



NEENAH PLAN COMMISSION

June 7, 2022

4:15 P.M.

Hauser Room, City Administration Building

1. Approval of Minutes: **May 10, 2022**
2. Public Appearances (Ten minutes divided among those wishing to speak on topics pertinent to the Plan Commission)
3. Public Hearings:
 - a. **Comprehensive Plan Amendment #1-22** - Future Land Use Map = Northwest corner of Marathon Avenue and Byrd Avenue
 - b. **Rezoning #2-22** - 2001 Marathon Avenue - I-2, General Industrial District to C-1, General Commercial District
4. Action Items:
 - a. **Comprehensive Plan Amendment #1-22** - Future Land Use Map = Northwest corner of Marathon Avenue and Byrd Avenue (Ord. No. 2022-14)
 - b. **Rezoning #2-22** - 2001 Marathon Avenue - I-2, General Industrial District to C-1, General Commercial District (Ord. No. 2022-13)
 - c. **Site Plan #4-22** - 1515 S. Commercial Street - Car Wash
 - d. **CSM #6-22** - Woodenshoe Road - 2 Lots
5. Announcements and future agenda items:
 - a. Next Meeting: June 28, 2022

Neenah City Hall is accessible to the physically disadvantaged.
If special accommodations are needed please contact the
Department of Community Development Office
at 886-6125 at least 24 hours in advance of the meeting.

MINUTES OF THE NEENAH PLAN COMMISSION
Tuesday, May 10, 2022
4:15 p.m.

Present:

Mayor Jane Lang, Chairman	PRESENT	Gerry Kaiser, Director of Public Works	PRESENT	Brian Epley	ABSENT
Kate Hancock-Cooke	PRESENT	Karen Genett	PRESENT	Betsy Ellenberger	ABSENT
Gerry Andrews	PRESENT	Ald. Dan Steiner	PRESENT		

Also present:

Chris Haese, Director of Community Development		
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Minutes: MSC Andrews/Kaiser, the Plan Commission to approve the April 26, 2022 meeting minutes. Member Genett abstaining. Motion passed.

Public Appearances: Chairperson Lang opened the public appearance section. None.

Election of Plan Commission Officer: Vice Chair: MSC Andrews/Steiner, the Plan Commission to appoint Member Genett as Vice Chair. All aye. Motion passed.

Public Hearings: None.

Action Items:

a. **CSM #4-22 – Bridgewood Development – 2 Lots**

Director Haese began by describing the proposal brought before the Plan Commission. The former Bridgewood Golf Course, a 9-hole golf course located between Harrison Street (east) and Jewelers Park Drive (west), is proposed to be redeveloped as a multi-family residential development. As part of that development, a certified survey map (CSM) is proposed to create two new lots on the southern portion of the property (south of Cameron Way – former holes 2 through 9). Lot 1, which is 32 acres in area, would have access off of Jewelers Park Drive, while Lot 2 (14 acres) would have access off of Harrison Street. Lot 1 also includes a public easement for a City trail that is being constructed parallel to Jewelers Park Drive. Both properties are zoned Planned Development District (PDD) and the proposed land division is consistent with the Bridgewood PDD Master Development Plan. The CSM meets the minimum standards of the Subdivision Ordinance. The Commission discussed planned site work for the property including the mitigation of wetlands and filling of floodplain.

MSC Hancock-Cook/Andrews, the Plan Commission recommends Council approve the proposed 2 Lot CSM for the former Bridgewood Golf Course located along Jewelers Park Drive and Harrison Street and accept the public trail easement along former hole 9 of the golf course. All aye. Motion passed.

b. **CSM #5-22 – Bridgewood Golf Course – Lot Reconfiguration**

Director Haese explained that the second CSM proposes the creation of an outlot (Outlot 1) which is the pond on the north side of the site. This pond will be owned by the City and there are plans to expand the pond south on the east end of the site. Lot 3 is a realignment of an existing lot with the parking lot being shifted to the proposed Lot 4 which includes the Ground Round Restaurant and raised tennis platform. The Bridgewood Hotel (Lot 5) is also on an existing lot, but is proposed to be enlarged with a portion of hole 1 of the former golf course and ponds west of the hotel. The CSM includes a public access easement along the northeast portion of the site to provide access to the City's storm water pond. In addition, Bridgewood Hotel would have access via an easement through proposed Outlot 1 to access parts of proposed Lot 5. This land is all within the Bridgewood PDD and is consistent with the Master Development Plan. This CSM meets the minimum standards of the Subdivision Ordinance. The Commission discussed the planned use of Outlot 1 as a City storm water management pond.

MSC Hancock-Cook/Genett, the Plan Commission recommends Council approve the proposed CSM creating an outlot and reconfiguring existing lots for the former Bridgewood Golf Course located along Jewelers Park Drive and Harrison Street and accepting the public access easement adjacent to the northern pond. All aye. Motion passed.

CA

CA

c. **Site Plan #3-22 – Taft School Parking Lot Reconstruction and Division**

The Neenah Joint School District has submitted a site plan for the review of a proposed parking lot addition for Taft Elementary School located at 133 S Western Avenue. The subject property is approximately 4.6 acres in size and includes an elementary school building on the southern portion of the property, a parking lot along Claire Avenue, a parking lot/drop-off area along S. Western Avenue and green space/park area along the northern portion of the site. The property is zoned R-1, Single-Family Residence District and is surrounded by single-family residences on the east and west sides, a commercial building on the north side, and a religious institution on the south side.

The applicant is proposing to reconstruct the two existing parking lots and expand the parking lot along Claire Avenue. The plan extends the existing parking lot to the north by about 110 feet. In addition, the parking lot is reduced in width, re-stripped to angled parking, and will include a landscape strip between the Claire Avenue sidewalk and parking area. Storm water on this parking lot will drain to a catch basin which is connected to the City' storm water main along Claire Avenue. There are currently 38 total off-street parking spaces on the site and the proposed plan would increase that number to 41.

Due to the reconstruction and addition of the parking lot along Claire Avenue, the frontage landscaping standards are required to be met. The frontage landscaping standards require a minimum of 1 shade tree and 6 shrubs for each 40 feet of lineal frontage along a public street. In this case, a minimum of 5 shade trees and 32 shrubs is required. Both standards are met with the proposed landscape plan. In addition, the dumpsters along Claire Avenue, south of the parking lot, will be screened with a 6-foot tall sight tight fence.

MSC Kaiser/Andrews, the Plan Commission to approve the site plan for a parking lot reconstruction and addition for property located at 133 S. Western Avenue. All aye. Motion passed.

Announcements and Future Agenda Items:

Next meeting: May 24, 2022.

Adjournment: The Commission adjourned its meeting at 04:45 p.m. MSC Hancock-Cook/Genett. All Aye. Motion passed.

Respectfully Submitted,

Chris Haese
Director, Community Development



M E M O R A N D U M

DATE: June 7, 2022
TO: Mayor Lang and Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: Comprehensive Plan Update 2040 – Future Land Use Amendment – 2001
Marathon Avenue

Request

The Community Development Department has received a request to amend the City's Comprehensive Plan and Future Land Use Map for an area along the northwest corner of Marathon Avenue and Byrd Avenue. The proposal is to amend the Future Land Use map designation for this area from Industrial Corridor to Mixed Use Transitional Area.

Background

The subject area is approximately 20.8 acres in size and includes an office building, off-street parking lots, and open space. The building is mostly vacant, but a small portion of the north building is still used as an office. A developer is proposing to repurpose the office building with multi-family residential units and develop the balance of the site with townhouse buildings. A Comprehensive Plan amendment and rezoning is required to develop the site as a multi-family residential use.

The Neenah Comprehensive Plan 2040 was adopted in 2017, and is intended to serve as a guide to City development, redevelopment, growth, and land use decisions over the 20-year period. As part of the Comprehensive Plan, a Future Land Use Map generally describes the future use of land within the City and outside of the City. When land is annexed or rezoned, the land use must be consistent with the Comprehensive Plan and Future Land Use maps. It's important that the Comprehensive Plan and Future Land Use map be regularly checked and amended to reflect changes in land use or growth patterns.

Consideration

The Comprehensive Plan's Future Land Use map currently identifies the area on the northwest corner of Marathon Avenue and Byrd Avenue as Industrial Corridor. Land north, west and southwest is also identified as the Industrial Corridor designation and includes a number of industrial and manufacturing uses. Land east of the subject site is identified as Mixed Use Transitional Area and includes a mixture of single-family homes, duplexes, and several multi-family buildings. Land south of the subject site includes the Neenah Police station, the Neenah Dog Park, a community garden, and a skate park. Finally, land southeast of the subject site is identified as Neighborhood Commercial and includes multi-family buildings and commercial property.

This amendment proposes to change the Future Land Use designation to Mixed Use Transitional Area. The Mixed Use Transitional Area designation includes areas that tend to have a mix of housing type (single-family, two-family duplexes, and multi-family) and are

adjacent to non-residential uses like commercial or industrial. The Comprehensive Plan indicates the following zoning districts are appropriate (consistent) with this designation including R-1, Single-Family Residence District, R-2, Two-Family Residence District, M-1/M-2, Multi-Family Residence District, C-1, General Commercial District, and I-1, Planned Business Center District.

The subject land serves as a transition from the heavy industrial properties to the north and west to the less intense residential properties to the east and south. A heavy industrial use on the subject site would have a detrimental impact on the adjacent residential neighborhoods and could impact the safety of park and community garden users. The Mixed Use Transitional Area designation offers more appropriate land uses than the Industrial Corridor. Due to the changes that have occurred in this neighborhood since the adoption of the Comprehensive Plan, amending the future land use to the Mixed Use Transitional Area would serve to allow the highest and best use for this property.

Recommendation

Appropriate action at this time is for the Plan Commission to approve Resolution 2022-1 and recommend Council approve Ordinance No. 2022-14 amending the Comprehensive Plan 2040 and Future Land Use Map.



BROOKWOOD DR
HUNT AVE
HARRISON ST

MARATHON AVE

LANGLEY BLVD

WRIGHT AVE

JANE CT

LOPER CT

W PECKHAM ST

ETTEN CT

BYRD AVE

BYRD AVE

BYRD AVE

MARATHON AVE

HENRY ST

HENRY ST

HENRY ST

AYLWARD ST

BROOKSAVE

JOSEPH ST

NORTH ST

STANLEY CT

MARATHON AVE

JOSEPH CT

CLAIRMONT CT



1 inch = 328 feet

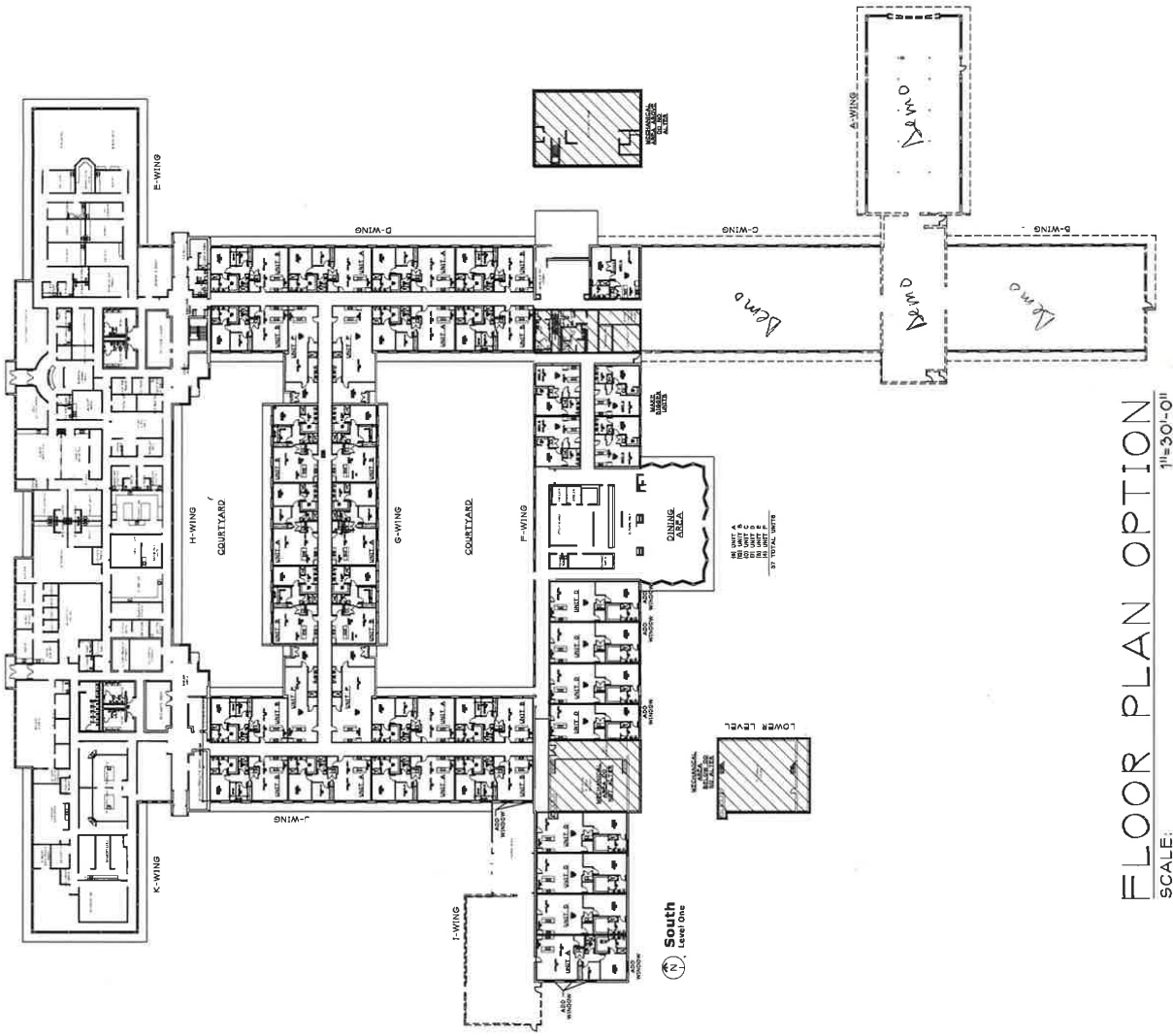
257 KANAWA DRIVE - SUITE C
 APPLETON, WI 54915
 TEL: 920-574-1857 FAX: 920-574-2860



PROPOSED RENOVATION FOR,
MARATHON AVENUE
 NENAH, WISCONSIN

DATE:	ARCH:	D. BY:	JOB:	REV:

A
 1.1

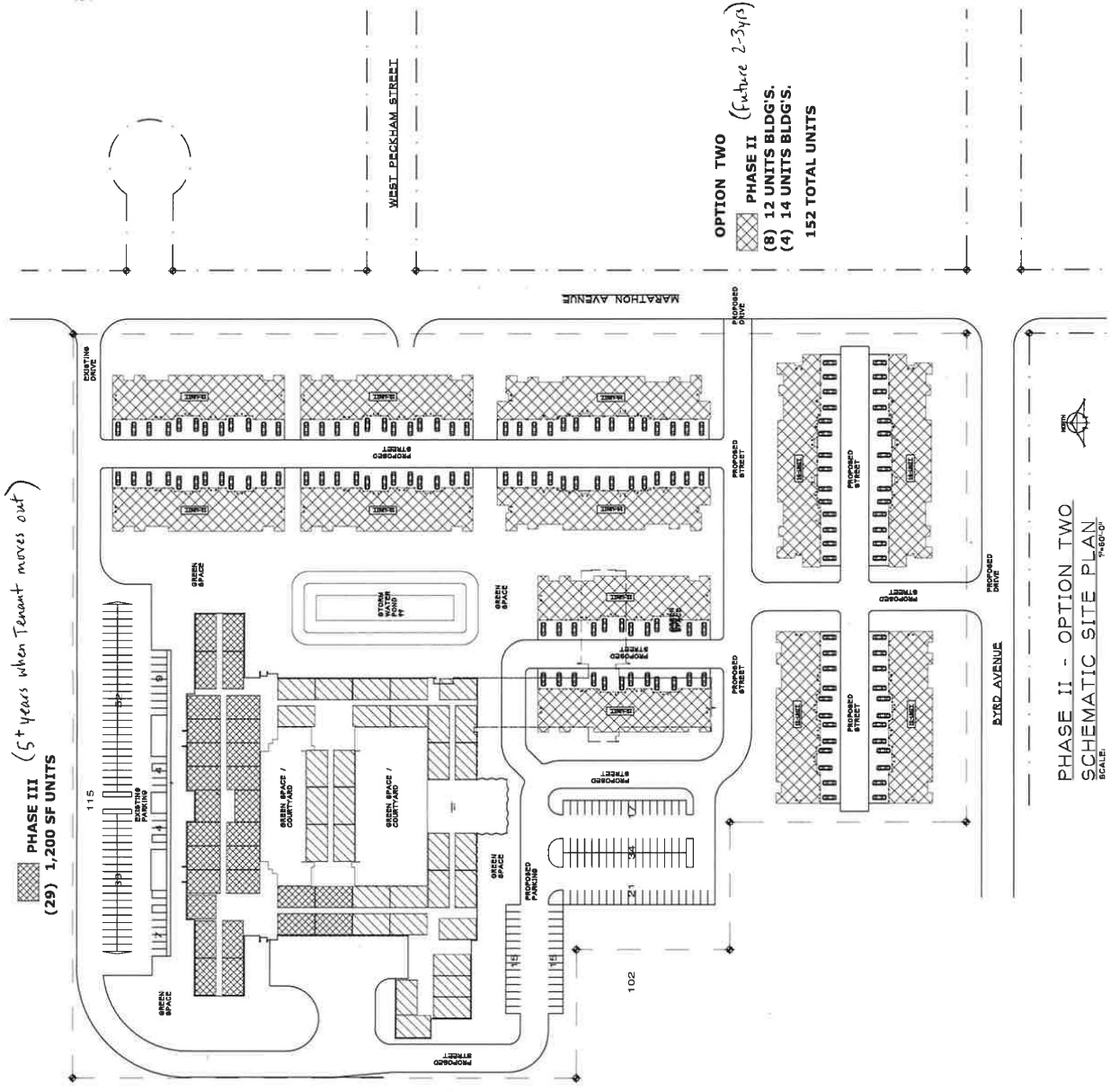


FLOOR PLAN OPTION
 SCALE: 1/4"=30'-0"

WISCONSIN
 NENA, H
MARATHON AVENUE
 SCHEMATIC SITE PLAN OPTIONS FOR,

DATE:	NOV 14, 2012
ARCH:	J. SPRE
D. BY:	
JOB:	
REV:	

SP
 1.1



PHASE III
 (29) 1,200 SF UNITS
(5+ years when Tenant moves out)

PHASE I
 (48) 1,200 SF UNITS
 See updated floor
 Plan sheet for
 units. (37 units)

OPTION TWO
PHASE II *(Future 2-3yrs)*
 (8) 12 UNITS BLDG'S.
 (4) 14 UNITS BLDG'S.
 152 TOTAL UNITS

PHASE II - OPTION TWO
 SCHEMATIC SITE PLAN
 SCALE: 1/4"=1'-0"

Resolution No. 2022-1

**RECOMMENDING ADOPTION OF AN AMENDMENT TO THE CITY OF NEENAH
COMPREHENSIVE PLAN UPDATE 2040**

WHEREAS, pursuant to section 62.23 (2) and (3), Wisconsin Statutes, it shall be the function and duty of the Plan Commission to prepare, and from time to time amend, a Comprehensive Plan to manage the growth and physical development of the City of Neenah as defined in sections 66.1001(1)(a) and 66.1001(2) of the Wisconsin Statutes; and

WHEREAS, on December 20, 2017, the City of Neenah Common Council adopted the *Comprehensive Plan 2040* which present a strategy to manage growth and development of the City through the year 2040; and

WHEREAS, a request was made to amend the *Comprehensive Plan Update 2040* to change the future land use designations on the Future Land Use Map for the area depicted on Exhibit A from Neenah Industrial Corridor to Mixed Use Transitional Area; and

WHEREAS, the City has invited members of the public to make comments on the proposed amendments to the Future Land Use Map before the Plan Commission on June 7, 2022, and at a public hearing before the Common Council on July 6, 2022, in compliance with the procedures in Section 66.1001(4) of the Wisconsin Statutes; and

WHEREAS, the City of Neenah Plan Commission has concluded that the proposed Future Land Use Map amendment as depicted on Exhibit A (attached) is consistent with the *Comprehensive Plan Update 2040* goals and objectives relative to the future development of the City.

NOW, THEREFORE, BE IT RESOLVED, that pursuant to Sections 62.23(3) and 66.1001(4)(b) of the Wisconsin Statutes, the Plan Commission of the City of Neenah hereby adopts the Amendment to the City of Neenah *Comprehensive Plan Update 2040* as depicted in Exhibit A; and

BE IT FURTHER RESOLVED that the Plan Commission does hereby recommend that, following the public hearing, the Neenah Common Council enact an Ordinance adopting the Amendment to the City of Neenah *Comprehensive Plan Update 2040* as depicted in Exhibit A.

This resolution was adopted by the City of Neenah Plan Commission on the ____ day of _____, 2022:

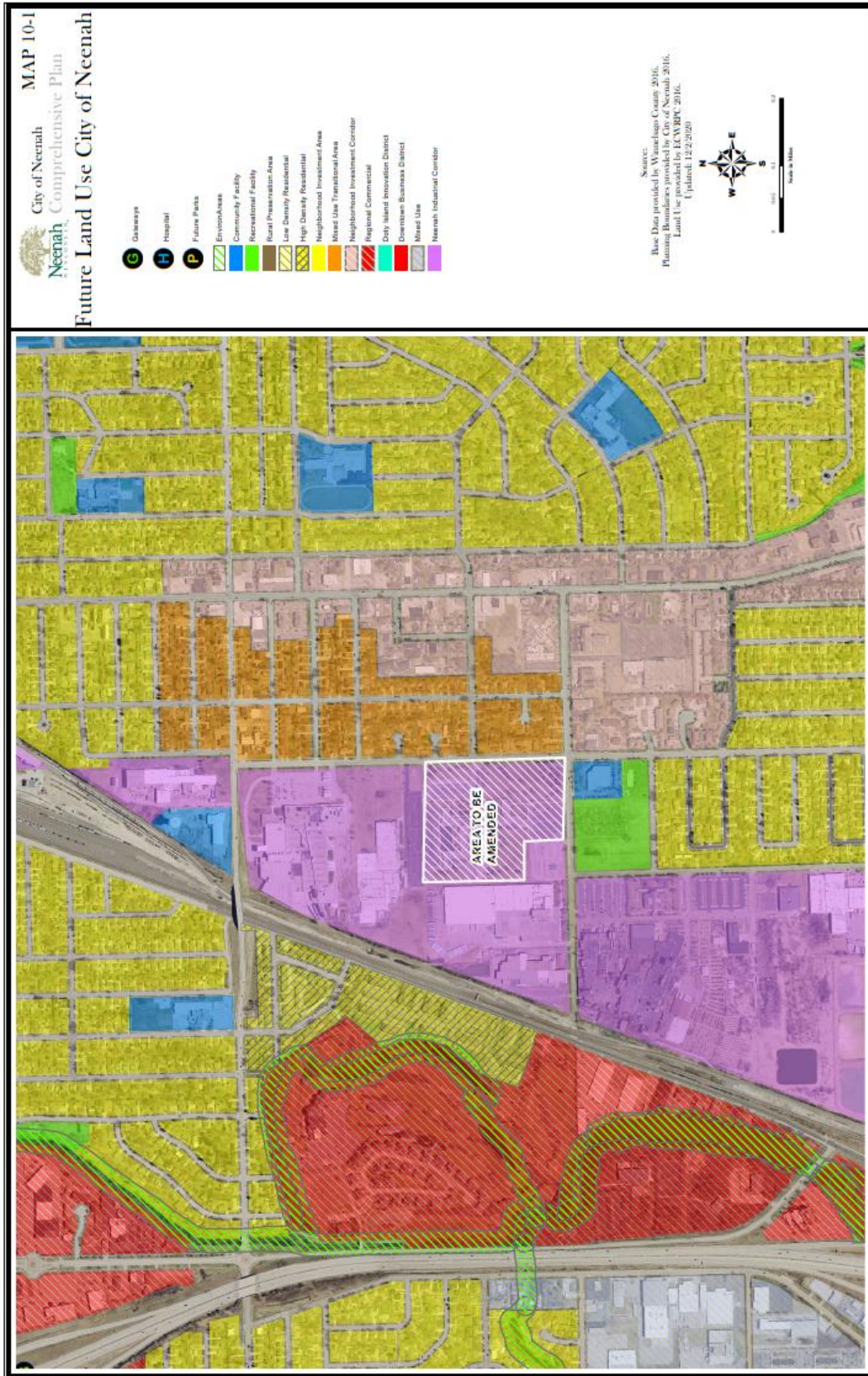
PLAN COMMISSION
CITY OF NEENAH, WISCONSIN

By: _____
Mayor Jane Lang, Chairperson

ATTEST:

Brad Schmidt, AICP, Deputy Director of Community Development & Assessment, Secretary

EXHIBIT A





211 Walnut Street
Neenah, WI 54956

AN ORDINANCE: By the Neenah Plan Commission
Re: Adopting the Amendment to the City of Neenah
Comprehensive Plan Update 2040 relating to
changes to the Future Land Use Map for land
located at the northwest corner of Marathon
Avenue and Byrd Avenue.

ORDINANCE NO. 2022-14

Introduced: _____

Committee/Commission Action:

AN ORDINANCE

The Common Council of the City of Neenah, Wisconsin, do ordain as follows:

SECTION 1. Pursuant to section 62.23(2) and (3), Wisconsin Statutes, the City of Neenah is authorized to prepare, adopt, and from time to time amend, a Comprehensive Plan as defined in sections 66.1001(1)(a) and 66.1001(2) of the Wisconsin Statutes.

SECTION 2. On December 20, 2017, the City of Neenah Common Council adopted the *Comprehensive Plan Update 2040* (Ordinance No. 2017-19) which presents a strategy to manage growth and development of the City through the year 2040.

SECTION 3. The City of Neenah Plan Commission, by majority vote of the entire Commission as recorded in its official minutes, adopted Resolution 2022-1, recommending to Common Council the adoption of the proposed Amendments to the City of Neenah *Comprehensive Plan Update 2040* as depicted in Exhibit A.

SECTION 4. The City has noticed public hearings to make comments on the proposed Amendment to the *Comprehensive Plan Update 2040*, in compliance with the procedures in Section 66.1001(4) of the Wisconsin Statutes.

SECTION 5. The Common Council of the City of Neenah, Wisconsin, does, by enactment of this ordinance, formally adopt the Amendments to the *Comprehensive Plan Update 2040* as depicted and described on Exhibit A, change the future land use designation for land located on the northwest corner of Marathon Avenue and Byrd Avenue from Neenah Industrial Corridor to Mixed Use Transitional Area.

SECTION 6. Severability. In the event any section, subsection, clause, phrase or portion of this ordinance is for any reason held illegal, invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent

provision, and such holding shall not affect the validity of the remainder of this ordinance. It is the legislative intent of the Common Council that this ordinance would have been adopted if such illegal provision had not been included or any illegal application had not been made.

SECTION 7. Effective Date. This ordinance shall take effect upon passage by a majority vote of the members-elect of the Common Council and publication as required by law.

Approved:

Adopted: _____

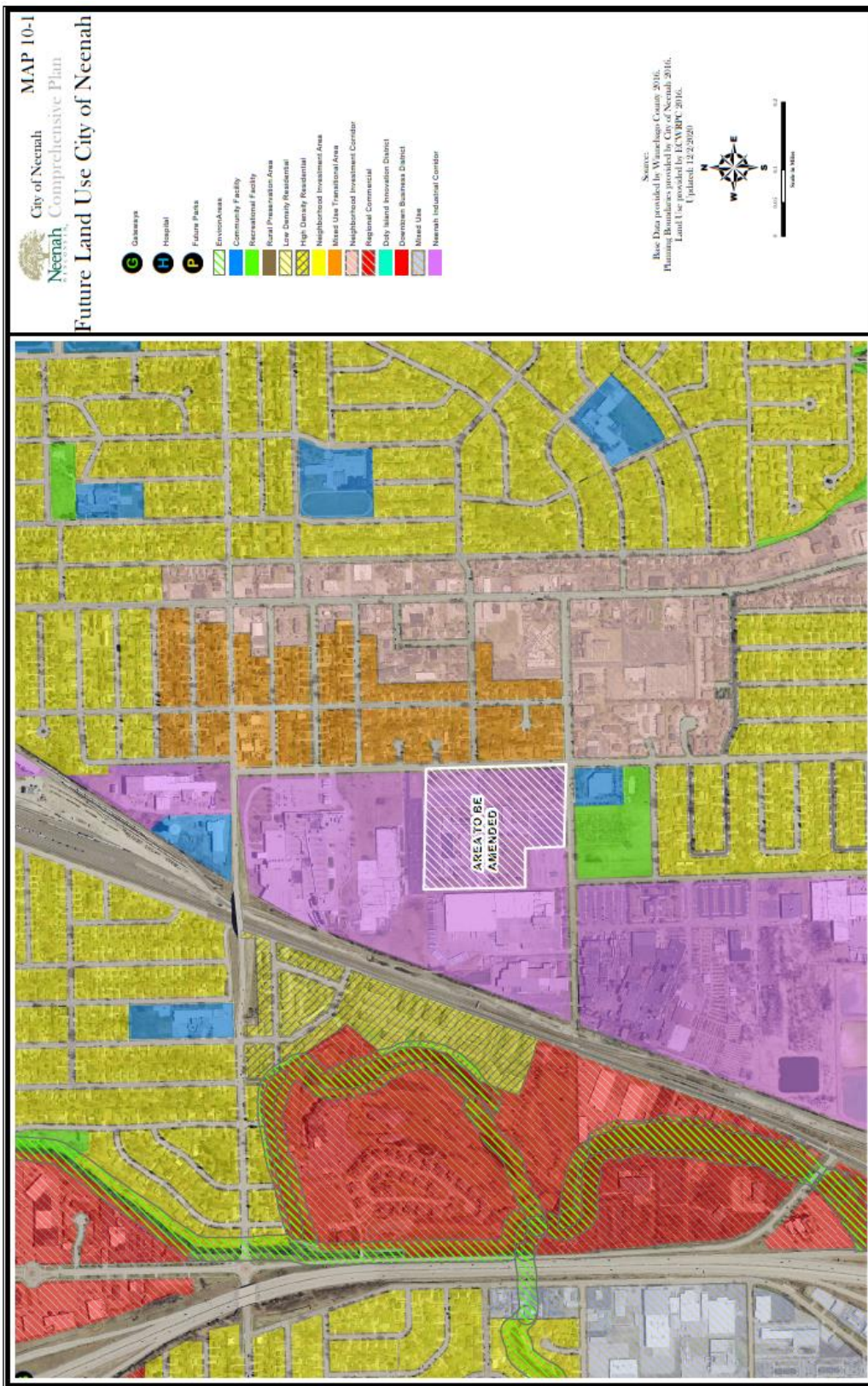
Jane Lang, Mayor

Published: _____

Attest:

Charlotte Nagel, City Clerk

EXHIBIT A





Rezoning request 2001 Marathon AveBrad Hoyt to: bschmidt, Pamela Snyder, Laura Lorek, Andrea Cogley, Steven A. Schumeister 06/02/2022 12:42 PM

From: "Brad Hoyt" <bahoyt@gmail.com>

To: bschmidt@ci.neenah.wi.us, "Pamela Snyder"

<psnyder@continentalpropertygroup.com>, "Laura Lorek"

<llorek@continentalpropertygroup.com>, "Andrea Cogley"

<acogley@continentalpropertygroup.com>, "Steven A. Schumeister"

<SASchumeister@rkmc.com>

History:This message has been replied to.

To Whom It May Concern,

I received notice of a request to rezone and amend the comprehensive plan from I-2 to residential. Please be aware that we consider this to be entirely incompatible with our adjacent industrial use and that it would negatively impact our use and our value. Further, I2 land is in short supply and strong demand while there is an abundance of residential land. We strongly oppose this application. Please see that this letter is contained in any and all packets for review by the PC or CC. Thank You,

Brad Hoyt
CPG, LLC



M E M O R A N D U M

DATE: June 7, 2022
TO: Mayor Lang and Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: Rezoning I-2 District to C-1 District – 2001 Marathon Avenue (**Ord. No 2022-13**)

Request

Park Place Holdings, LLC, has submitted a request to rezone land located at 2001 Marathon Avenue from the I-2, General Industrial District to the C-1, General Commercial District.

Background

The subject property located on the northwest corner of Marathon Avenue and Byrd Avenue is approximately 20.8 acres in size and includes an office building, off-street parking lots and green space. The one-story office building is about 148,000 square feet in size and is currently vacant with the exception of the north portion of the building. The applicant is proposing to repurpose the vacated portion of the building as residential units (approximately 37 units) and construct 12-14 unit townhomes on the balance of the property. A rezoning of the property from the I-2 District to the C-1 District is required in order to use the property as proposed.

The C-1 District is intended for areas with commercial and higher density residential uses. While an M-1/M-2, Multi-Family Residence District would work for the multi-family uses proposed on the site, the office use would not be permitted. Land west, north and southwest of the subject site is zoned I-2, General Industrial District and includes several manufacturing and industrial facilities. The land immediately south and adjacent to the subject site includes a public dog park, community garden, the Neenah Police station, and a skate board park. Finally, land to the east is zoned M-1, Multi-Family Residence District and R-2, Two-Family Residence District and includes smaller multi-family properties, duplexes, and single-family residences and land to the southeast is zoned C-1 District and includes a number of multi-family properties and smaller commercial properties.

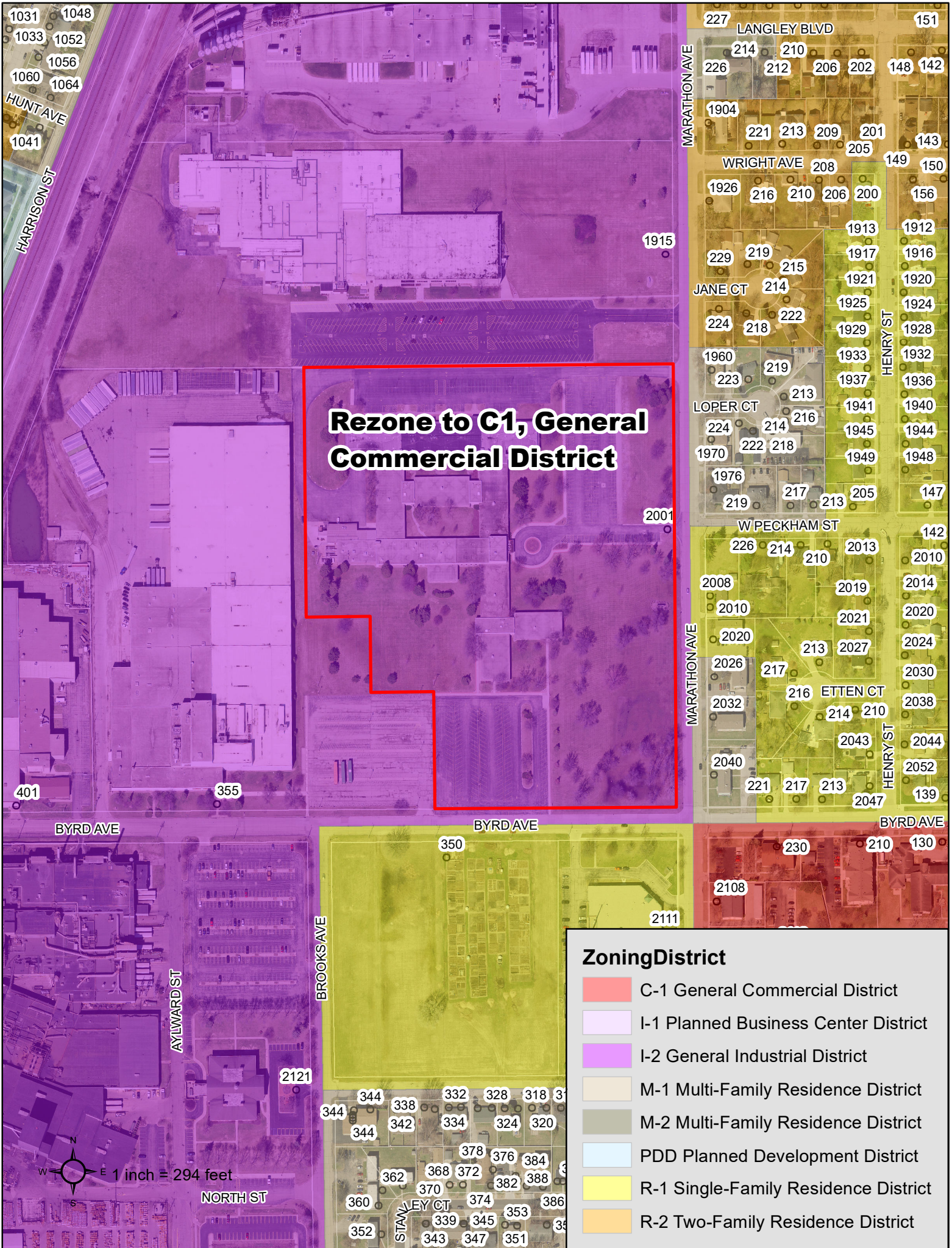
The I-2, General Industrial District allows for a number of heavy industrial and manufacturing uses which could have a negative impact on the surrounding residential neighborhood. Changes to the surrounding neighborhood including the construction of the dog park make residential uses more appealing. Rezoning the property to the C-1 District would make the current use of the property (office) consistent with the zoning district and would allow for the redevelopment of the property as multi-family residential. If the property is rezoned, a site plan would need to be submitted and approved by the Plan Commission prior to any construction.

As will all rezoning requests, the proposed zoning classification must be consistent with the City's Comprehensive Plan 2040 future land use designation. In this case, the future land use map identifies this area as the Industrial Corridor. As part of this rezoning request, the applicant is requesting an amendment to the Comprehensive Plan to change the future land use designation to the Mixed Use Transitional Area. If approved, the Mixed Use Transitional Area

designation allows for multi-family residential use and commercial/office use and the C-1 District is an appropriate zoning classification for this land use designation.

Recommendation

An appropriate action at this time is for the Plan Commission to recommend Common Council approve Ordinance No. 2022-13 rezoning property located at 2001 Marathon Avenue to the C-1, General Commercial District.



Rezone to C1, General Commercial District

Zoning District

- C-1 General Commercial District
- I-1 Planned Business Center District
- I-2 General Industrial District
- M-1 Multi-Family Residence District
- M-2 Multi-Family Residence District
- PDD Planned Development District
- R-1 Single-Family Residence District
- R-2 Two-Family Residence District



AN ORDINANCE: By the Neenah Plan Commission
Re: Rezoning land located at 2001 Marathon
Avenue from the I-2, General Industrial District
to the C-1, General Commercial District.

ORDINANCE NO. 2022-13
Introduced: _____
Committee/Commission Action: _____

AN ORDINANCE

The Common Council of the City of Neenah, Wisconsin, do ordain as follows:

Section 1. Section 26-123 of the Neenah Municipal Code pertaining to zoning districts, and the map therein described, is hereby amended by rezoning approximately 20.8 Acres of land located at 2001 Marathon Avenue from the I-2, General Industrial District to the C-1, General Commercial District. The property is more particularly described as follows:

Lot 1 of CSM #6158 located in the Southwest ¼ of the Northeast ¼ and part of the Southeast ¼ of the Northwest ¼, Section 33, Township 20 North, Range 17 East, City of Neenah, Winnebago County, Wisconsin.

Parcel ID: 802-05800-00-00

Section 2. Severability. In the event any section, subsection, clause, phrase or portion of this ordinance is for any reason held illegal, invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remainder of this ordinance. It is the legislative intent of the Common Council that this ordinance would have been adopted if such illegal provision had not been included or any illegal application had not been made.

Section 3. Repeal and Effective Date. All ordinances or parts of ordinances and resolutions in conflict herewith are hereby repealed. This ordinance shall take effect from and after its passage and publication.

Adopted: _____

Published: _____

Approved:

Jane Lang, Mayor

Attest:

Charlotte Nagel, City Clerk



MEMORANDUM

DATE: June 7, 2022
TO: Mayor Lang and Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: Site Plan Review – 1515 S Commercial St – Car Wash

Request

Jacob Lamb, owner of property located at 1515 S. Commercial Street, has submitted a site plan for the construction of an automatic car wash.

Consideration

The subject property, located along the west side of S. Commercial Street and south of Bell Street, is 1.52 acres in size and currently includes a single-family residence. The property was rezoned from R-1, Single-Family Residence District to the C-1, General Commercial District in 2019.

The subject property is mostly surrounded by other commercial uses with the exception of the land to the west, which includes a multi-family residential development, and to the south which includes a single-family residential subdivision.

Automotive and truck washes are permitted uses in the C-1, District, which is defined as a use which conforms to the purposes objective, requirements, regulations and performance standards of the district. The proposed development includes a 4,120 square-foot building. The building includes an office, the wash bay, and equipment room. Vehicles will enter the car wash from the south end and exit on the north end. The development also includes 12 vacuum stalls for customers along the east side of the property.

While the property is 1.52 acres in size, the car wash is expected to account for about 0.92 acres of the site. The remaining 0.60 acres is intended to be a future development site. At this time, no development is planned for the property. The property owner will submit a certified survey map (CSM) to subdivide the property at some point in the near future.

Development Standards C-1, Planned Business Center District

Front Yard Setback – 10 feet for buildings, 10 feet for parking (**90 feet – S. Commercial Street**)
Side Yard Setback – 10 feet (**200 feet – north property line, 49 feet – south property line**)
Rear Yard Setback – 10 feet (**43 feet – west property line**)

Maximum Building Height – 45 feet (**21'4" feet - max height of parapet**)
Maximum Building Lot Coverage – 30% (**6%**)

Off-Street Parking

Minimum Requirements (1 per employee) – 4 (**4**)

Landscaping

Frontage Landscaping – 10-foot landscape strip along frontage and 1 shade tree and 6 shrubs per 40 lineal feet of frontage. 212 feet of frontage = 5 shade trees and 30 shrubs required (**7 shade trees and 31 shrubs**)

Buffer Yard Landscaping – 10-foot landscape strip adjacent to residential properties with a minimum of a 6-foot tall sight tight fence and 2 shade trees and 5 evergreens for each 100 feet of property line. 243 feet of west property line and 167 feet of south property line = 10 shade trees and 25 evergreens. (**9 shade trees and 25 evergreens**)

- *Add an additional shade tree to the south property line.*
- *All shade trees must be a minimum of 2.5" caliper and all evergreens must be a minimum of 4 feet tall at time of planting*

Screening – Visual screen around dumpster enclosure at least 6 feet in height (**6-foot tall masonry wall**)

Storm Water Management

A storm water management plan shall be submitted and approved prior to the issuance of building permits. A dry pond is proposed on the southeast corner of the development. The proposed pond will provide peak flow reduction, but does not address total suspended solids requirements. A payment in-lieu of meeting this required is required to be paid prior to the issuance of building permits.

Building Elevations

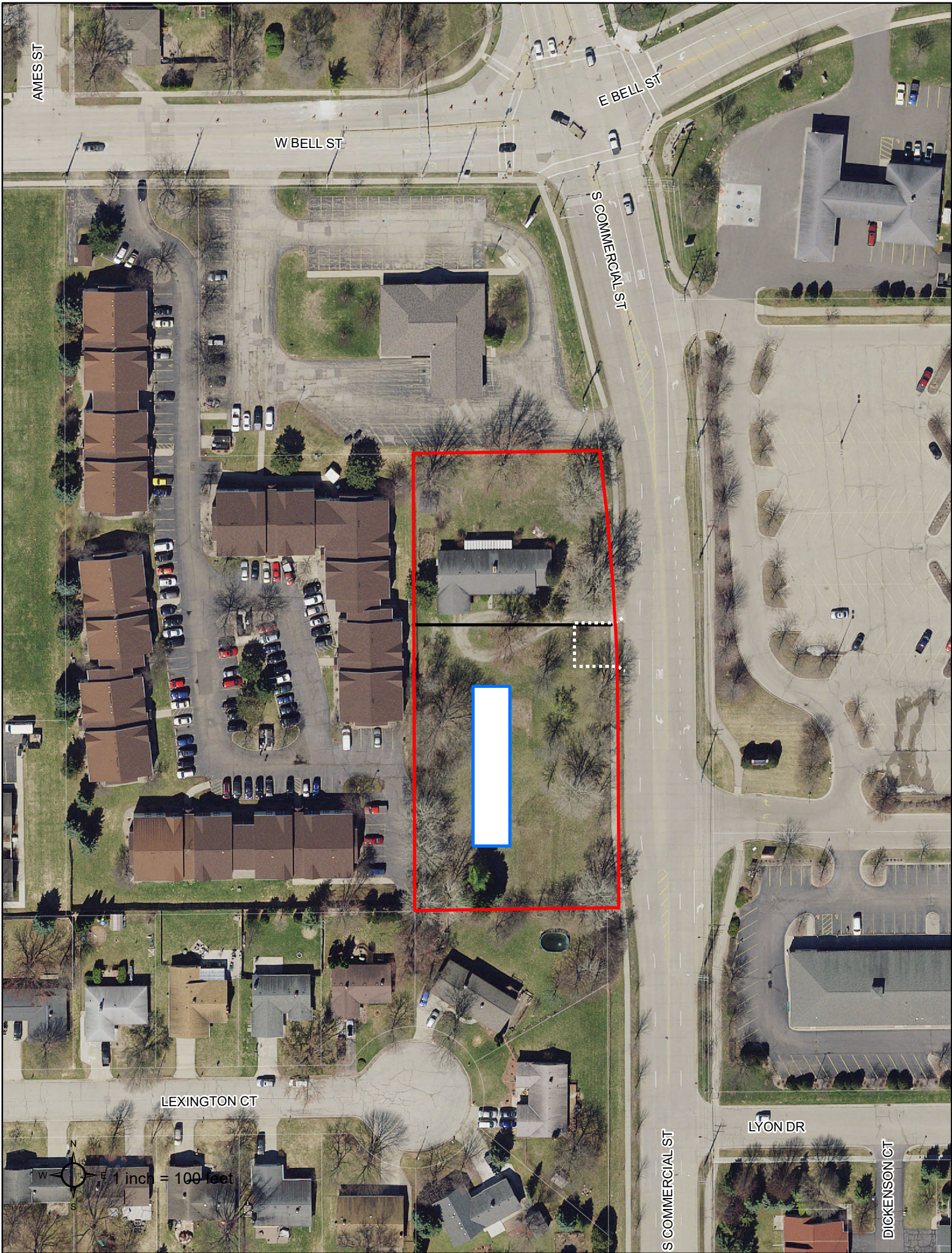
The proposed building is constructed of CMU block, glass windows, and metal wall panels. The building's end cap (south side) has a height of about 24 feet while the roof height of the building is about 15 feet. Windows are located on the east side of the building.

Traffic Circulation

The applicant is proposing two driveways, one on the south end and one along the middle portion of the site. The north driveway is intended to serve as a future shared driveway with the future development site on the north side of the property. After further review, staff is requesting that only one driveway, the proposed shared driveway on the north, be permitted. The south driveway must be eliminated. In addition, the developer/owner is responsible for the costs related to adjusting the traffic markings to provide safe ingress into the site. When the property is subdivided, a cross access easement will be required on the CSM to ensure the main driveway will provide access to both developments.

Recommendation

Appropriate action at this time is to approve the site plan for a new car wash located at 1515 S. Commercial Street subject to the comments on the site plan review letter.



AMES ST

W BELL ST

E BELL ST

S COMMERCIAL ST

LEXINGTON CT

S COMMERCIAL ST

LYON DR

DICKENSON CT



1 inch = 100 feet



City of Neenah Community Development
211 Walnut Street
Neenah WI 54956
Ph 920.886.6130

June 03, 2022

MICHAEL LEIDIG
ROBERT E. LEE AND ASSOCIATES
1250 CENTENNIAL CENTRE BOULEVARD
HOBART, WI 54155

RE: Site Plan #4-22 - 1515 S Commercial St - Car Wash Site Plan - Major Review () Status Approved

Dear MICHAEL LEIDIG:

We have completed our review of the plan identified above. The plan was approved per attached comments, if any. This letter is not to be construed as a zoning compliance, grading, building permit, certificate of occupancy, or a substitute for any permit or certificate required by any state or federal government entity.

Sincerely,

Brad Schmidt
Deputy Director of Community Development and Assessment
bschmidt@ci.neenah.wi.us
920-886-6126

Plan Review Comments

Inspections - Building Commercial - Kyle Pederson - 920-886-6131
kpederson@ci.neenah.wi.us

Approved

Review Comments:

Planning - Brad Schmidt -
bschmidt@ci.neenah.wi.us

Approved

Review Comments:

1. Prior to issuance of building or sign permits, all conditions of the site plan review must be satisfied.
2. The light intensity along the south property line adjacent to the single-family residence shall not exceed 0.0 foot-candles at the property line. A reduction of the light pole on the south property line from 20 feet to 15 feet may alleviate the light intensity at the property line.
3. The proposed north driveway must serve as a shared driveway should the lot be split in the future. If that happens, a cross access easement shall be placed on the CSM at that time. Only one driveway will be permitted for the entire development site.
4. Add an additional shade tree to the south property line. All shade trees must be a minimum of 2.5" caliper and all evergreens must be a minimum of 4 feet tall at time of planting

Engineering - Heath Kummerow - 920-886-6245
hkummerow@ci.neenah.wi.us

Approved

Review Comments:

Payment in-lieu of meeting stormwater requirements. Contact Heath Kummerow for more information on what that payment will be.

Traffic - James Merten - 920-886-6243
jmerten@ci.neenah.wi.us

Approved

Review Comments:

Remove south driveway. Only one driveway (the proposed shared north driveway) will be permitted.

Cost estimate for pavement markings:

Item	Unit #	Unit Cost	Cost
4" Centerline	LF 760	\$0.80	\$608.00
8" Lane Lane	LF 94	\$1.20	\$112.80
12" Diagonal	LF 88	\$8.00	\$704.00
Type 2 Arrow	EA 3	\$200.00	\$750.00
4" Removal	LF 412	\$3.25	\$1339.00
8" Removal	LF 150	\$4.75	\$712.50
Arrow Removal	EA 2	\$200.00	\$400.00

Total Estimate: \$4626.30

Contingencies (& Rounding): \$473.70 (Roughly 10%)

Total Estimate: \$5100.00

Water Utility - Anthony Mach - 920-886-6180
amach@ci.neenah.wi.us

Approved

Review Comments:

Advisory Comments:

Please install service via hot tap and valve.

Blocking shall be solid concrete blocks or poured concrete. Wood shall not be used for blocking.

Contractor is responsible for obtaining safe bacteriological samples of large services at a certified lab per Neenah Water Utility specifications.

Please provide the results of any bacteriological testing to Tim Jens and Anthony L. Mach at: tjens@ci.neenah.wi.us and amach@ci.neenah.wi.us

Please see the attached Neenah Water Utility Specifications for details regarding all installations.

Any new distribution connections shall be supervised by Water Utility staff. Please give us at least two working days of notice before any connections are made.

Ensure that no interconnections between any well or non-potable source and the distribution system or water services exists or is created by construction activity. Any existing wells shall be properly abandoned or permitted through Neenah Water Utility.

Please contact the Neenah Water Utility Distribution Manager at (920) 886-6191 or the Director at (920) 886-6182 for notifications or if you have any questions.

Please let us know what size meter will be used for the building.

Inspections - Plumbing/HVAC Commercial - Daniel Brown - 920-886-6133
dbrown@ci.neenah.wi.us

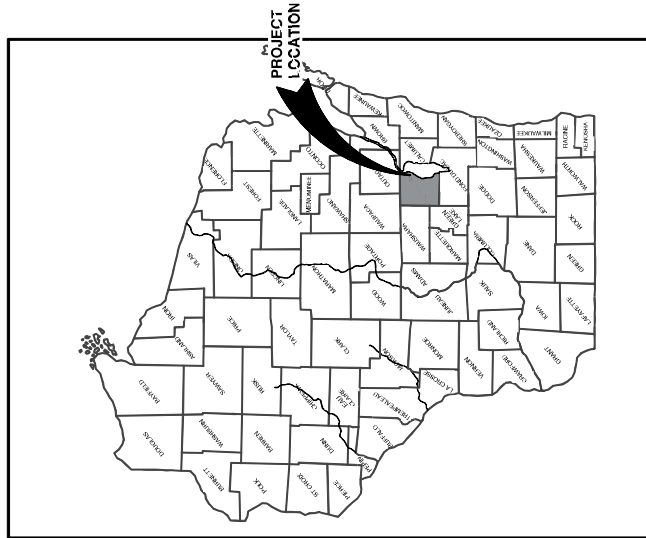
Approved

Review Comments:

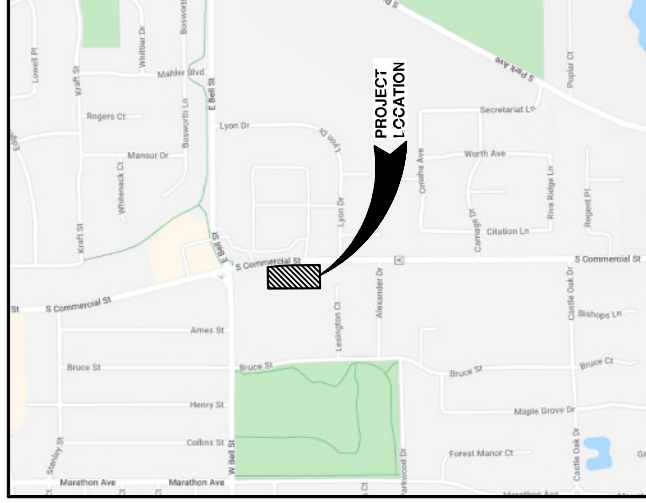
Plumbing State approved plans required. Sanitary sewer sizing issues.

PROPOSED CAR WASH FOR BAYLAND BUILDINGS, INC. CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE. NEITHER THE
OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE
FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS.
ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC.
SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



VICINITY MAP



LOCATION MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE
RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES,
WHETHER SHOWN OR NOT FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY
LOCATIONS SHALL BE NOTIFIED FOR LOCATED BY THE CONTRACTOR 72 HOURS PRIOR TO
EXCAVATION.

NOTE:
ALL EROSION CONTROL MEASURES SHALL
BE IN PLACE PRIOR TO CONSTRUCTION.
THE CONTRACTOR SHALL CONTACT THE
DEPARTMENT OF NATURAL RESOURCES
FOR EROSION CONTROL
AND TECHNICAL STANDARDS.

INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
C	LOCATION MAP AND INDEX TO DRAWINGS
1	EXISTING SITE CONDITIONS AND DEMOLITION PLAN
2	SITE PLAN
3	UTILITY PLAN
4	GRADING AND EROSION CONTROL PLAN
5	MISCELLANEOUS DETAILS
6	MISCELLANEOUS DETAILS
7	EROSION CONTROL - INLET PROTECTION TYPES A, B, C AND D
8	EROSION CONTROL - TRAP AND FILTER TYPE D-PHR AND TYPE D-M
9	EROSION CONTROL - DITCH CHECK DETAILS
10	EROSION CONTROL - SHEET PILE DETAILS
11	EROSION CONTROL - TRACKOUT CONTROL PRACTICES
12	EROSION CONTROL - EROSION MAT SLOPE APPLICATION DETAILS
13	EROSION CONTROL - EROSION MAT CHANNEL APPLICATION DETAILS
14	LANDSCAPE PLAN
L	

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION

DRAWN BY	
CHECKED BY	
DESIGNED BY	

PROPOSED CAR WASH FOR BAYLAND BUILDINGS, INC. CITY OF NEENAH WINNEBAGO COUNTY, WISCONSIN	LOCATION MAP AND INDEX TO DRAWINGS	DATE 	SCALE 	FILE NO. 	JOB NO. 	SHEET NO.
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Robert E. Lee & Associates, Inc. ENGINEERING, ARCHITECTURE, ENVIRONMENTAL SERVICES 2525 CENTRE STREET, SUITE 200 NEENAH, WISCONSIN 54956 800-465-1841 www.reea.com	SHEET NO.
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Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing	Second Tangent Bearing
1	282.9°	179.22'	75.21'	339°29'58"	139.22'	105°27'59"	187°07'57"

Curve #	Delta	Radius	Length	Chord Direction	Chord Length	Tangent Bearing	Second Tangent Bearing
2	282.9°	179.22'	75.21'	339°29'58"	139.22'	105°27'59"	187°07'57"

TO GET A LIST OF PARTICIPANTS
UNDERGOING FACILITIES BEFORE YOU
DO IN WISCONSIN
MS. STATE 48.0175 (197)
REQUIRES YOU TO WORK DAYS
NOTICE BEFORE YOU EXCAVE.

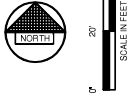
Dial 800 or (800) 242-8511
www.DiggersHotline.com

OWNER INFORMATION:

PUMP N MUNCH LLC
912 BAYVIEW ROAD
NEENAH, WI 54956
CONTACT: JACOB LAMB

DEMOLITION NOTES

- EXISTING ASPHALT AND BASE COURSE MAY BE PULVERIZED AND STOCKPILED ON SITE FOR FUTURE USE.
- EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.
- ALL MISCELLANEOUS STRUCTURES SHALL BE REMOVED.
- DRIVEWAY OPENINGS SHALL BE REMOVED AND CURB AND SIDEWALK RECONSTRUCTED TO MEET STANDARD SPECIFICATIONS. STANDARD DETAIL CURB REMOVAL. SEE DETAIL SHEETS.



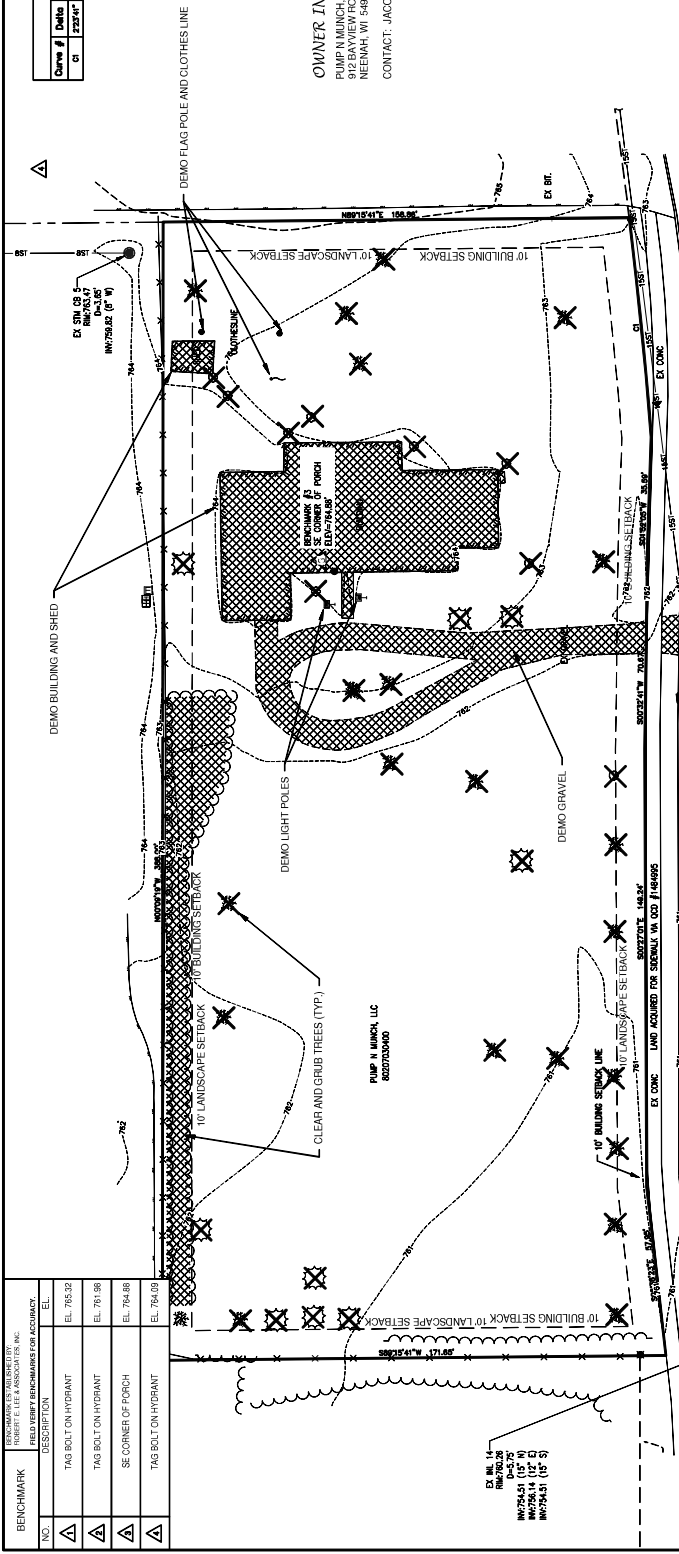
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DESIGNED BY: _____
DATE: _____
SCALE: _____
DRAWN BY: _____
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DESIGNED BY: _____

EXISTING SITE CONDITIONS AND DEMOLITION PLAN

PROPOSED CAR WASH FOR
BAYLAND BUILDINGS, INC.
CITY OF NEENAH
WINNEBAGO COUNTY, WISCONSIN

DATE: _____ APPROVAL: _____
DATE: _____ APPROVAL: _____
DATE: _____ APPROVAL: _____

NO. DATE APPROVAL REASON NO. DATE APPROVAL REASON NO. DATE APPROVAL REASON

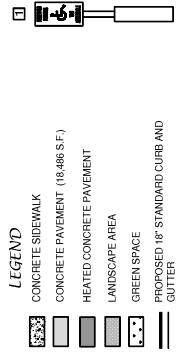


LEGEND

[Symbol]	FIRE VALVE/CURB STOP	[Symbol]	EDGE OF ASPHALT
[Symbol]	WATER MANHOLE	[Symbol]	EDGE OF GRAVEL
[Symbol]	REDUCING/CREASER	[Symbol]	CURB & GUTTER
[Symbol]	SANITARY MANHOLE	[Symbol]	TREE/BRUSH LINE
[Symbol]	AIR RELIEF MANHOLE	[Symbol]	CONTOUR LINE
[Symbol]	STORM MANHOLE	[Symbol]	RETAINING WALL
[Symbol]	OPEN STORM MANHOLE	[Symbol]	GUARD RAIL
[Symbol]	STORM INLET	[Symbol]	FENCE
[Symbol]	STORM INLET MANHOLE	[Symbol]	TREE/SHRUB TO BE REMOVED
[Symbol]	SOIL BORING	[Symbol]	
[Symbol]	SOIL METER		
[Symbol]	MAILBOX		
[Symbol]	IRON PIPE/ROD		
[Symbol]	PK NAIL		
[Symbol]	POWER POLE	[Symbol]	POWER POLE (W/CLAY WIRE)
[Symbol]	TRAFFIC SIGNAL POLE	[Symbol]	TRAFFIC SIGNAL POLE
[Symbol]	ELECTRIC METER	[Symbol]	ELECTRIC METER
[Symbol]	TELEPHONE MANHOLE	[Symbol]	TELEPHONE MANHOLE
[Symbol]	CABLE TV MANHOLE	[Symbol]	CABLE TV MANHOLE
[Symbol]	GAS METER	[Symbol]	GAS METER
[Symbol]	SIGN	[Symbol]	SIGN
[Symbol]	BOLLARD	[Symbol]	BOLLARD
[Symbol]	DECIDUOUS TREE	[Symbol]	CONIFEROUS TREE
[Symbol]	BUSH	[Symbol]	RIP RAP
[Symbol]	WETLANDS	[Symbol]	HANDICAP PARKING
[Symbol]	TO BE DEMOLISHED	[Symbol]	TO BE DEMOLISHED

LEGEND

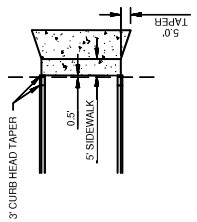
GR	GRAVEL	CB	CATCH BASIN
BIT	BITUMINOUS	TELE	TELEPHONE
CONC	CONCRETE	TELE	TELEVISION
SW	SIDEWALK	STA	STATION
BLOG	BUILDING	VPC	VERTICAL POINT OF CURVATURE
HSE	HOUSE	VPI	VERTICAL POINT OF INTERSECTION
PP	POWER POLE	VPT	VERTICAL POINT OF TANGENCY
LP	LIGHT POLE	FI	POINT OF INTERSECTION
BM	BENCHMARK	PI	POINT OF TANGENCY
HYD	HYDRANT	EX	EXISTING
WV	WATER VALVE	PR	PROPOSED
SW	SANITARY SEWER	EOR	END OF RADIUS
MH	MANHOLE	BOC	BACK OF CURB
ST	STORM SEWER		



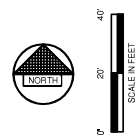
LEGEND

- CONCRETE SIDEWALK
- CONCRETE PAVEMENT (18,486 S.F.)
- HEATED CONCRETE PAVEMENT
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" STANDARD CURB AND GUTTER
- PROPOSED 18" STANDARD SHEDDING CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- INDICATES NUMBER OF PARKING STALLS
- INDICATES NUMBER OF VACUUM STALLS

NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURBS, UNLESS NOTED OTHERWISE



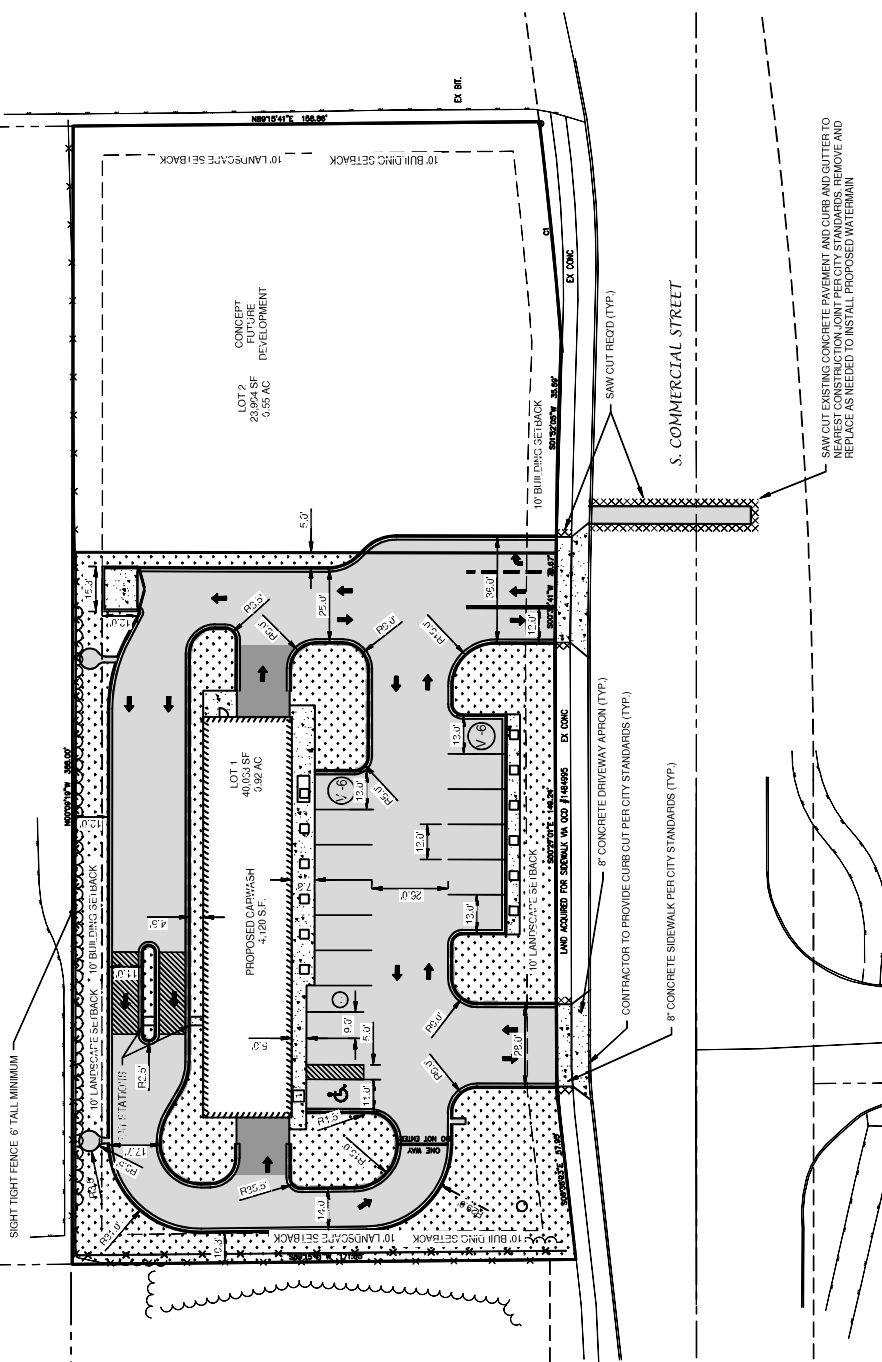
CONCRETE SIDEWALK/APRON DETAIL



DATE: _____ DRAWN BY: _____ REVISION: _____
 FILE NO.: _____ CHECKED BY: _____
 JOB NO.: _____ DESIGNED BY: _____

Robert E. Lee & Associates, Inc.
 ENVIRONMENTAL, ARCHITECTURAL, INTERIOR DESIGN, LANDSCAPE ARCHITECTURE
 1228 CENTRAL AVENUE, SUITE 200, WINNEBAGO, WI 53190
 WWW.RELEA.COM

SHEET NO. **2**



NOTE
 ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED TO PREVENT EROSION, TREE PLANTS AND CLUMPS.

PARKING DATA
 TOTAL PARKING STALLS PROVIDED = 3
 HANDICAP ACCESSIBLE PARKING STALLS = 1
 TOTAL PARKING STALLS REQUIRED = 4

SITE DATA
 TOTAL AREA = 0.84 ACRES, 36,701 S.F.
 BUILDING AREA = 0.09 ACRES, 4,120 S.F. (11.2%)
 SIDEWALK/PARKING LOT AREA = 0.42 ACRES, 18,486 S.F. (49.1%)
 GREEN SPACE = 0.34 ACRES, 14,565 S.F. (39.7%)

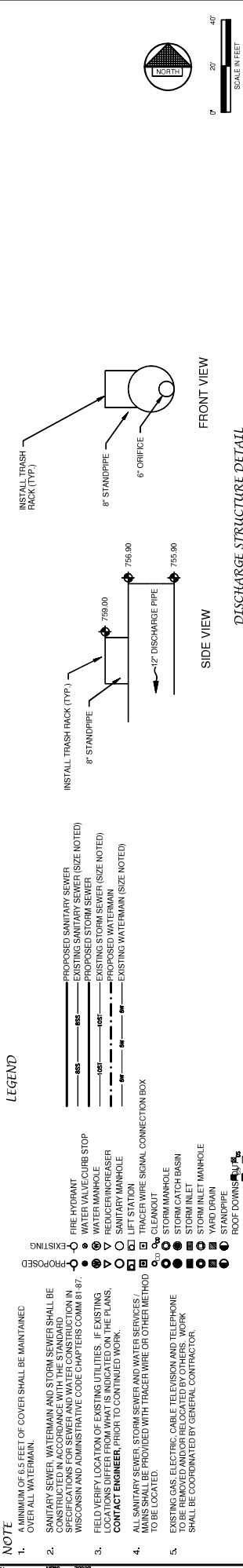
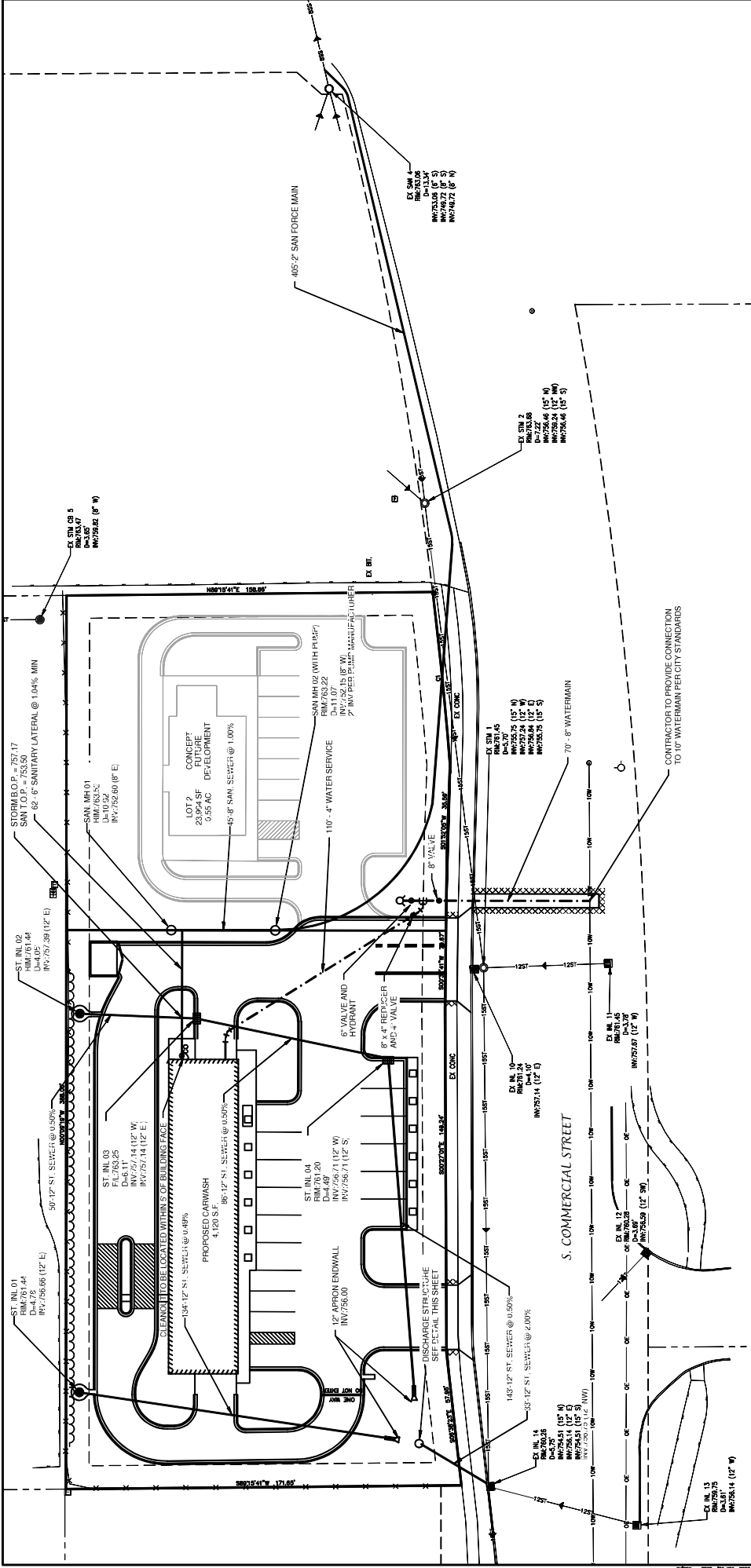
ZONING
 C-1 COMMERCIAL

PARCEL NO.
 86207030400

PROPOSED CAR WASH FOR
 BAYLAND BUILDINGS, INC.
 CITY OF NEEWAH
 WINNEBAGO COUNTY, WISCONSIN

NO.	DATE	APPROVAL	REASON	NO.	DATE	APPROVAL	REASON

SITE PLAN



LEGEND

—	PROPOSED SANITARY SEWER
- - -	EXISTING SANITARY SEWER (SIZE NOTED)
- - -	PROPOSED STORM SEWER
- - -	EXISTING STORM SEWER (SIZE NOTED)
- - -	PROPOSED WATERMAIN
- - -	EXISTING WATERMAIN (SIZE NOTED)
○	FIRE HYDRANT
○	WATER VALVE/CURB STOP
○	REDUCING INCREASER
○	SANITARY MANHOLE
○	LIFT STATION
○	CLEANOUT MANHOLE
○	STORM CATCH BASIN
○	STORM INLET
○	STORM INLET MANHOLE
○	YARD DRAIN
○	STANDPIPE
○	ROOF DOWNSPIRE
○	DISCHARGE STRUCTURE

NOTE

- A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
- SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-67.
- FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, CONTACT ENGINEER, PRIOR TO CONTINUED WORK.
- ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
- EXISTING GAS, ELECTRIC, CABLE TELEVISION AND TELEPHONE TO BE REMOVED AND/OR RELOCATED BY OTHERS. WORK SHALL BE COORDINATED BY GENERAL CONTRACTOR.

NO.	DATE	APPROVAL	REASON

PROPOSED CAR WASH FOR
BAYLAND BUILDINGS, INC.
CITY OF NEENAH
WINNEBAGO COUNTY, WISCONSIN

UTILITY PLAN

DATE: _____ FILE NO.: _____ JOB NO.: _____

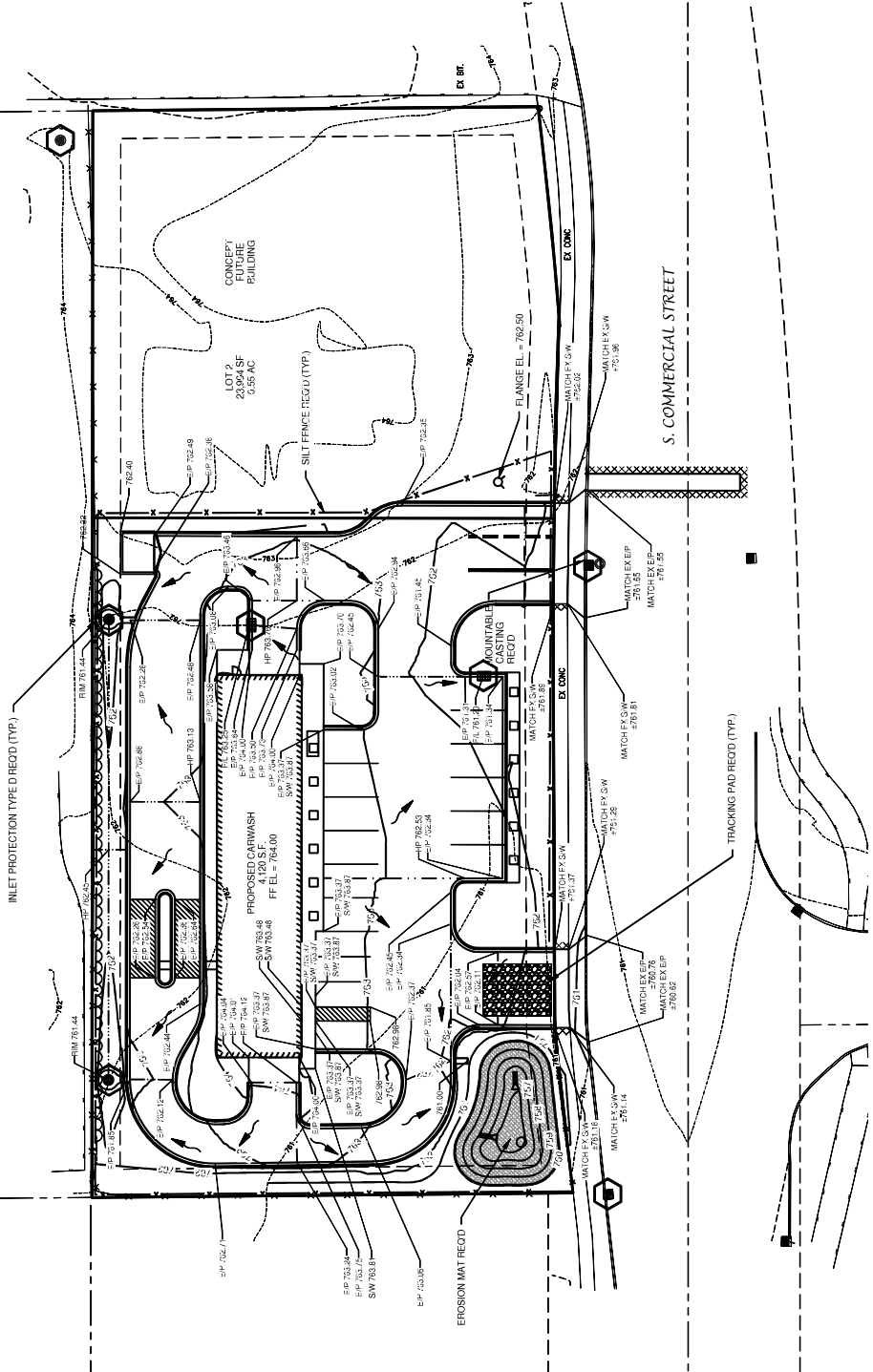
SCALE IN FEET: 0' 20' 40'

Robert E. Lee & Associates, Inc.
ENGINEERING, ARCHITECTURE, ENVIRONMENTAL SERVICES
1200 CENTRAL AVENUE, SUITE 200, NEENAH, WI 54956
WWW.RELEE.COM

SHEET NO. 3

LEGEND

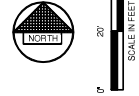
- T/C 999.89
- F/L 888.88
- S/W 666.66
- E/P 555.55
- R/W 444.44
- 333.33
- TOP OF CURB ELEVATION
- FLOW LINE ELEVATION
- TOP OF SIDEWALK ELEVATION
- EDGE OF PAVEMENT ELEVATION
- TOP OF RETAINING WALL ELEVATION
- GROUND ELEVATION
- DRAINAGE SWALE
- DRAINAGE DIVIDE
- FLOW ARROW
- TRACKING PAD (PER MNTR TECHNICAL STANDARD 1057)
- EROSION MAT (PER MNTR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER MNTR TECHNICAL STANDARD 1050)
- SILT FENCE (PER MNTR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER MNTR TECHNICAL STANDARD 1052)



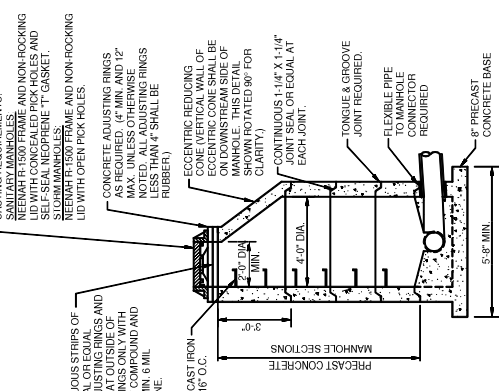
EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

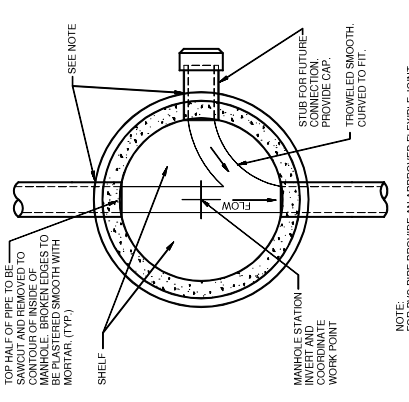
1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE Dewatering SHALL BE PERFORMED IN ACCORDANCE WITH MNTR TECHNICAL STANDARD 1051.



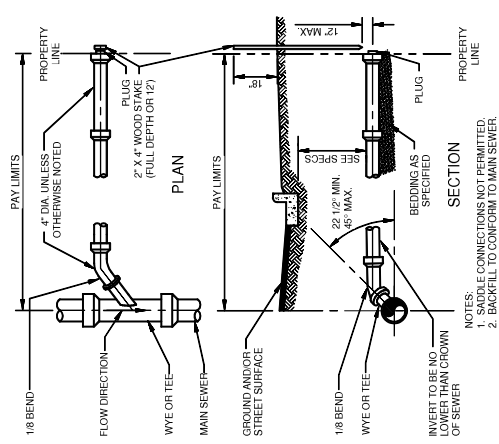
NO.	DATE	APPROV.	REASON	NO.	DATE	APPROV.	REASON	NO.	DATE	APPROV.	REASON
DRAWN				CHECKED				DESIGNED			
PROPOSED CAR WASH FOR BAYLAND BUILDINGS, INC. CITY OF NEENAH WINNEBAGO COUNTY, WISCONSIN											
GRADING AND EROSION CONTROL PLAN											
Robert E. Lee & Associates, Inc. ENVIRONMENTAL, SURVEYING, ENGINEERING, ARCHITECTURAL SERVICES 1250 COUNTY ROAD 200, PO BOX 1000, NEENAH, WI 54956 920-852-1941 www.reea.com											
DATE										SHEET NO.	
FILE NO.										4	
JOB NO.											



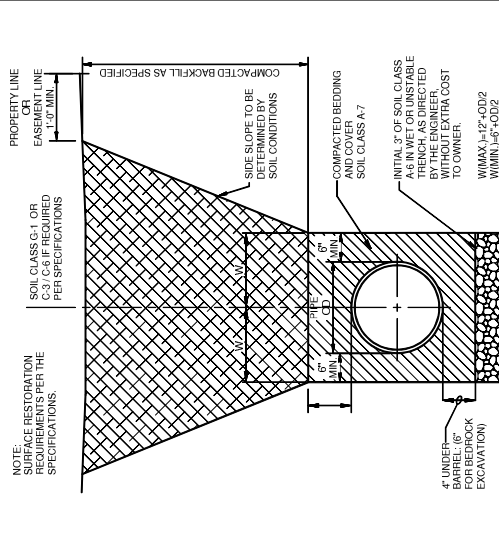
**SANITARY AND STORM STANDARD MANHOLE
8'-24" (INCLUSIVE)**



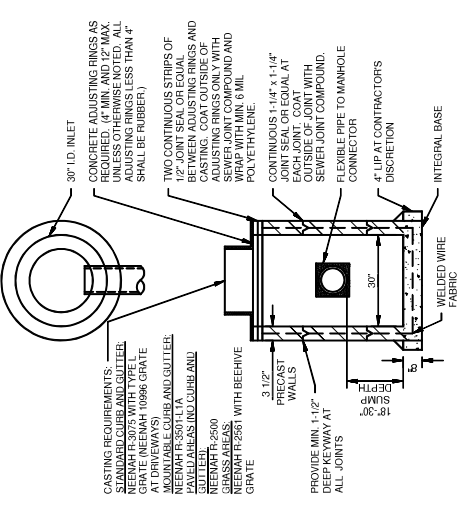
**MANHOLE BASE PLAN
8" - 60" (INCLUSIVE)**



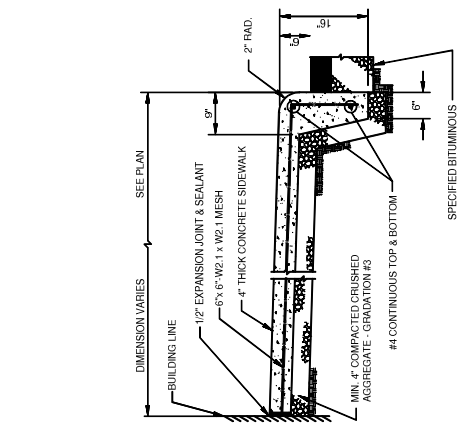
STANDARD SERVICE LATERAL



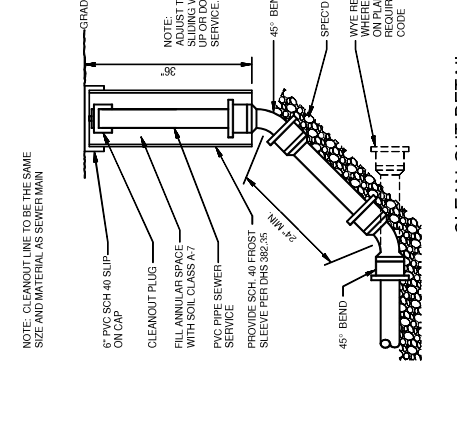
**HDPE /PVC SEWER, WATERMAIN AND FORCEMAIN
BEDDING AND TRENCH DETAIL**



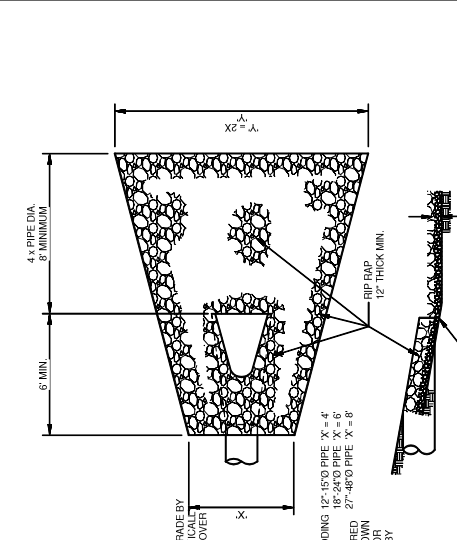
TYPE 'A' STORM INLET



SIDEWALK WITH INTEGRAL CURB



**CLEAN-OUT DETAIL
(NON-TRAVELED AREAS)**



ENDWALL RIP RAP DETAIL

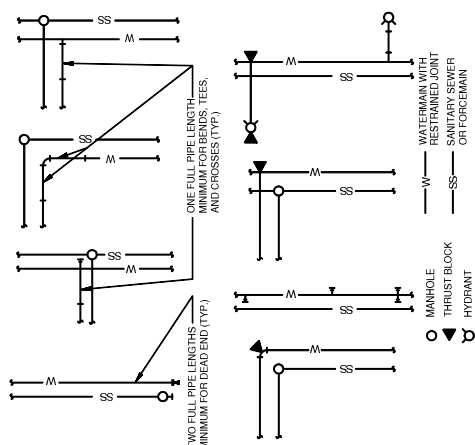
NO.	DATE	APPROVAL	REASON	NO.	DATE	APPROVAL	REASON

**PROPOSED CAR WASH FOR
 BAYLAND BUILDINGS, INC.
 CITY OF NEEWAH
 WINNEBAGO COUNTY, WISCONSIN**

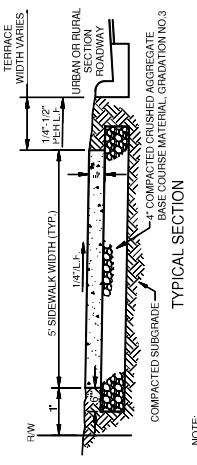
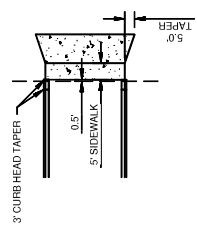
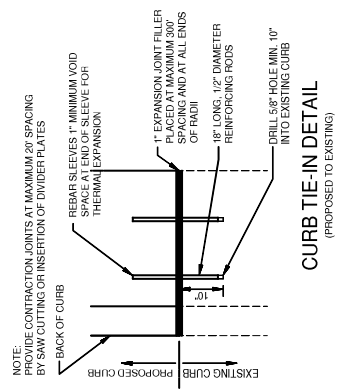
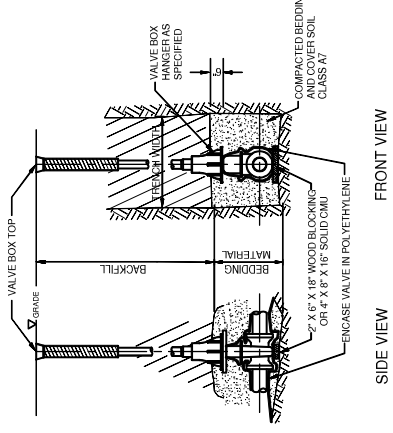
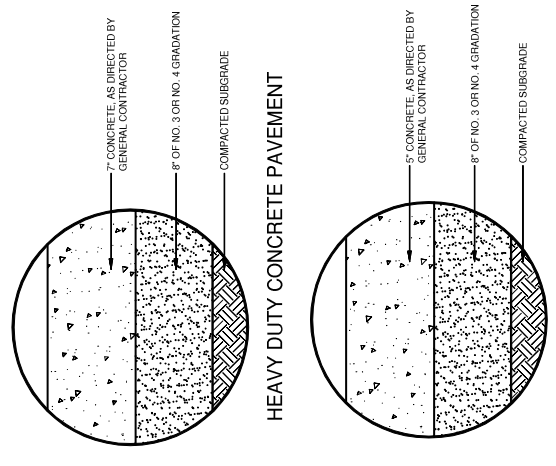
MISCELLANEOUS DETAILS

Robert E. Lee & Associates, Inc.
 PROFESSIONAL ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
 1228 CENTRE STREET, SUITE 200, WAUKESHA, WI 53186
 TEL: 262-546-1941 FAX: 262-546-1941 WWW: www.relee.com

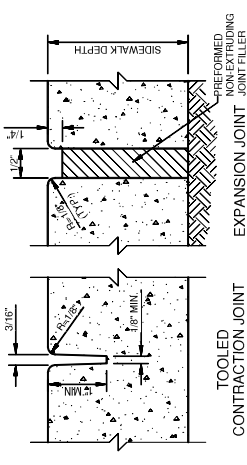
SHEET NO. 5



TYPICAL WATERMAIN RESTRAINT REQUIREMENTS FOR COMMON TRENCH CONSTRUCTION

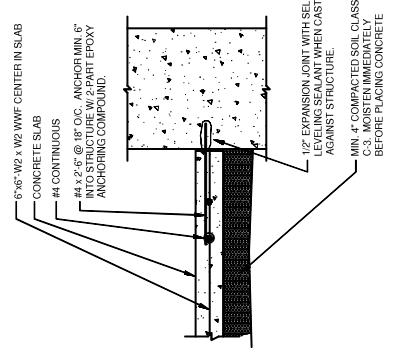


NOTE: REFER TO SPECIFICATIONS FOR REINFORCEMENTS.

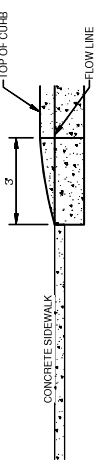


NOTE: PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS DIRECTED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.

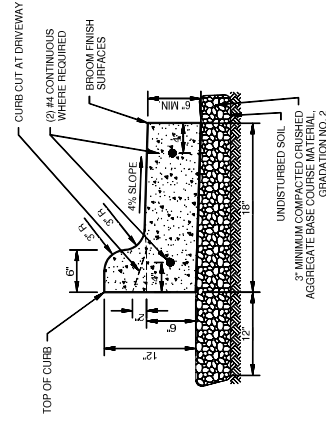
AT REMOVAL AND REPLACEMENT AREAS AND AT TIENS TO EXISTING CURBS, PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS DIRECTED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.



TYPICAL SIDEWALK ADJACENT TO STRUCTURE



CURB TAPER DETAIL



NOTE: PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS DIRECTED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.

AT REMOVAL AND REPLACEMENT AREAS AND AT TIENS TO EXISTING CURBS, PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS OR AS DIRECTED. PROVIDE CONTRACTION JOINTS EVERY 30' OR AS DIRECTED.

SHEDDING CURB AND GUTTER



STAINLESS STEEL VELOCITY VACS



- PREMIER EXPRESS VACS**
- 2 or 3 Motor Options
 - 2 Adjustable Doors for Easy Clean Out
 - Tough Upstream Tool with Serrated Cut
 - Added Money Back Look Bar for Security
 - 20th Motor Upgrade Available
 - 20th Motor Upgrade Available
 - Express 2 Offers Multiple Tracer, Cam, Bilt
 - Express 3 Features 2x and Vacuum (Not Available with 3rd Motor)



- PREMIER AROMA VAC**
- 2 or 3 Motor Options
 - 2 Adjustable Doors for Easy Clean Out
 - 2 Accessible Doors for Easy Clean Out
 - Tough Upstream Tool with Serrated Cut
 - 20th Motor Upgrade Available
 - 20th Motor Upgrade Available
 - Optional Cam, Bilt or Credit Card Adapters



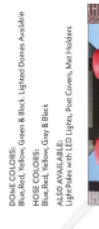
- PREMIER EXECUTIVE VAC**
- 2 or 3 Motor Options
 - 2 Adjustable Doors for Easy Clean Out
 - 2 Accessible Doors for Easy Clean Out
 - Tough Upstream Tool with Serrated Cut
 - 20th Motor Upgrade Available
 - 20th Motor Upgrade Available
 - Multiple Cam, Bilt and Credit Card Adapters



- PREMIER MAGIC VAC**
- 2 or 3 Motor Options
 - 2 Adjustable Doors for Easy Clean Out
 - 2 Accessible Doors for Easy Clean Out
 - Tough Upstream Tool with Serrated Cut
 - 20th Motor Upgrade Available
 - 20th Motor Upgrade Available
 - Multiple Cam, Bilt and Credit Card Adapters



- SILVER BULLET**
- 2 or 3 Motor Options
 - 2 Adjustable Doors for Easy Clean Out
 - 2 Accessible Doors for Easy Clean Out
 - Tough Upstream Tool with Serrated Cut
 - 20th Motor Upgrade Available
 - 20th Motor Upgrade Available
 - Multiple Cam, Bilt and Credit Card Adapters



- DOMES COLORS:** Green & Black, Lighted Domes Available
HOSE COLORS: Blue, Red, Yellow, Gray & Black
ALSO AVAILABLE: Lighted with LED Light, Two Colors, Mesh Holders



- 2 or 3 MOTOR OPTIONS**
- 2 1000 watt motor with 2" neck
 - 2 1500 watt motor with 2 1/2" neck
 - 3 1000 watt motor with 2 1/2" neck
 - 3 1500 watt motor with 2 1/2" neck
 - 20th Motor Upgrade Available



- PREMIER EXPRESS-1 VAC**
- LED Upstream Available
 - Push Button or Toggle Switch Start



- PREMIER SINGLE EXPRESS-2 VAC WITH METER BOX**
- Single Vac Station with Dual Booms
 - Premium Metered Neck Holder
 - LED Upstream Available



- PREMIER DUAL EXPRESS-2 VAC WITH INDIVIDUAL METER BOXES**
- Dual Vac Station with Dual Booms
 - Concept Add on for Dual Vac Stations
 - LED Upstream Available



- 2 or 3 MOTOR OPTIONS**
- 2 1000 watt motor with 2" neck
 - 2 1500 watt motor with 2 1/2" neck
 - 3 1000 watt motor with 2 1/2" neck
 - 3 1500 watt motor with 2 1/2" neck
 - 20th Motor Upgrade Available



- VACUUM SPECS**
- Big Filter System
 - Tough Upstream Tool with Serrated Cut
 - Money Back Look Bar for Security
 - 20th Motor Upgrade Available
 - Express 2 Offers Multiple Tracer, Cam, Bilt
 - Premium Concept Available

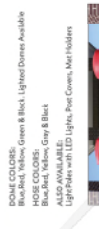
STAINLESS STEEL VELOCITY VACS



- PREMIER EXPRESS VACS**
- 2 or 3 Motor Options
 - 2 Adjustable Doors for Easy Clean Out
 - 2 Accessible Doors for Easy Clean Out
 - Tough Upstream Tool with Serrated Cut
 - 20th Motor Upgrade Available
 - 20th Motor Upgrade Available
 - Optional Cam, Bilt or Credit Card Adapters



- PREMIER AROMA VAC**
- 2 or 3 Motor Options
 - 2 Adjustable Doors for Easy Clean Out
 - 2 Accessible Doors for Easy Clean Out
 - Tough Upstream Tool with Serrated Cut
 - 20th Motor Upgrade Available
 - 20th Motor Upgrade Available
 - Optional Cam, Bilt or Credit Card Adapters



- PREMIER EXECUTIVE VAC**
- 2 or 3 Motor Options
 - 2 Adjustable Doors for Easy Clean Out
 - 2 Accessible Doors for Easy Clean Out
 - Tough Upstream Tool with Serrated Cut
 - 20th Motor Upgrade Available
 - 20th Motor Upgrade Available
 - Multiple Cam, Bilt and Credit Card Adapters



- PREMIER MAGIC VAC**
- 2 or 3 Motor Options
 - 2 Adjustable Doors for Easy Clean Out
 - 2 Accessible Doors for Easy Clean Out
 - Tough Upstream Tool with Serrated Cut
 - 20th Motor Upgrade Available
 - 20th Motor Upgrade Available
 - Multiple Cam, Bilt and Credit Card Adapters



- SILVER BULLET**
- 2 or 3 Motor Options
 - 2 Adjustable Doors for Easy Clean Out
 - 2 Accessible Doors for Easy Clean Out
 - Tough Upstream Tool with Serrated Cut
 - 20th Motor Upgrade Available
 - 20th Motor Upgrade Available
 - Multiple Cam, Bilt and Credit Card Adapters



- 2 or 3 MOTOR OPTIONS**
- 2 1000 watt motor with 2" neck
 - 2 1500 watt motor with 2 1/2" neck
 - 3 1000 watt motor with 2 1/2" neck
 - 3 1500 watt motor with 2 1/2" neck
 - 20th Motor Upgrade Available



- PREMIER EXPRESS-1 VAC**
- LED Upstream Available
 - Push Button or Toggle Switch Start



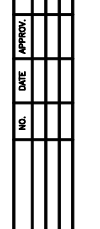
- PREMIER SINGLE EXPRESS-2 VAC WITH METER BOX**
- Single Vac Station with Dual Booms
 - Premium Metered Neck Holder
 - LED Upstream Available



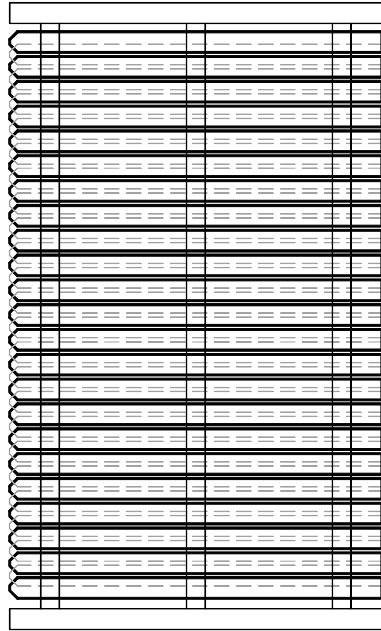
- PREMIER DUAL EXPRESS-2 VAC WITH INDIVIDUAL METER BOXES**
- Dual Vac Station with Dual Booms
 - Concept Add on for Dual Vac Stations
 - LED Upstream Available



- 2 or 3 MOTOR OPTIONS**
- 2 1000 watt motor with 2" neck
 - 2 1500 watt motor with 2 1/2" neck
 - 3 1000 watt motor with 2 1/2" neck
 - 3 1500 watt motor with 2 1/2" neck
 - 20th Motor Upgrade Available



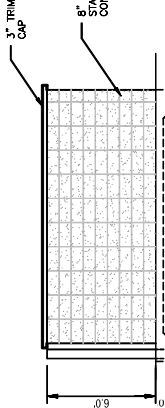
- VACUUM SPECS**
- Big Filter System
 - Tough Upstream Tool with Serrated Cut
 - Money Back Look Bar for Security
 - 20th Motor Upgrade Available
 - Express 2 Offers Multiple Tracer, Cam, Bilt
 - Premium Concept Available



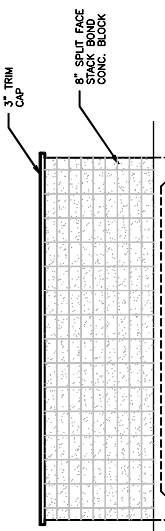
PLAN VIEW SCALE: 1/4" = 1'-0"

SCALE: N.T.S. BOARD ON BOARD

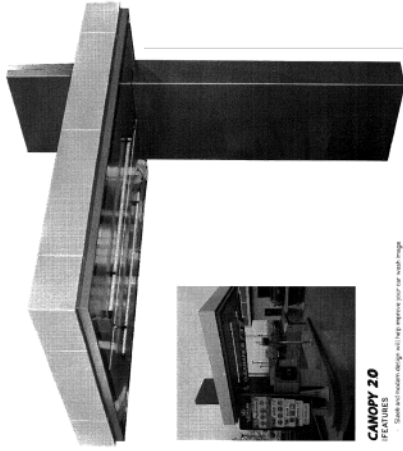
6' HIGH PRIVACY FENCE



SIDE ELEVATION SCALE: 1/4" = 1'-0" OTHER SIDE SIMILAR



REAR ELEVATION SCALE: 1/4" = 1'-0"



CANOPY 20

- Same excellent design will help improve your work strength
- The post will be angled with your choice of adjustment
- LED Upstream Available

www.premier.com

564.427.0070

1273

www.premier.com

564.427.0070

1273

www.premier.com

564.427.0070

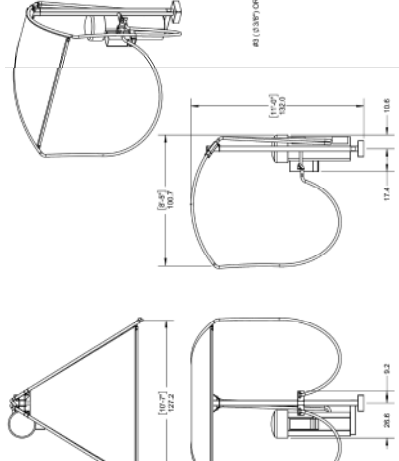
1273

www.premier.com

564.427.0070

1273

DUAL BOOM, SINGLE EXPRESS-2, LEFT SIDE



VAC CANOPY FOUNDATION DETAIL

DATE	FILE	JOB NO.

DRAWN	CHECKED	DESIGNED

NO.	DATE	APPROV.	NO.	DATE	APPROV.

PROPOSED CAR WASH FOR
 BAYLAND BUILDINGS, INC.
 CITY OF NEENAH
 WINNEBAGO COUNTY, WISCONSIN

MISCELLANEOUS DETAILS

Robert E. Lee & Associates, Inc.
 ENGINEERING, ARCHITECTURE, ENVIRONMENTAL SERVICES
 1200 COUNTY ROAD 200, SUITE 200, NEENAH, WI 54956
 920-862-1984

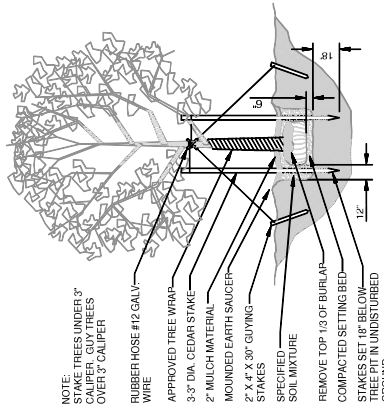
SHEET NO. 7

SHRUB/BUSH PLANTING SCHEDULE

SYMBOL	SPECIES	QTY.
●	STANDING OVATION SERVICE BERRY	4
⊕	LIME LIGHT HYDRANGEA	9
○	ANDOPHA JUNPER	31

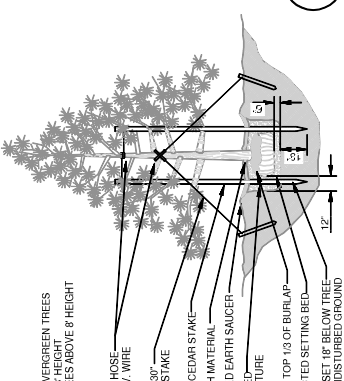
TREE PLANTING SCHEDULE

SYMBOL	SPECIES	QTY.
🌳	ACER RUBRUM "OCTOBER GLORY" (2.5" DIA. MIN.)	8
🌳	SKYLINE HONEY LOCUST (1.5" DIA. MIN.)	11
🌳	BLACKHILL SPRUCE (4 MN.)	25



NOTE:
 STAKE TREES UNDER 3" CALIPER GUY TREES OVER 3" CALIPER
 RUBBER HOSE #12 GALV. WIRE
 APPROVED TREE WRAP
 3/4" DIA. CEDAR STAKE
 2" MULCH MATERIAL
 MOUND EARTH SAUGER
 1/4" X 1/4" X 30" GUYING STAKES
 SPECIFIED SOIL MIXTURE
 REMOVE TOP 1/3 OF BURLAP
 COMPACTED SETTING BED
 STAKES SET 1/8" BELOW GROUND
 IN UNDISTURBED GROUND

TYPICAL PLANTING, GUYING AND SPIKING DECIDUOUS TREE DETAIL

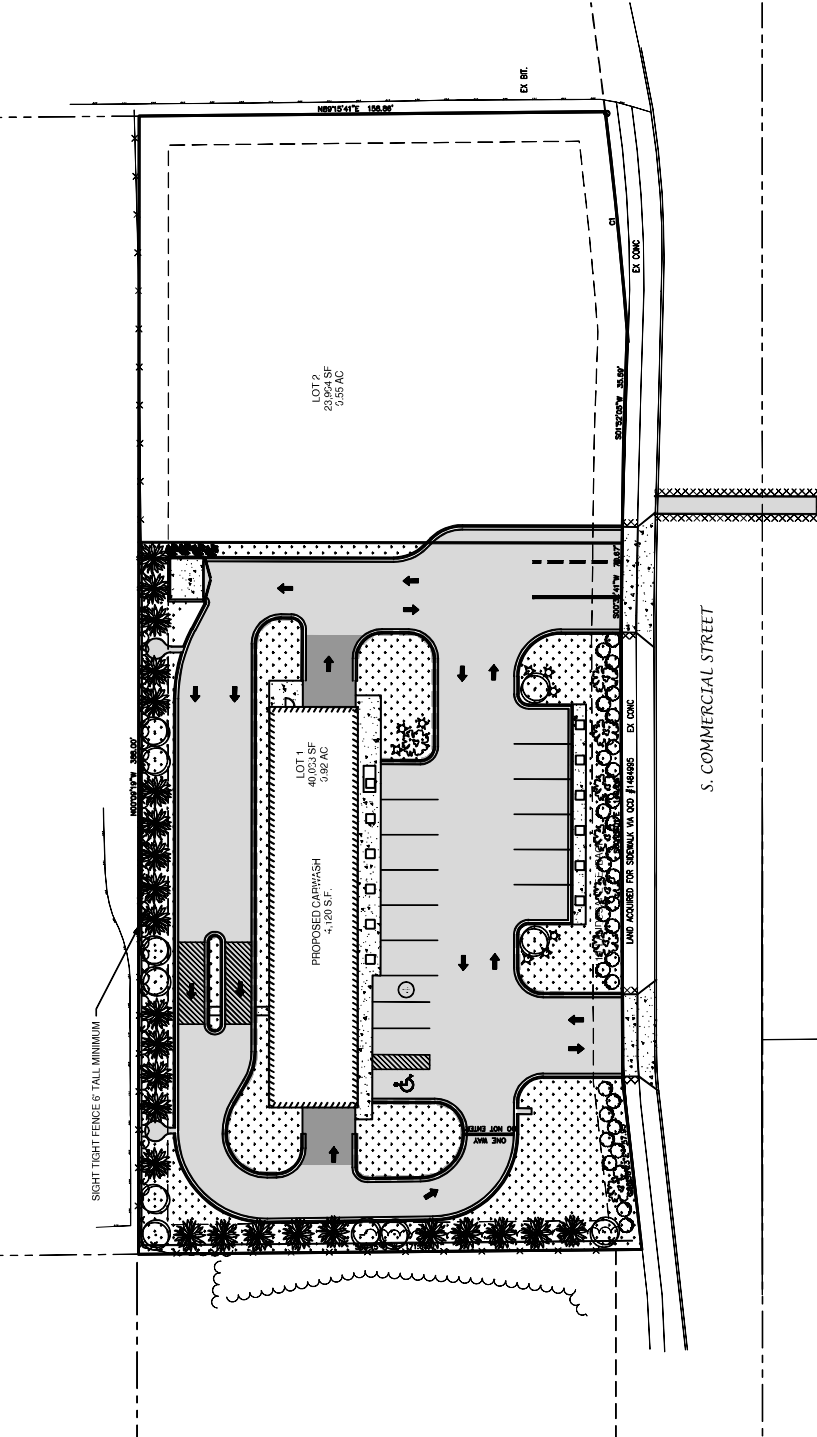


NOTE:
 STAKE EVERGREEN TREES BELOW 8" HEIGHT
 GUY TREES ABOVE 8" HEIGHT
 RUBBER HOSE #12 GALV. WIRE
 2" X 1/4" X 30" GUYING STAKE
 3/4" DIA. CEDAR STAKE
 2" MULCH MATERIAL
 MOUND EARTH SAUGER
 SPECIFIED SOIL MIXTURE
 REMOVE TOP 1/3 OF BURLAP
 COMPACTED SETTING BED
 STAKES SET 1/8" BELOW TREE PIT IN UNDISTURBED GROUND



TYPICAL PLANTING, GUYING AND SPIKING EVERGREEN TREE DETAIL

Robert E. Lee & Associates, Inc.
 LANDSCAPE ARCHITECTS
 1200 W. WISCONSIN AVENUE, SUITE 200
 MILWAUKEE, WISCONSIN 53233
 TEL: 414-224-1111 FAX: 414-224-1112
 WWW.RELEE.COM



TREE / PLANTING MAINTENANCE
 MAINTAIN TREES AND PLANTINGS BY:
 - PRUNING
 - WEEDING
 - FERTILIZING
 - RESTORING
 - PLANTING SAUGERS, ADJUSTING AND REPAIRING, AND RESETTING TO PROPER PLANTING DEPTHS
 - WATERING
 - MULCHING
 - STAKING
 - GUYING
 - SOIL MIXTURE
 - TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.

LANDSCAPE PLAN

PROPOSED CAR WASH FOR
 BAYLAND BUILDINGS, INC.
 CITY OF NEEWAH
 WINNEBAGO COUNTY, WISCONSIN

NO.	DATE	APPROVAL	REASON	NO.	DATE	APPROVAL	REASON

DATE: 10/20/2023
 TIME: 10:00 AM
 SHEET NO. 1



#	DATE	COMMENTS

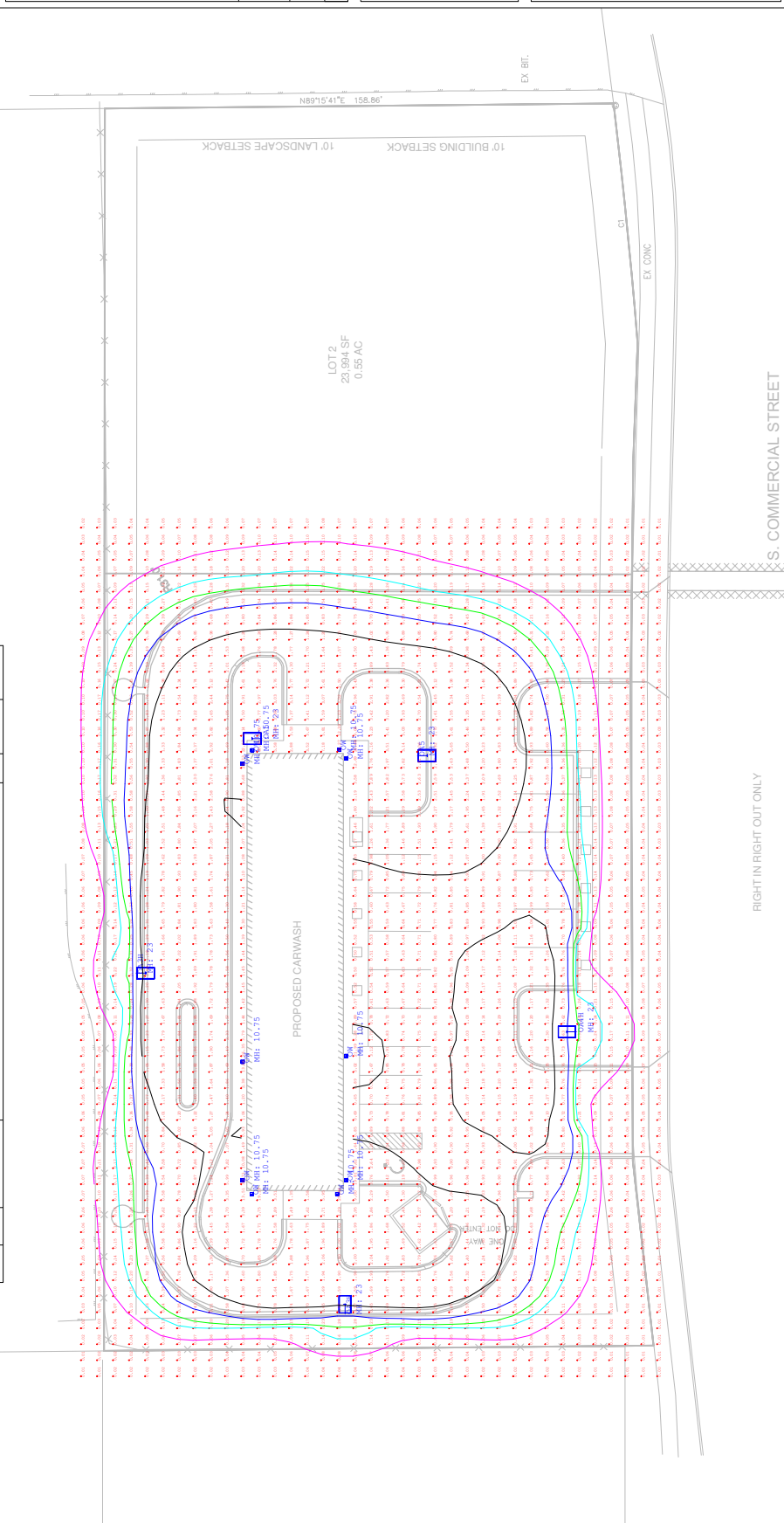
REVISIONS

DRAWN BY: JT	DATE: 5-10-2022	SCALE: 1/16" = 1'
BAYLAND 21-2320		
NEENAH, WI		
SITE LIGHTING LAYOUT		

Line	Label	Units	Min	Max	Min	Max	Min	Max

Qty	Code	MTG	Description	LUF	Lum. Wabs	Total Wabs
2	CHM	US ARCH	V.L.P. ED. M.A.L. ED. OSMA. W.K. (W) 1.1. (M) 1.1. H.S. 2.0' POLE - 12' POLE	0.960	65	130
1	CHM	US ARCH	V.L.P. ED. M.A.L. ED. OSMA. W.K. (W) 1.1. (M) 1.1. H.S. 2.0' POLE - 12' POLE	0.960	65	65
2	CHM	US ARCH	V.L.P. ED. M.A.L. ED. OSMA. W.K. (W) 1.1. (M) 1.1. H.S. 2.0' POLE - 12' POLE	0.960	65	130
10	CHM	US ARCH	V.L.P. ED. M.A.L. ED. OSMA. W.K. (W) 1.1. (M) 1.1. H.S. 2.0' POLE - 12' POLE	0.960	65	650

Qty	Code	MTG	Description	LUF	Lum. Wabs	Total Wabs



RIGHT IN RIGHT OUT ONLY

S. COMMERCIAL STREET

LOT 2
23,984 SF
0.35 AC

PROPOSED CARWASH

10' BUILDING SETBACK
10' LANDSCAPE SETBACK

CI

EX. CONC

EX. BIT.

3.14' (51.68N)

3.14' (51.68N)

800' 10'-7.5"

800' 10'-7.5"

800' 10'-7.5"

800' 10'-7.5"

800' 10'-7.5"

800' 10'-7.5"

800' 10'-7.5"

800' 10'-7.5"

800' 10'-7.5"

800' 10'-7.5"

800' 10'-7.5"

SOLID STATE AREA LIGHTING

VALULUME SERIES-PLED

S P E C I F I C A T I O N S

OPTICAL HOUSING

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling fins. The Optical Panel mounting surface is milled flat (surface variance $\pm .003"$ over 12") to facilitate thermal transfer of heat to housing and cooling fins. Solid barrier wall separates optical and electrical compartments. The optical and electrical compartments are integrated to create one assembly. Minimum wall thickness is .188".

ELECTRICAL HOUSING w/ INTEGRATED ARM

Heavy cast low copper aluminum (A356 alloy; <0.2% copper) assembly with integral cooling ribs surrounding the electrical compartment and a flat surface on the top of the arm to accommodate a photocell receptacle. Solid barrier wall separates optical and electrical compartments. The optical compartment and electrical compartment with the integrated support arm combine to create one assembly. Minimum wall thickness is .188". Cast and hinged driver assembly cover is integrated with wiring compartment cover.

PLED™ OPTICS

Emitters (LED's) are arrayed on a metal core PCB panel with each emitter located on a copper thermal transfer pad and enclosed by an LED refractor. LED optics completely seal each individual emitter to meet an IP66 rating. In asymmetric distributions, a micro-reflector inside the refractor re-directs the house side emitter output towards the street side and functions as a house side shielding element. Refractors are injection molded H12 acrylic. Each LED refractor is sealed to the PCB over an emitter and all refractors are retained by an aluminum frame. Any one Panel, or group of Panels in a luminaire, have the same optical pattern. LED refractors produce standard site/area distributions. Panels are field replaceable and field rotatable in 90° increments.

LED DRIVER(S)

Constant current electronic with a power factor of >.90 and a minimum operating temperature of -40°F/-40°C. Driver(s) is/are UL and cUL recognized and mounted directly against the Electrical Housing to facilitate thermal transfer, held down by universal clamps to facilitate easy removal. In-line terminal blocks facilitate wiring between the driver and optical arrays. Drivers accept an input of 120-277V, 50/60Hz or 347V-480V, 50,60Hz. (0 - 10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection. Luminaire supplied with 20KV surge protector for field accessible installation.)

LED EMITTERS

High output LED's are utilized with drive currents ranging from 350mA to 1050mA. 70CRI Minimum. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Consult Factory for other LED options.

FINISH

Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step media blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.

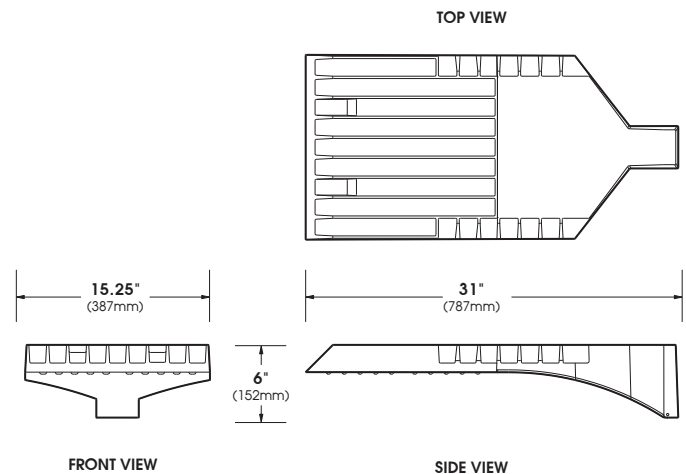
PROJECT NAME: _____

FIXTURE TYPE: _____



VLL PLED

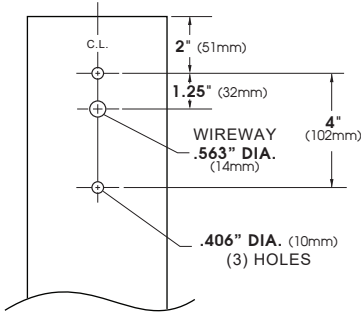
PATENT PENDING



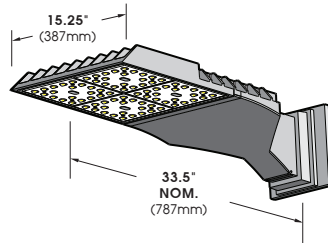
VALULUME SERIES - PLED

S P E C I F I C A T I O N S

POLE DRILLING TEMPLATE

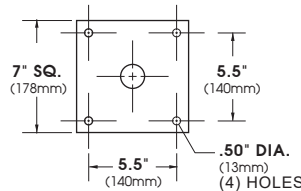


WALL MOUNT

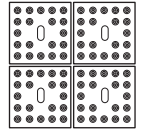
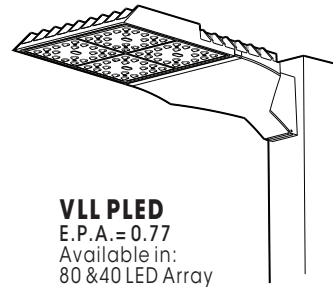


EXTRUDED ALUMINUM ARM AND CAST ALUMINUM WALL BRACKET ASSEMBLY PROVIDED WITH BUILT IN GASKETED WIRE ACCESS FOR FIXTURE/SUPPLY WIRE CONNECTION.

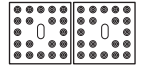
WALL PLATE



PLED™ MODULES



80 LED Array



40 LED Array

No. of LEDs	Drive Current	System Watts	HID Equivalent
40	350mA	45	70 - 100
	525mA	66	100 - 150
	700mA	91	175
	1050mA	142	200 - 250
80	350mA	92	150 - 175
	525mA	136	200 - 250
	700mA	184	400
	1050mA	266	450

Spec/Order Example: VLL-LED/PLED-V-SQ/80LED-700mA/NW/277/1/RAL9005

S P E C / O R D E R I N G I N F O R M A T I O N

MODEL	OPTICS	LED	MOUNTING	FINISH	OPTIONS
<input type="checkbox"/> VLL LED	PLED™ DISTRIBUTION <input type="checkbox"/> TYPE II PLED-II <input type="checkbox"/> TYPE II FRONT ROW PLED-II-FR <input type="checkbox"/> TYPE II MEDIAN ILLUMINATOR PLED-II-ML <input type="checkbox"/> TYPE IIIBED. PLED-III <input type="checkbox"/> TYPE III WIDE PLED-III W <input type="checkbox"/> TYPE IV PLED-IV <input type="checkbox"/> TYPE IV PLED-IV-FT <input type="checkbox"/> TYPE V NARROW PLED-VSQ-N <input type="checkbox"/> TYPE V MED. PLED-V-SQ-M <input type="checkbox"/> TYPE V WIDE PLED-V-SQ-W	No. LEDs <input type="checkbox"/> 80LED <input type="checkbox"/> 1050mA <input type="checkbox"/> NW (4000K)* <input type="checkbox"/> 40LED <input type="checkbox"/> 700mA <input type="checkbox"/> CW (5000K) <input type="checkbox"/> 525mA <input type="checkbox"/> WW (3000K) <input type="checkbox"/> 350mA OTHER LED COLORS AVAILABLE CONSULT FACTORY VOLTAGE <input type="checkbox"/> 120 <input type="checkbox"/> 208 <input type="checkbox"/> 240 <input type="checkbox"/> 277 <input type="checkbox"/> 347 <input type="checkbox"/> 480	ARM MOUNT <input type="checkbox"/> 1 <input type="checkbox"/> 2-180 <input type="checkbox"/> 2-90 <input type="checkbox"/> 3-120 <input type="checkbox"/> 3-90 <input type="checkbox"/> 4-90 <input type="checkbox"/> UNIVERSAL POLE ADAPTOR. UPA WALL MOUNT <input type="checkbox"/> WM	STANDARD TEXTURED FINISH <input type="checkbox"/> BLACK RAL-9005-T <input type="checkbox"/> WHITE RAL-9003-T <input type="checkbox"/> GREY RAL-7004-T <input type="checkbox"/> DARK BRONZE RAL-8019-T <input type="checkbox"/> GREEN RAL-6005-T FOR SMOOTH FINISH REPLACE SUFFIX "T" WITH SUFFIX "S" (EXAMPLE: RAL-9005-S) SEE USALTG.COM FOR ADDITIONAL COLORS	<input type="checkbox"/> HIGH-LOW DIMMING FOR HARDWIRED SWITCHING OR NONINTEGRATED MOTION SENSOR HLSW <input type="checkbox"/> INTERNAL HOUSE SIDE SHIELD HS-PLED <input type="checkbox"/> PHOTO CELL + VOLTAGE (EXAMPLE: PC120V) PC+V <input type="checkbox"/> TWIST LOCK RECEPTACLE ONLY TPR <input type="checkbox"/> 7-PIN TWIST LOCK RECEPTACLE ONLY TPR7 <input type="checkbox"/> SINGLE FUSE (120V, 277V, 347V) SF <input type="checkbox"/> DOUBLE FUSE (208V, 240V, 480V) DF <input type="checkbox"/> BLUE-TOOTH PROGRAMMABLE PHOTO/MOTION SENSOR (FACTORY - MOTION 50/100; PHOTO 75fc) MS-F311



VALULUME SERIES - PLED

LED/ELECTRICAL GUIDE

LED COUNT	SOURCE TYPE	SOURCE	INITIAL LUMENS - 4000K	INITIAL LUMENS - 3000K	INITIAL LUMENS - 5000K	L70 GREATER THAN (HR)	STARTING TEMP.	SYSTEM WATTS	VOLTS	MAX INPUT AMPS
40	LED	40 PLED Optical Module - 350mA	5,585 - 6,408	5,306 - 6,088	5,864 - 6,729	85,000+	-40°F	43	120 277 347	0.36 0.16 0.12
40	LED	40 PLED Optical Module - 525mA	8,059 - 9,246	7,656 - 8,784	8,462 - 9,709	85,000+	-40°F	65	120 277 347	0.54 0.23 0.19
40	LED	40 PLED Optical Module - 700mA	10,240 - 11,749	9,728 - 11,162	10,752 - 12,337	85,000+	-40°F	87	120 277 347	0.73 0.31 0.25
40	LED	40 PLED Optical Module - 1050mA	13,642 - 15,652	12,960 - 14,870	14,324 - 16,435	85,000+	-40°F	128	120 277 347	1.07 0.46 0.37
80	LED	80 PLED Optical Module - 350mA	10,824 - 12,419	10,283 - 11,798	11,365 - 13,040	85,000+	-40°F	86	120 277 347	0.72 0.31 0.25
80	LED	80 PLED Optical Module - 525mA	15,587 - 17,884	14,808 - 16,990	16,366 - 18,778	85,000+	-40°F	130	120 277 347	1.08 0.47 0.37
80	LED	80 PLED Optical Module - 700mA	19,767 - 22,680	18,779 - 21,546	20,755 - 23,814	85,000+	-40°F	174	120 277 347	1.45 0.63 0.50
80	LED	80 PLED Optical Module - 1050mA	26,255 - 30,124	24,942 - 28,618	27,568 - 31,630	85,000+	-40°F	257	120 277 347	2.14 0.93 0.74

NOTES:

1. Max Input Amps is the highest of starting, operating, or open circuit currents
2. Lumen values for LED Modules vary according to the distribution type
3. System Watts includes the source watts and all driver components.
4. Fuse value should be sufficient to protect all wiring components. For electronic driver and LED component protection, use 10KV - 20KV surge suppressors.
5. L70(9K) - TM-21 6x rule applied

WARNING: All fixtures must be installed in accordance with local codes or the National Electrical Code. Failure to do so may result in serious personal injury.



PROPOSED BUILDING FOR:
 21-2320
 CITY, WISCONSIN; COUNTY OF:

SCALE/VERIFICATION

SCALE: AS SHOWN
 VERIFICATION: AS SHOWN

NOTES TO CONTRACTOR:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

JOB NUMBER: 21-2320

PROJECT: TOM AMBROSIOUS

EXECUTIVE: (920) 371-2544

DRAWN BY: DPO / AJR

DATE: 01/11/2022

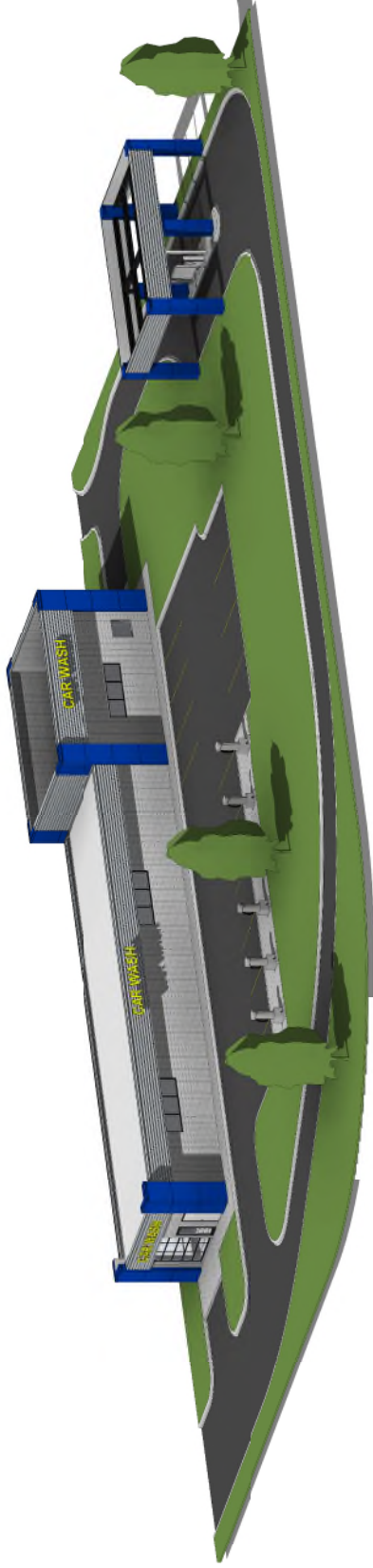
REVISIONS:

ISSUED FOR: CHECKED DATE: BY:

- PRELIMINARY
- 3RD SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

EXTERIOR ELEVATIONS

A2.1



PROPOSED BUILDING FOR:
 21-2320
 CITY, WISCONSIN; COUNTY OF:

SCALE/VERIFICATION

SCALE: 1/8" = 1'-0"

NOTES TO CONTRACTOR:
 THIS DRAWING IS THE PROPERTY OF BAYLAND BUILDINGS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BAYLAND BUILDINGS. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. BAYLAND BUILDINGS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. BAYLAND BUILDINGS SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING.

JOB NUMBER: 21-2320

PROJECT: TOM AMEROSIUS
 EXECUTIVE: (920) 371-2544

DRAWN BY: DPO / AJR

DATE: 01/11/2022

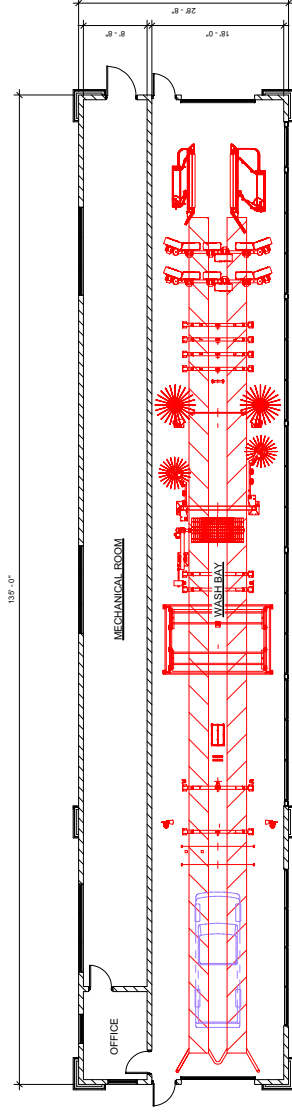
REVISIONS:

ISSUED FOR: CHECKED DATE: BY:

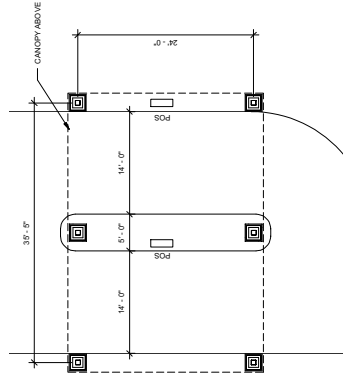
- PRELIMINARY
- BID SET
- DESIGN REVIEW
- CHECKSET
- CONSTRUCTION

OVERALL FLOOR PLAN

A1.0



FLOOR PLAN - OVERALL
 1/8" = 1'-0" SCALE = 1/8" = 1'-0"



FLOOR PLAN - POS CANOPY
 2/16" = 1'-0" SCALE = 1/8" = 1'-0"



PROPOSED BUILDING FOR:
 21-2320
 CITY, WISCONSIN; COUNTY OF:

SCALE VERIFICATION

NOTES TO CONTRACTOR:
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE WORK AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE WORK AT THE TIME OF CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS OF THE WORK AT THE TIME OF CONSTRUCTION.

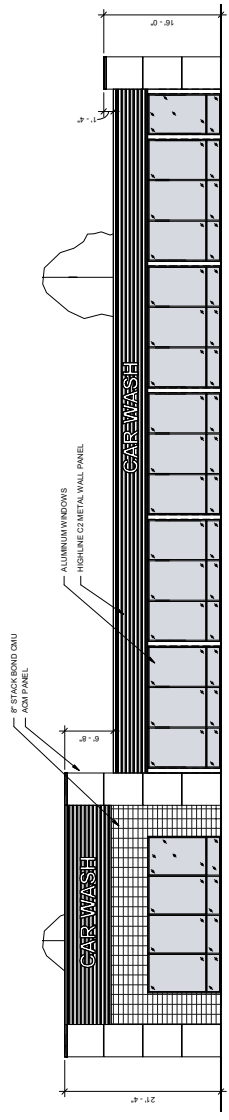
PROJECT: TOM AMEROSIUS
 EXECUTIVE: (920) 371-2544
 DRAWN BY: DPO / AJR
 DATE: 01/11/2022

REVISIONS:

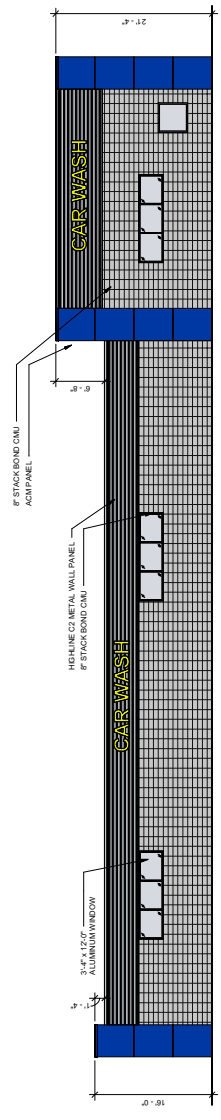
ISSUED FOR: CHECKED DATE: BY:
 PRELIMINARY
 BID SET
 DESIGN REVIEW
 CHECKSET
 CONSTRUCTION

EXTERIOR ELEVATIONS

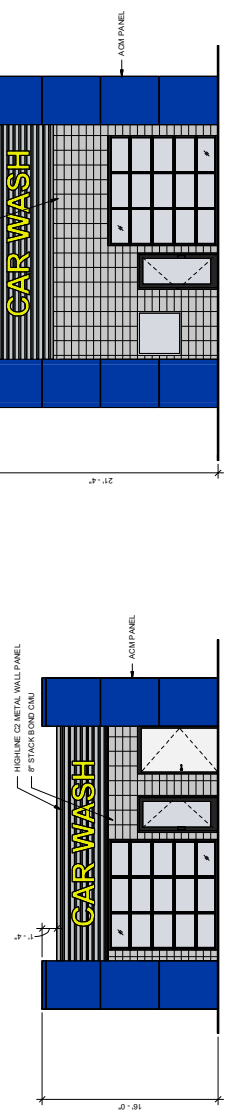
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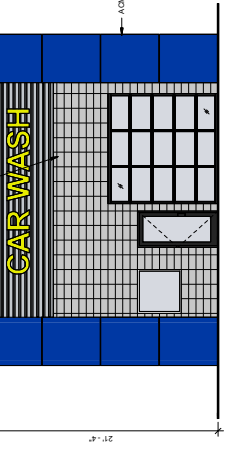
BUILDING ELEVATION - EAST
 1/A2.0 SCALE = 1/8" = 1'-0"



BUILDING ELEVATION - WEST
 2/A2.0 SCALE = 1/8" = 1'-0"

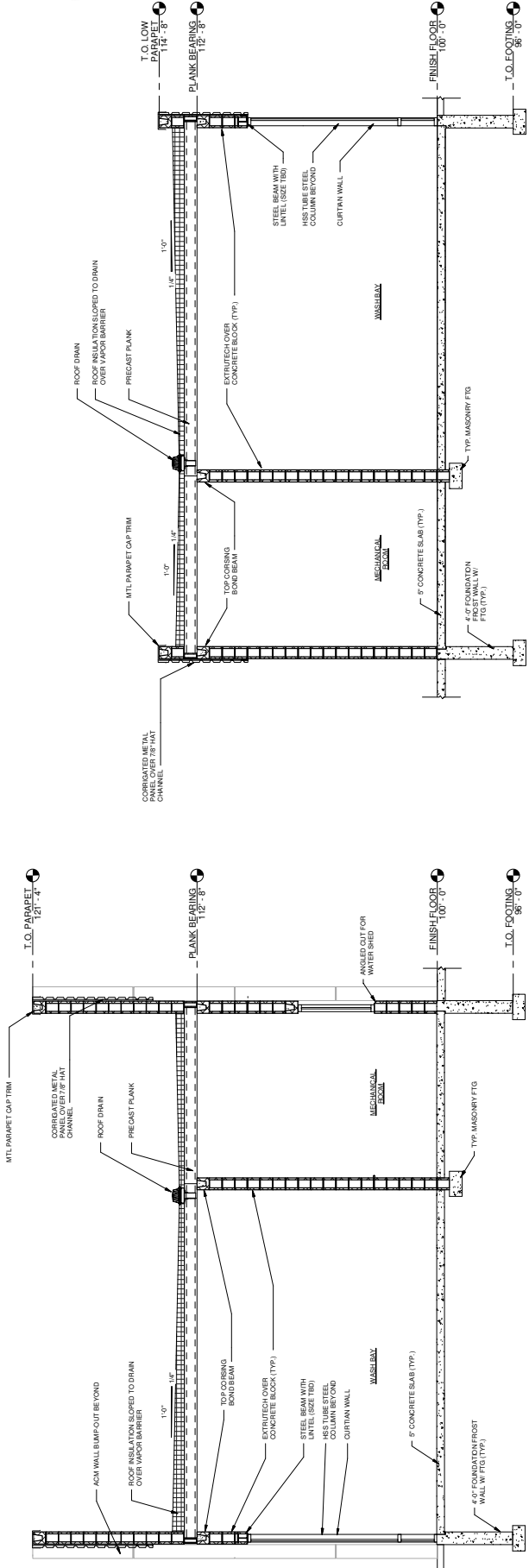


BUILDING ELEVATION - NORTH
 3/A2.0 SCALE = 3/16" = 1'-0"



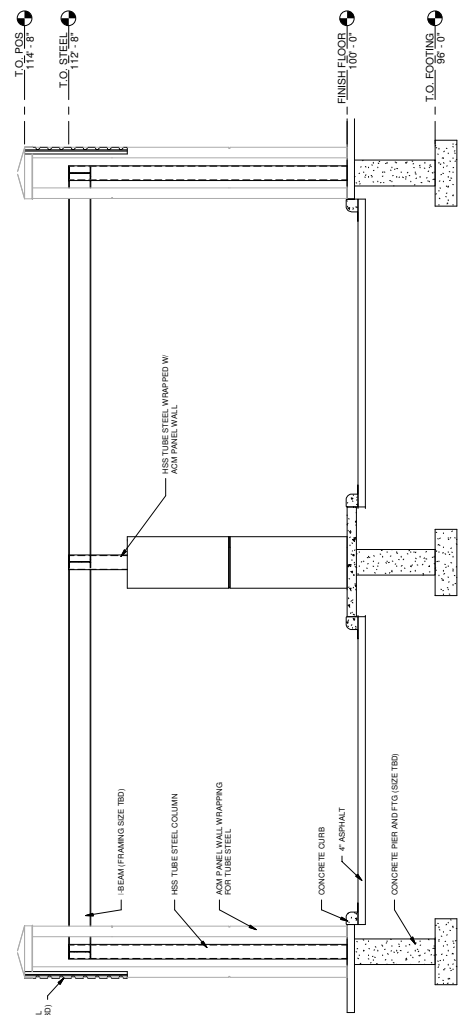
BUILDING ELEVATION - SOUTH
 4/A2.0 SCALE = 3/16" = 1'-0"

PROPOSED BUILDING FOR:
 21-2320
 CITY, WISCONSIN; COUNTY OF:



BUILDING SECTION "A"
 1/3A.0 SCALE = 3/8" = 1'-0"

BUILDING SECTION "B"
 2/3A.0 SCALE = 3/8" = 1'-0"



BUILDING SECTION "C"
 3/3A.0 SCALE = 3/8" = 1'-0"

SCALE VERIFICATION



NOTES TO CONTRACTOR:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
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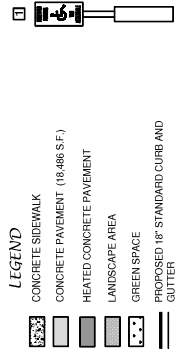
PROJECT: TOM AMERBOSIUS
 EXECUTIVE: (920) 371-2544
 DRAWN BY: DFO/AJR
 DATE: 02/01/2022

REVISIONS:

ISSUED FOR: CHECKED DATE:
 BY:
 PRELIMINARY
 BID SET
 DESIGN REVIEW
 CHECKSET
 CONSTRUCTION

BUILDING SECTIONS

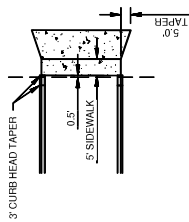
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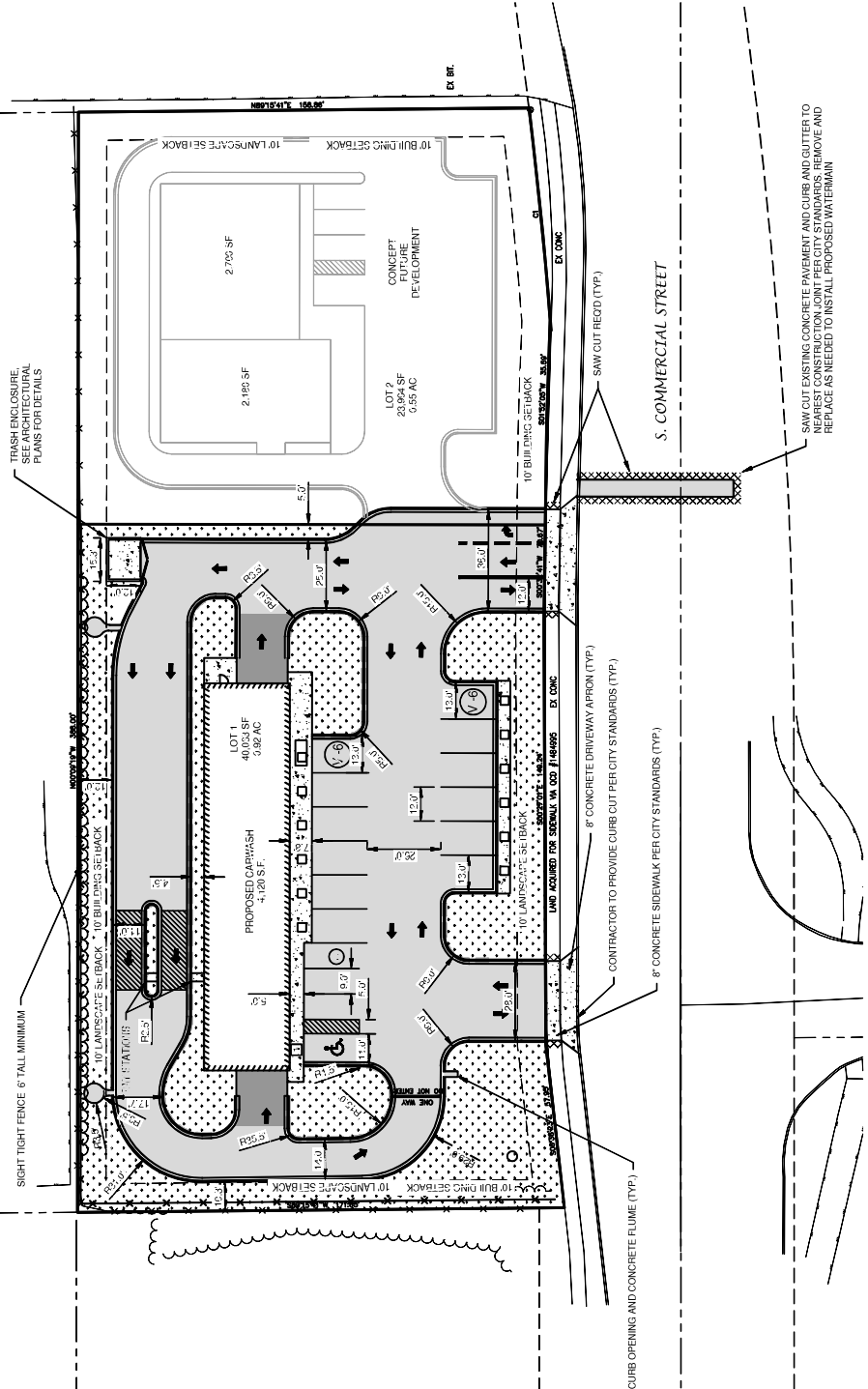
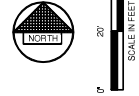
LEGEND

- CONCRETE SIDEWALK
- CONCRETE PAVEMENT (18,486 S.F.)
- HEATED CONCRETE PAVEMENT
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" STANDARD CURB AND GUTTER
- PROPOSED 18" STANDARD SHEDDING CURB AND GUTTER
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- INDICATES NUMBER OF PARKING STALLS
- INDICATES NUMBER OF VACUUM STALLS

NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURBS, UNLESS NOTED OTHERWISE



CONCRETE SIDEWALK/APRON DETAIL



NOTE
 ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED TO PROMOTE PLANT GROWTH OF STONES AND CLUMPS.

PARKING DATA
 TOTAL PARKING STALLS PROVIDED = 3
 HANDICAP ACCESSIBLE PARKING STALLS = 1
 TOTAL PARKING STALLS REQUIRED = 4

SITE DATA
 TOTAL AREA = 0.84 ACRES, 36,701 S.F.
 BUILDING AREA = 0.09 ACRES, 4,120 S.F. (11.2%)
 SIDEWALK/PARKING LOT AREA = 0.42 ACRES, 18,486 S.F. (49.1%)
 GREEN SPACE = 0.34 ACRES, 14,565 S.F. (39.7%)

ZONING
 C-1 COMMERCIAL

PARCEL NO.
 86207030400

NO.	DATE	APPROVAL	REASON	NO.	DATE	APPROVAL	REASON

PROPOSED CARWASH FOR
 BAYLAND BUILDINGS, INC.
 CITY OF NEEWAH
 WINNEBAGO COUNTY, WISCONSIN

ALTERNATIVE SITE PLAN



Department of Community Development and Assessment
211 Walnut St. • P.O. Box 426 • Neenah WI 54957-0426
Phone 920-886-6126 • e-mail: bschmidt@ci.neenah.wi.us
BRAD R. SCHMIDT, AICP
DEPUTY DIRECTOR OF COMMUNITY DEVELOPMENT

M E M O R A N D U M

DATE: June 7, 2022
TO: Mayor Lang and Plan Commission
FROM: Brad Schmidt, AICP, Deputy Director
RE: 2 Lot CSM – 7001 Woodenshoe Road –Van Sistine Homes, LLC

Van Sistine Homes, LLC, owner of 7001 Woodenshoe Road, is proposing to subdivide the subject parcel into two lots and dedicate land for public right-of-way along Woodenshoe Road and Liberty Avenue. The subject land was recently annexed to the City and will be part of The Homes at Freedom Meadows subdivision. The two proposed lots meet the minimum lot size and width standards in the Subdivision Code and are consistent in size with the lots in The Homes at Freedom Meadows. The property is zoned R-1, Single-Family Residence District and the lots will be developed as single-family residences.

Recommendation

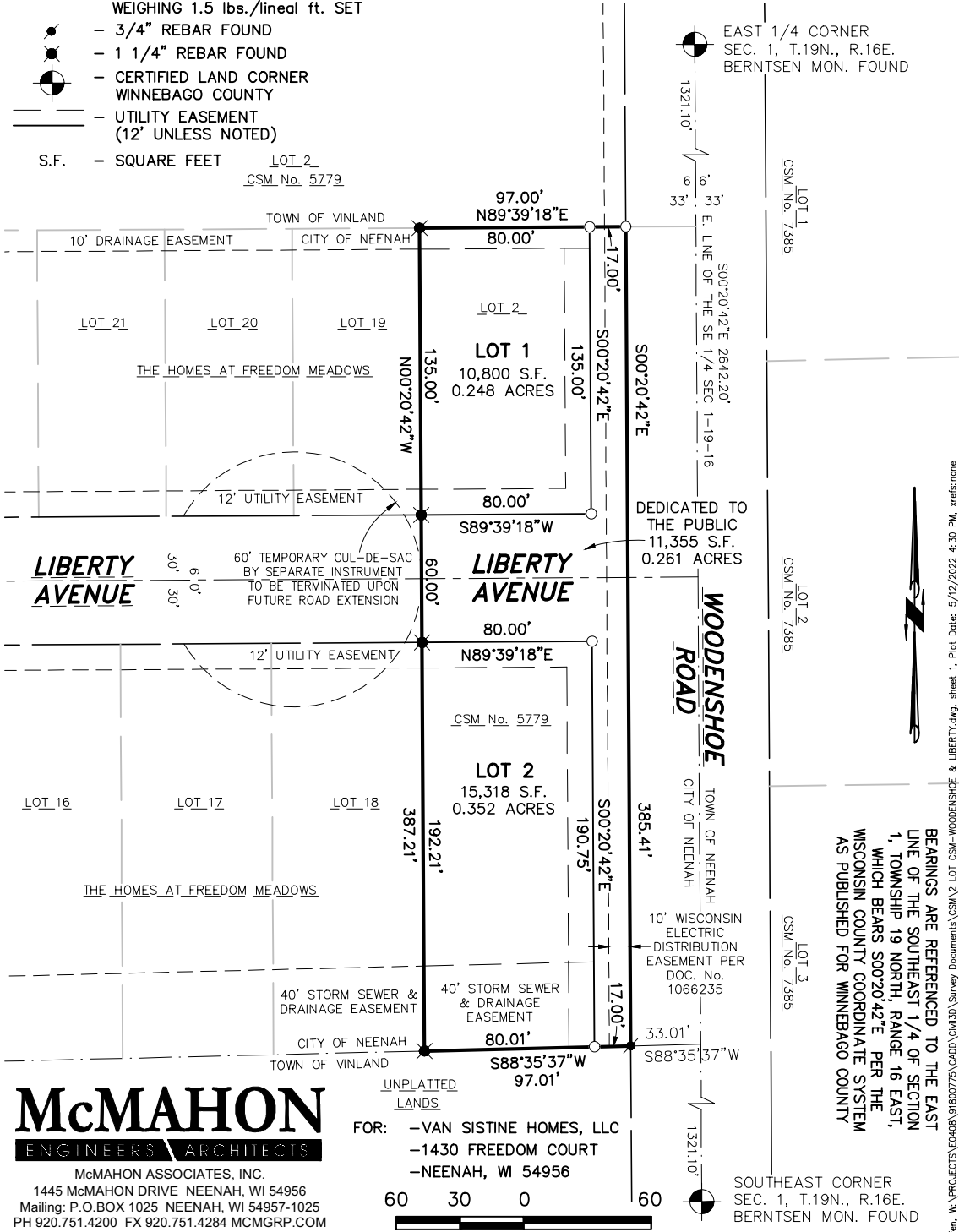
Appropriate action at this time is for Plan Commission to recommend Common Council approve the proposed 2 Lot CSM at 7001 Woodenshoe Road and accept the land dedication for public right-of-way.

CERTIFIED SURVEY MAP NO. _____ SHEET 1 OF 4

PART OF LOT 2 OF CERTIFIED SURVEY MAP No. 5779 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS ON PAGE 5779 AS DOCUMENT No. 1368620, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 19 NORTH, RANGE 16 EAST, CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

LEGEND

- - 3/4" x 18" ROUND IRON REBAR WEIGHING 1.5 lbs./lineal ft. SET
- - 3/4" REBAR FOUND
- - 1 1/4" REBAR FOUND
- - CERTIFIED LAND CORNER WINNEBAGO COUNTY
- - UTILITY EASEMENT (12' UNLESS NOTED)
- S.F. - SQUARE FEET



McMAHON
ENGINEERS ARCHITECTS

McMAHON ASSOCIATES, INC.
1445 McMAHON DRIVE NEENAH, WI 54956
Mailing: P.O. BOX 1025 NEENAH, WI 54957-1025
PH 920.751.4200 FX 920.751.4284 MCMGRP.COM

DRAFTED BY: COREY KALKOFEN

UNPLATTED LANDS
FOR: -VAN SISTINE HOMES, LLC
-1430 FREEDOM COURT
-NEENAH, WI 54956

SCALE - FEET

BEARINGS ARE REFERENCED TO THE EAST LINE OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 19 NORTH, RANGE 16 EAST, WHICH BEARS S00°20'42"E PER THE WISCONSIN COUNTY COORDINATE SYSTEM AS PUBLISHED FOR WINNEBAGO COUNTY

delkofen, W:\PROJECTS\204\804\030\CAD\DWG\16180\1618000175\Survey Documents\CSM 2 LOT 1-3-WOODENSHOE & LIBERTY.dwg, sheet 1, Plot Date: 5/12/2022 4:30 PM, xrefis:none

PART OF LOT 2 OF CERTIFIED SURVEY MAP No. 5779 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS ON PAGE 5779 AS DOCUMENT No. 1368620, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 19 NORTH, RANGE 16 EAST, CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

SURVEYOR'S CERTIFICATE

I, Corey W. Kalkofen, Wisconsin Professional Land Surveyor, PLS-2726, certify that I have surveyed, divided and mapped a part of Lot 2 of Certified Survey Map No. 5779 as recorded in Volume 1 of Certified Survey Maps on Page 5779 as Document No. 1368620, located in the Northeast 1/4 of the Southeast 1/4 of Section 1, Township 19 North, Range 16 East, City of Neenah, Winnebago County, Wisconsin containing 50,181 square feet (1.152 acres) of land and more particularly described as follows:

Commencing at the East 1/4 corner of said Section 1; thence S00°20'42"E, 1321.10 feet along the East line of the Southeast 1/4 of said Section 1 to the Easterly extension of the South line of Lot 2 of said Certified Survey Map No. 5779; thence S88°35'37"W, 33.01 feet along said Easterly extension to the Southeast corner of said Lot 2 and the Point of Beginning; thence continue S88°35'37"W, 97.01 feet along said South line of Lot 2 to the Southeast corner of Lot 18 of The Homes at Freedom Meadows; thence N00°20'42"W, 387.21 feet along the East line of Lots 18 & 19 of The Homes at Freedom Meadows to the Northeast corner of said Lot 19; thence N89°39'18"E, 97.00 feet along the Easterly extension of the North line of said Lot 19 to the Westerly right-of-way line of Woodenshoe Road; thence S00°20'42"E, 385.41 feet along said Westerly right-of-way line to the Point of Beginning.

That I have made this survey by the direction of the Owners of said Land.

I further certify that this map is a correct representation of the exterior boundary lines of the land surveyed and the division of that land, and that I have complied with section 236.34 of the Wisconsin Statutes and the City of Neenah Subdivision Ordinance in surveying, dividing and mapping the same.

Given under my hand and seal this _____ day of _____, 20_____.

Corey W. Kalkofen, WI Professional Land Surveyor S-2726

CERTIFICATE OF TREASURERS

I, being the duly elected, qualified and acting Treasurer, do hereby certify that in accordance with the records in my office there are no un-paid taxes or un-paid special assessments on any of the lands included in this Certified Survey Map.

City Treasurer Date County Treasurer Date
Michael Easker Mary E. Krueger

NOTES

- THIS CERTIFIED SURVEY MAP IS ALL OF PARCEL ID No. 8114000002.
- THE PROPERTY OWNER OF RECORD IS VAN SISTINE HOMES, LLC.
- THIS CERTIFIED SURVEY MAP IS CONTAINED WHOLLY WITHIN PROPERTY DESCRIBED IN DOCUMENT No. .

PART OF LOT 2 OF CERTIFIED SURVEY MAP No. 5779 AS RECORDED IN VOLUME 1 OF CERTIFIED SURVEY MAPS ON PAGE 5779 AS DOCUMENT No. 1368620, LOCATED IN THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 1, TOWNSHIP 19 NORTH, RANGE 16 EAST, CITY OF NEENAH, WINNEBAGO COUNTY, WISCONSIN

CITY OF NEENAH DRAINAGE EASEMENT RESTRICTIONS

1. MAINTENANCE OF ALL DRAINAGE WAYS AND ASSOCIATED STRUCTURES WITHIN THE SUBDIVISION OR SERVING THE SUBDIVISION IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER(S) WITHIN THE SUBDIVISION.
2. UPON FAILURE OF THE PROPERTY OWNER(S) TO PERFORM MAINTENANCE OF THE DRAINAGE WAYS AND ASSOCIATED STRUCTURES, THE CITY OF NEENAH RETAINS THE RIGHT TO PERFORM MAINTENANCE AND/OR REPAIRS. THE PAYMENTS OF SAID MAINTENANCE AND/OR REPAIRS SHALL BE ASSESSED AMONG THE PROPERTY OWNER(S) OF THE SUBDIVISION WITH A DRAINAGE COVENANT.
3. A DRAINAGE PLAN AND STORM WATER MANAGEMENT PLAN HAS BEEN FILED WITH THE CITY OF NEENAH WHICH STATES THE REQUIRED LEVELS OF MAINTENANCE FOR ALL THE IDENTIFIED STORM WATER MANAGEMENT SYSTEMS.
4. UPON FINAL GRADING, THE DEVELOPER AND/OR OWNER SHALL COMPLY WITH THE SURFACE WATER DRAINAGE PLAN AS APPROVED BY AND ON FILE WITH THE CITY OF NEENAH.
5. SUMP PUMP DISCHARGE ARE TO BE CONNECTED TO THE STORM SEWER LATERAL PROVIDED.
6. ROOF DOWNSPOUTS SHALL DISCHARGE AT GRADE AND SHALL NOT BE CONNECTED TO THE STORM SEWER SYSTEM.
7. GARAGES ARE RECOMMENDED TO BE LOCATED ON THE "HIGH" SIDE OF THE LOT.

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by the Van Sistine Homes, LLC, Grantor(s), to

WISCONSIN PUBLIC SERVICE CORPORATION, a Wisconsin corporation, Grantee,

AT&T Wisconsin, a Wisconsin corporation, Grantee, and

SPECTRUM MID-AMERICA, LLC by: Charter Communications, Inc., its Manager, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incidental to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than six inches without written consent of grantees. This Utility Easement Provision does not prevent or prohibit others from utilizing or crossing the Utility Easement as the Utility easement(s) are non-exclusive.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

NO UTILITY TRANSFORMERS OR PEDESTALS ARE TO BE SET WITHIN 2 FEET OF A LOT CORNER MONUMENT.

NO CONDUCTORS ARE TO BE BURIED WITHIN 1 FOOT OF A LOT CORNER MONUMENT.