.60
104	529407.79	812163.97
106	529467.79	812164.89
107	529469.85	812170.34

POINT	Y	X
108	529173.70	812237.51
109	529168.24	812246.06
601	529167.62	812139.64
602	529407.69	812148.65
603	529467.68	812148.26
604	529707.83	812169.39
606	529707.52	812122.43
623	529168.43	812284.63

FOUND MONUMENT TABLE		
TYPE	STA	OFFSET
3/4" IRON REBAR	55+80.48	33.00' LT
MONUMENT UNDER SIDEWALK	57+80.35	33.00' LT
1" IRON PIPE	58+40.37	33.10' LT
2" IRON PIPE	58+66.81	34.16' RT
3/4" IRON REBAR	59+00.91	33.29' LT
1" IRON PIPE	60+21.10	33.40' LT

EXISTING RIGHT-OF-WAY OF COMMERCIAL STREET IS BASED ON SUBDIVISION PLATS AND CSM'S ON FILE AT WINNEBAGO COUNTY

TITLE NOTE: ALL TEMPORARY LIMITED EASEMENTS ON THIS RIGHT-OF-WAY PLAT ARE FOR SLOPING AND CONSTRUCTION PURPOSES

REVISION DATE 9-25-2023 11-10-2023-NC 9-17-2024-NC	DATE <u>8-1-2023</u>	SCALE, FEET 0 25 50	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER 4993-01-01	PLAT SHEET 4.19
GRID FACTOR	COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER 4993-01-01	PS&E SHEET		E

SUBDIVISION BLOCKS 6, 7,
AND PART OF 5, SOUTH
COMMERCIAL STREET PLAT

SUBDIVISION BLOCKS 6, 7,
AND PART OF 5, SOUTH
COMMERCIAL STREET PLAT

SUBDIVISION BLOCKS 6, 7,
AND PART OF 5, SOUTH
COMMERCIAL STREET PLAT

CITY

LENNONX ST.

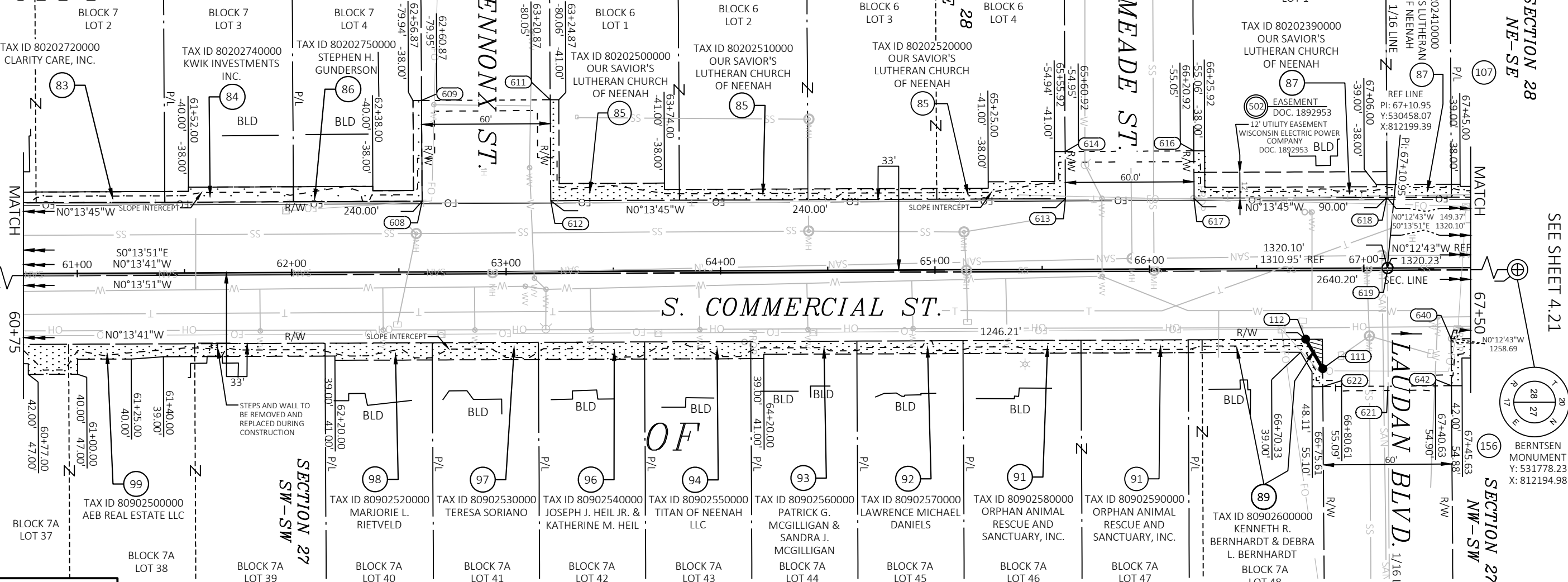
MEADE ST.

LAUDAN BLVD.

S. COMMERCIAL ST.

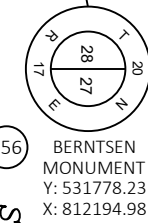
NEENAH

ASSESSORS PLAT OF
BLOCK 7, BIGELOW'S
ADDITION



SEE SHEET 4.19

SEE SHEET 4.21



Line #	Length	Direction
608-609	46.96	S89° 40' 23"W
609-611	60.00	N00° 19' 37"W
611-612	47.06	N89° 40' 23"E
613-614	21.95	S89° 40' 23"W
614-616	60.00	N00° 19' 37"W
616-617	22.05	N89° 40' 23"E
618-619	33.91	N89° 40' 23"E
112-111	15.90	N59° 46' 19"E
111-622	8.32	N89° 35' 50"E
622-621	30.50	N00° 24' 10"W
621-619	54.09	S89° 40' 10"W
621-642	29.50	N00° 24' 10"W
642-640	21.90	S89° 35' 50"W

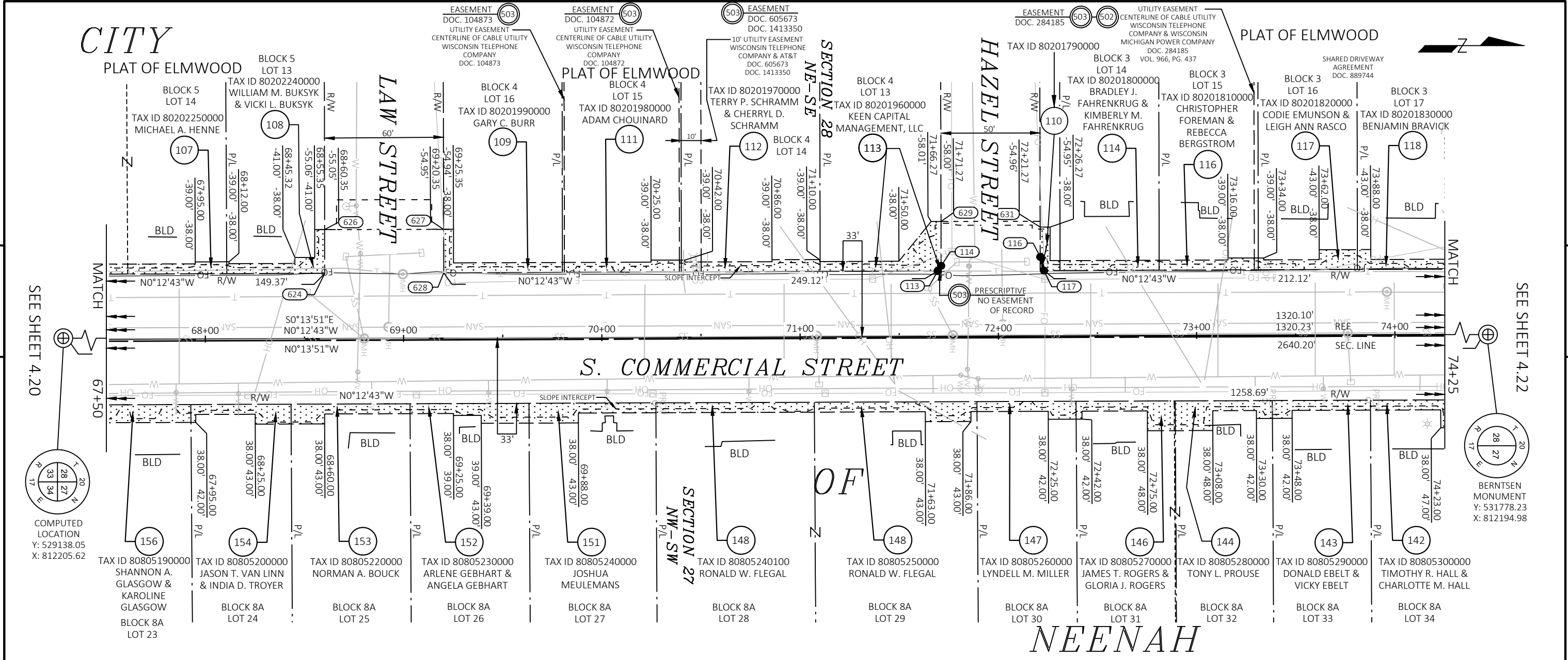
FEE POINT TABLE		
POINT	Y	X
111	530427.90	812246.28
112	530419.89	812232.55
607	529767.68	812122.09
608	530007.95	812168.19
609	530007.68	812121.24
610	529767.95	812169.15
611	530067.68	812120.90
612	530067.95	812167.95
613	530307.95	812166.99

FEE POINT TABLE		
POINT	Y	X
614	530307.82	812145.04
616	530367.82	812144.70
617	530367.95	812166.75
618	530457.95	812166.39
619	530458.14	812200.30
621	530458.45	812254.39
622	530427.95	812254.60
640	530487.80	812232.28
642	530487.95	812254.18

FOUND MONUMENT TABLE		
TYPE	STA	OFFSET
1" IRON ROD	64+11.06	33.26' RT
MONUMENT UNDER SIDEWALK	66+20.59	32.87' LT
1" IRON ROD	67+40.55	33.00' RT

EXISTING RIGHT-OF-WAY OF COMMERCIAL STREET IS BASED ON SUBDIVISION PLATS AND CSM'S ON FILE AT WINNEBAGO COUNTY
 TITLE NOTE: ALL TEMPORARY LIMITED EASEMENTS ON THIS RIGHT-OF-WAY PLAT ARE FOR SLOPING AND CONSTRUCTION PURPOSES

REVISION DATE 9-25-2023 11-10-2023-NC 9-17-2024	DATE 8-1-2023	SCALE, FEET 0 25 50	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER 4993-01-01	PLAT SHEET 4.20
GRID FACTOR			COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER 4993-01-01	PS&E SHEET



SEE SHEET 4.20

SEE SHEET 4.22



FEE POINT TABLE		
POINT	Y	X
113	530916.43	812164.70
114	530918.22	812162.11
116	530968.22	812157.62
117	530970.09	812164.50
624	530607.32	812165.84
626	530607.27	812143.79
627	530667.27	812143.67
628	530667.32	812165.62
629	530918.18	812139.70
631	530968.18	812139.60

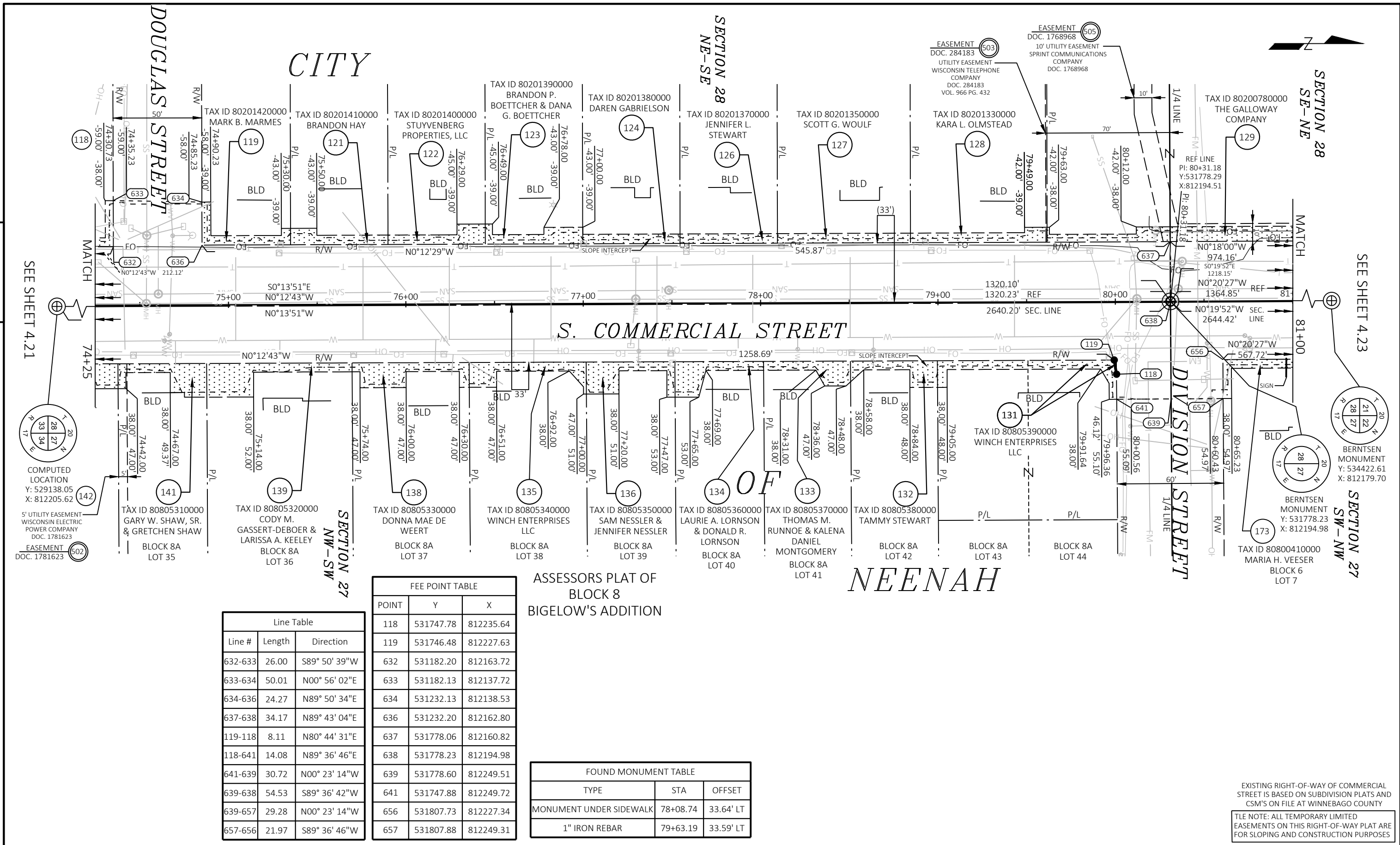
Line Table		
Line #	Length	Direction
624-626	22.05	S89° 53' 11"W
626-627	60.00	N00° 06' 49"W
627-628	21.95	N89° 53' 11"E
113-114	3.15	N55° 22' 35"W
114-629	22.41	S89° 53' 11"W
629-631	50.00	N00° 06' 49"W
631-116	18.03	N89° 53' 11"E
116-117	7.13	N74° 47' 17"E

FOUND MONUMENT TABLE		
TYPE	STA	OFFSET
1" IRON PIPE (BENT)	70+26.73	33.25' RT
MONUMENT UNDER SIDEWALK	73+31.20	33.00' LT
3/4" IRON REBAR	73+34.28	32.90' RT
1" IRON PIPE	73+86.43	33.00' RT

EXISTING RIGHT-OF-WAY OF COMMERCIAL STREET IS BASED ON SUBDIVISION PLATS AND CSM'S ON FILE AT WINNEBAGO COUNTY

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REVISION DATE 9-25-2023 11-10-2023-NC 9-17-2024	DATE 8-1-2023	SCALE, FEET 0 25 50	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER 4993-01-01	PLAT SHEET 4.21
GRID FACTOR			COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER 4993-01-01	PS&E SHEET
FILE NAME: RW PLAT-3001439.DWG LAYOUT NAME - RWPLAT 4.21	DATE: 9/19/2024 10:18 AM	PLOT BY: ETHAN KARLS	PLOT NAME:	PLOT SCALE:	WISDOT/CADD'S SHEET 75



ASSESSORS PLAT OF
BLOCK 8
BIGELOW'S ADDITION

Line Table		
Line #	Length	Direction
632-633	26.00	S89° 50' 39"W
633-634	50.01	N00° 56' 02"E
634-636	24.27	N89° 50' 34"E
637-638	34.17	N89° 43' 04"E
119-118	8.11	N80° 44' 31"E
118-641	14.08	N89° 36' 46"E
641-639	30.72	N00° 23' 14"W
639-638	54.53	S89° 36' 42"W
639-657	29.28	N00° 23' 14"W
657-656	21.97	S89° 36' 46"W

FEE POINT TABLE		
POINT	Y	X
118	531747.78	812235.64
119	531746.48	812227.63
632	531182.20	812163.72
633	531182.13	812137.72
634	531232.13	812138.53
636	531232.20	812162.80
637	531778.06	812160.82
638	531778.23	812194.98
639	531778.60	812249.51
641	531747.88	812249.72
656	531807.73	812227.34
657	531807.88	812249.31

FOUND MONUMENT TABLE		
TYPE	STA	OFFSET
MONUMENT UNDER SIDEWALK	78+08.74	33.64' LT
1" IRON REBAR	79+63.19	33.59' LT

REVISION DATE 9-25-2023 11-10-2023-NC 9-17-2024-NC	DATE 8-1-2023	SCALE, FEET 0 25 50	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER 4993-01-01	PLAT SHEET 4.22
FILE NAME : RW PLAT-3001439.DWG LAYOUT NAME - RWPLAT 4.22	GRID FACTOR	PLOT DATE : 9/19/2024 10:19 AM	COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER 4993-01-01	PS&E SHEET E

EXISTING RIGHT-OF-WAY OF COMMERCIAL STREET IS BASED ON SUBDIVISION PLATS AND CSM'S ON FILE AT WINNEBAGO COUNTY

FILE NOTE: ALL TEMPORARY LIMITED EASEMENTS ON THIS RIGHT-OF-WAY PLAT ARE FOR SLOPING AND CONSTRUCTION PURPOSES



CITY

SECTION 28
SE-NE

SECTION 27
SW-NW

S. COMMERCIAL STREET

NEENAH

ORANGE STREET

TAX ID 80200780000
THE GALLOWAY
COMPANY

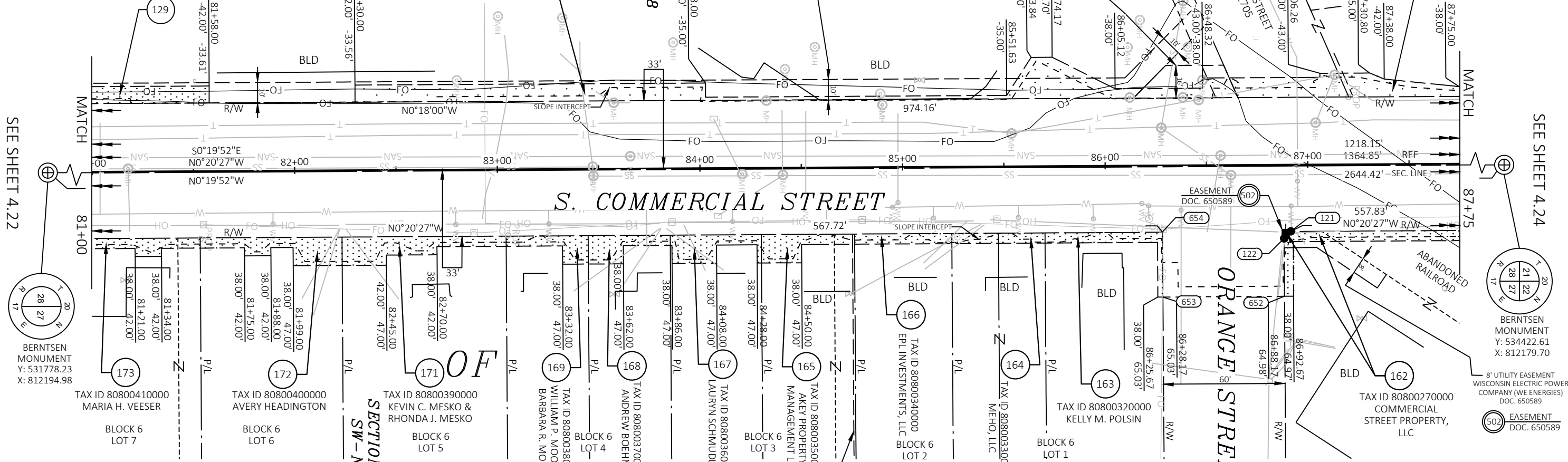
TAX ID 80200780000
THE GALLOWAY
COMPANY

505 EASEMENT
DOC. 1768968
10' UTILITY EASEMENT
SPRINT COMMUNICATIONS
COMPANY
DOC. 1768968

503 EASEMENT
DOC. 1828050
16' UTILITY EASEMENT
AT&T CORPORATION
DOC. 1828050

509 EASEMENT
DOC. 1217498
10' UTILITY EASEMENT
AT&T CORPORATION
DOC. 1217498

12' DISTRIBUTION EASEMENT
WISCONSIN ELECTRIC POWER
COMPANY (WE ENERGIES)
DOC. 1687839



SEE SHEET 4.22

SEE SHEET 4.24

BERNTSEN
MONUMENT
Y: 531778.23
X: 812194.98

BERNTSEN
MONUMENT
Y: 534422.61
X: 812179.70

FEE POINT TABLE		
POINT	Y	X
121	532438.73	812223.58
122	532435.46	812227.09
652	532435.66	812255.58
653	532375.66	812255.99
654	532375.44	812223.96

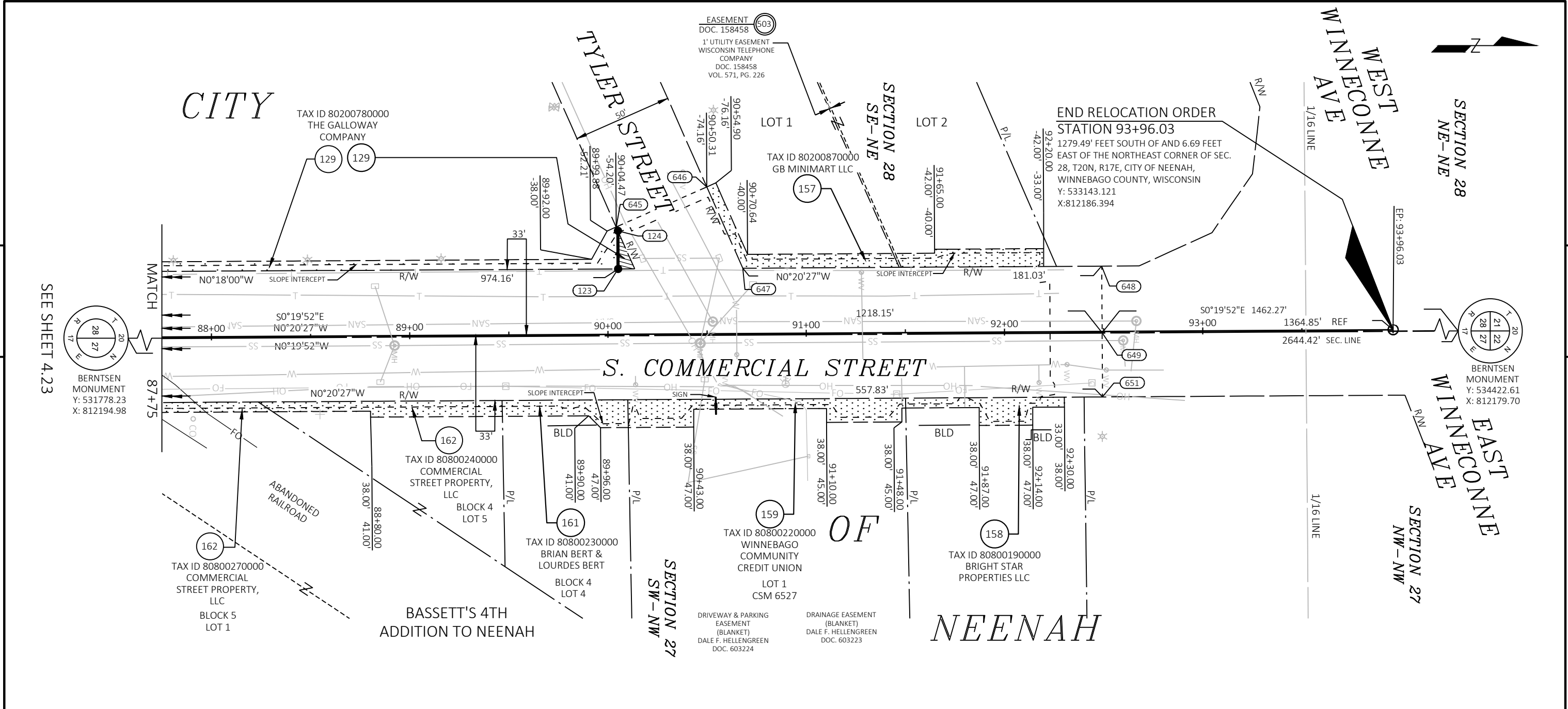
Line Table		
Line #	Length	Direction
654-653	32.03	N89° 36' 42"E
653-652	60.00	N00° 23' 18"W
652-122	28.49	S89° 36' 42"W
122-121	4.79	N46° 59' 43"W

FOUND MONUMENT TABLE		
TYPE	STA	OFFSET
3/4" IRON REBAR (BENT)	81+53.35	33.54' RT
3/4" IRON REBAR (BENT)	83+05.12	32.72' RT
CHISELED MARK IN SIDEWALK	87+20.20	33.19' LT

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REVISION DATE 9-25-2023 11-10-2023-NC 9-17-2024	DATE 8-1-2023	SCALE, FEET 0 25 50	HWY: COMMERCIAL STREET	R/W PROJECT NUMBER 4993-01-01	PLAT SHEET 4.23
GRID FACTOR			COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER 4993-01-01	PS&E SHEET



FEE POINT TABLE		
POINT	Y	X
123	532752.21	812155.71
124	532752.10	812136.47
645	532751.24	812134.52
646	532796.97	812114.29
647	532815.13	812155.34
648	532996.16	812154.27
649	532996.36	812187.94
651	532996.55	812220.27

Line Table		
Line #	Length	Direction
123-124	19.25	S89° 41' 59"W
124-645	2.13	S66° 07' 59"W
645-646	50.00	N23° 52' 01"W
646-647	44.89	N66° 07' 59"E
648-649	33.67	N89° 39' 33"E
651-649	32.33	S89° 39' 33"W

FOUND MONUMENT TABLE		
TYPE	STA	OFFSET
CHISELED MARK IN SIDEWALK	90+13.78	32.92' LT
CHISELED MARK IN SIDEWALK	90+68.54	32.30' LT
1" IRON PIPE	91+49.50	33.16' RT
MAG NAIL	91+93.92	32.71' RT
3/4" IRON REBAR	92+26.95	33.62' LT
3/4" IRON REBAR	92+40.54	33.10' RT

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GRID FACTOR			COUNTY: WINNEBAGO	CONSTRUCTION PROJECT NUMBER 4993-01-01	PS&E SHEET